



**CITY OF DE PERE  
REVISED  
APPLICATION FOR  
SITE PLAN REVIEW**

Fee: \$ 305.00  
 Receipt #: \_\_\_\_\_  
 Date: \_\_\_\_\_

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

**SECTION 1: Applicant / Permittee Information**

Applicant Name (Ind., Org. or Entity) Town and County Development, LLC	Authorized Representative Dave Anderson	Title <b>Owner</b>	
Mailing Address 1855 Cottonwood Court	City <b>DePere</b>	State WI	ZIP Code 54115
Email Address dave@andersonhome.com	Phone Number (incl. area code) 920-360-1040	Fax Number (incl. area code)	

**SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)**

Name (Ind. Org. or Entity) Same as above	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address	Phone Number (incl. area code)	Fax Number (incl. area code)	

**SECTION 3: Project or Site Location**

Project Address/Description 701 Millennium Court	Parcel No. ED-3090
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**SECTION 4: Project Information**

Existing Zoning:	I-3		
Present Use of Parcel:	VACANT		
Proposed Use of Parcel:	Industrial & Hobbyist Workshops		
Estimated Start Date:	APRIL, 2022	Estimated Completion Date:	APRIL, 2027

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the submittal.

**SECTION 5: Certification and Permission**

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) <i>David Anderson</i>	Title <i>Managing Member</i>	Phone Number 920-360-1040
Signature of Applicant <i>[Signature]</i>	Date Signed 3/15/22	

**TO BE COMPLETED BY CITY STAFF**

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

# CITY OF DE PERE

335 South Broadway, De Pere, WI 54115 | [www.de-pere.org](http://www.de-pere.org)



September 27, 2022

Dave Anderson  
Town and Country Development LLC  
1855 Cottonwood CT  
De Pere, WI 54115

RE: Amended Precise Implementation Plan for a 13 building Phase 2-3 storage condos establishment at 701 Millennium CT (Parcel WD-D0015-2-1)

Dear Mr. Anderson:

The City of De Pere Plan Commission reviewed your Amended Precise Implementation Plan application on 9/26/22. The Plan Commission recommended **approval** of the request with the following conditions:

1. Provide the storm water maintenance agreement for this development. If none exists, a new agreement will need to be established. Engineering can provide a template for this agreement.
2. If the Precise Implementation Plan is approved by Common Council, a Revocable Occupancy Permit will be issued for the temporary driveway after the petitioner files for building permits with the Inspection Division. Conditions agreed upon by the petitioner and City will be included in the Revocable Occupancy Permit.

This request **WILL** require approval by the Common Council and will be placed on the 10/04/22 agenda at 7:30 p.m. Should you have any questions regarding the Plan Commission's actions, feel free to contact me at 339-4043 or [pschleinz@deperewi.gov](mailto:pschleinz@deperewi.gov).

Sincerely,

A handwritten signature in black ink that reads "Peter Schleinz". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Peter Schleinz  
Senior Planner | Zoning Administrator

cc: Daniel J. Lindstrom, AICP, Development Services Director  
Dennis Jensen, Senior Building Inspector



August 9, 2022

Mr. Peter Schleinz  
City of De Pere  
335 South Broadway Street  
De Pere, WI 54115

Subject ***Town and Country - Storage Shop USA***  
***PIP Resubmittal: PIP Narrative and Response to City Comments***  
***JSD Project No. 20-9800A***

Dear Mr. Schleinz:

On behalf of Town and County Development, the enclosed information along with the narrative below is being submitted to support updating the previously approved Precise Implementation Plan (PIP) for the Storage Shop USA development located at 701 Millennium Court.

- Completed Site Plan Application
- Response letter addressing city comments (see below)
- Updated Site Development Plans (10 sheets), including the Existing Conditions Survey
- Building Elevations (3 sheets)
- Meter Building Plans (3 sheets)
- Stormwater Management Plan
- USLE Calculations
- Secondary Drive Request Letter

#### **PIP NARRATIVE**

The original PIP was submitted and approved in 2006. Phase 1 of the development has been completed. The developer is planning to complete the remaining buildings in two phases. Phase 2 will begin upon approval of the updated PIP with the intent to have the construction done over the next two or three years depending on demand. Phase 3 would follow with the ultimate goal of completing Phase 3 within five years. Estimated timeline for construction is listed on the plan sheets and as follows:

- Phase 2 - August 2022 to September 2024
- Phase 3 - September 2024 to September 2027

The plan is essentially the same as previously approved with the following exception: Phases 2 and 3 have been swapped (refer to the attached plans).

The utilities are private and will remain private. The plans include installing a master meter for the private water main.

One item to note. The original PIP approval, the building setback along Rockland Road was reduced from 40 feet to 25 feet.

**CITY COMMENTS**

The following are JSD's responses to the review comments provided by the city via email dated July 25, 2022.

**Engineering Related**

- 1. Provide the stormwater management plan for the bioretention basin.**

*JSD Response: A copy of the original Stormwater Management Plan (SWMP) is included.*

- 2. Provide the stormwater maintenance agreement for this development. If none exists, a new agreement will need to be established. Engineering can provide a template for this agreement.**

*JSD Response: A Stormwater Maintenance Agreement is included within the SWMP.*

- 3. C2.0 - Provide WisDNR soil loss sediment discharge calculations and corresponding map.**

*JSD Response: The USLE calculations are included in this submittal.*

- 4. If the developer installs their own water main, the main will need to be tested via pressure and safe sample prior to final loading.**

*JSD Response: See note 3 on Utility Plan Sheet C3.0.*

- 5. The private sanitary sewer system both existing and proposed will need to be televised to inspect for inflow and infiltration.**

*JSD Response: See note 4 on Utility Plan Sheet C3.0.*

- 6. The newly proposed sanitary sewer system will need to be air tested prior to occupancy.**

*JSD Response: See note 5 on Utility Plan Sheet C3.0.*

- 7. No tees will be permitted to route water to the master meter room. The master meter already has a bypass, so a secondary bypass via tees is unnecessary. Route the water via bends in lieu of tees. The existing pipe between where the tees are proposed shall be removed.**

*JSD Response: A note has been added to install 90 degree bends and remove a section of the existing water main. See Utility Plan Sheet C3.0.*

- 8. Identify the specified meter size. Some meters may take an extended lead-time due to global supply chain shortages.**

*JSD Response: See details on Sheet C4.1. Required equipment is called out on the detail for the master meter.*

### Planning Related

1. **The documents need to be clearly labeled “Precise Implementation Plan.” Ensure that there is a document or a page that is dedicated to spelling out anything that is not conforming to the underlying zoning that is being specially requested as part of this project.**

*JSD Response: See Title Sheet: Precise Implementation Plan was added to the sheet.*

2. **Clarify that the Landscape Plan on Sheet L1.0 is to proper scale as the requested four trees (New Horizon Elm) on Rockland RD appear to be outside of the property boundaries.**

*JSD Response: Landscape Plan has been updated with the trees repositioned to be on the property.*

3. **The Legend needs to include a description for the no-access symbol to Rockland RD.**

*JSD Response: The legend has been updated to include the “No Access” to Rockland Road.*

4. **Specify the dates for the completion of Phase 2 and Phase 3 within the PIP supporting document and on the plans.**

*JSD Response: Dates have been added to the Site Plan Sheet C1.0 and in the PIP Narrative letter.*

5. **Note 12 on Sheet 1 of 1 should be removed as the note references the future expansion of “unit 50.” It appears that the PIP is referencing that expansion. Please note that if the expansion is done as a "Condominium Plat," that plat will need to be reviewed and approved by the city and Brown County.**

*JSD Response: Note 12 has been removed. Noted the Condominium Plat will be expanded when/if needed.*

6. **The plans include a design for a temporary driveway; However, no formal request for the temporary driveway has been made. If the temporary driveway is no longer needed, then it should be removed from the plans.**

*JSD Response: Temporary drive entrance is shown on the plans and a copy of the formal request letter is included in the resubmittal documents.*



If you have any questions or require additional information, please let me know. I can be reached by phone at 920-733-2800, ext. 221, or via email at [paul.phillips@jsdinc.com](mailto:paul.phillips@jsdinc.com).

Sincerely,

***JSD Professional Services, Inc.***

A handwritten signature in blue ink that reads "Paul M. Phillips". The signature is fluid and cursive, with the first letters of each name being capitalized and prominent.

Paul M. Phillips, P.E.

Senior Project Consultant

Enclosures

c: Dave Anderson, Town and County Development



City of De Pere  
c/o Peter Schlein, Senior Planner / Zoning Administrator  
335 South Broadway  
De Pere, WI 54115

To Whom It May Concern:

Town & Country Development, in conjunction with its 2022 Precise Implementation Plan submittal for 701 Millennium Court, De Pere, WI is requesting temporary drive / truck access via the parcel to the east (parcel ED-2311).

The reason for the second drive request is that the concrete trucks and truss delivery trucks are so heavy that they would damage the new asphalt just installed on the interior streets. Normally we would build our way out of a development to avoid this problem, but this development was started by a different developer. In addition to this rationale, temporary access to the development from Rockland Road was denied. So, the only access is via Millennium Court.

In preliminary discussions on this topic, the City has expressed specific concerns. Those concerns will be addressed below and a document will ultimately be created that details these usage agreements in some sort of Occupancy Permit addendum.

- 1) **Usage Duration**: The City has suggested a specific day/year be identified up front for how long we would need this secondary access. If we knew how quickly the condos would sell, we could and would provide these details. Unfortunately, we can only guess on sales forecasts. So in lieu of a specific end date, we are suggesting an annual agreement. The City would have the opportunity to review, adjust, and approve the details of the agreement annually. This will be stipulated in the Addendum.
- 2) **Usage Type**: The City is concerned that the access would be used by Condo owners, not just construction vehicles. We will post the entrance "For Construction Vehicles Only". We can also add removeable barriers to discourage casual usage. The City would be welcome to monitor the usage as they see fit, and incorporate the actual usage in their decision-making regarding any annual renewals. This will be stipulated in the Addendum. From a practical standpoint, the condo owners would much prefer to drive their vehicles on the installed asphalt roads versus the gravel temp drive.
- 3) **Seasonal Usage**: The City has commented that placement of a temporary driveway would only be allowed during the summer weather seasons. We are suggesting that no ramps would be placed in the street in fall/winter/spring seasons when there are

1855 Cottonwood Ct. De Pere, WI 54115  
920-360-1040



chances of snow removal in the street. The temporary drive would be blocked off from use, and the ramps would be removed during that time. We can stipulate specific days/months of usage in the Addendum.

- 4) **Water Flow**: The City is concerned that the temporary curb ramps do not impede the natural storm water flow and management via curb & gutter. The ramps will be installed in such a manner that they do not impede the flow of storm water in the street, ROW, and on the property (e.g. water flowing along the gutters to a storm drain, dirt, etc.). This will be stipulated in the Addendum.
- 5) **Property Sale**: The City must be able to sell the property encumbrance-free from this agreement. In the event the City has an accepted offer to purchase Parcel Ed-2311, all rights and agreements of the contemplated Addendum would be void, and Town & Country Development would have 30-day's notice to restore said parcel to original condition. This will be stipulated in the Addendum.
- 6) **City Planning**: The City is concerned that some unplanned, unforeseeable event would require the Temporary Occupancy Permit to be revoked earlier than the proposed one-year period. We will stipulate in the Addendum that this agreement is revocable with a 30-day notice period. Town & Country Development would have 30-day's notice to restore said parcel to original condition. This will be stipulated in the Addendum.

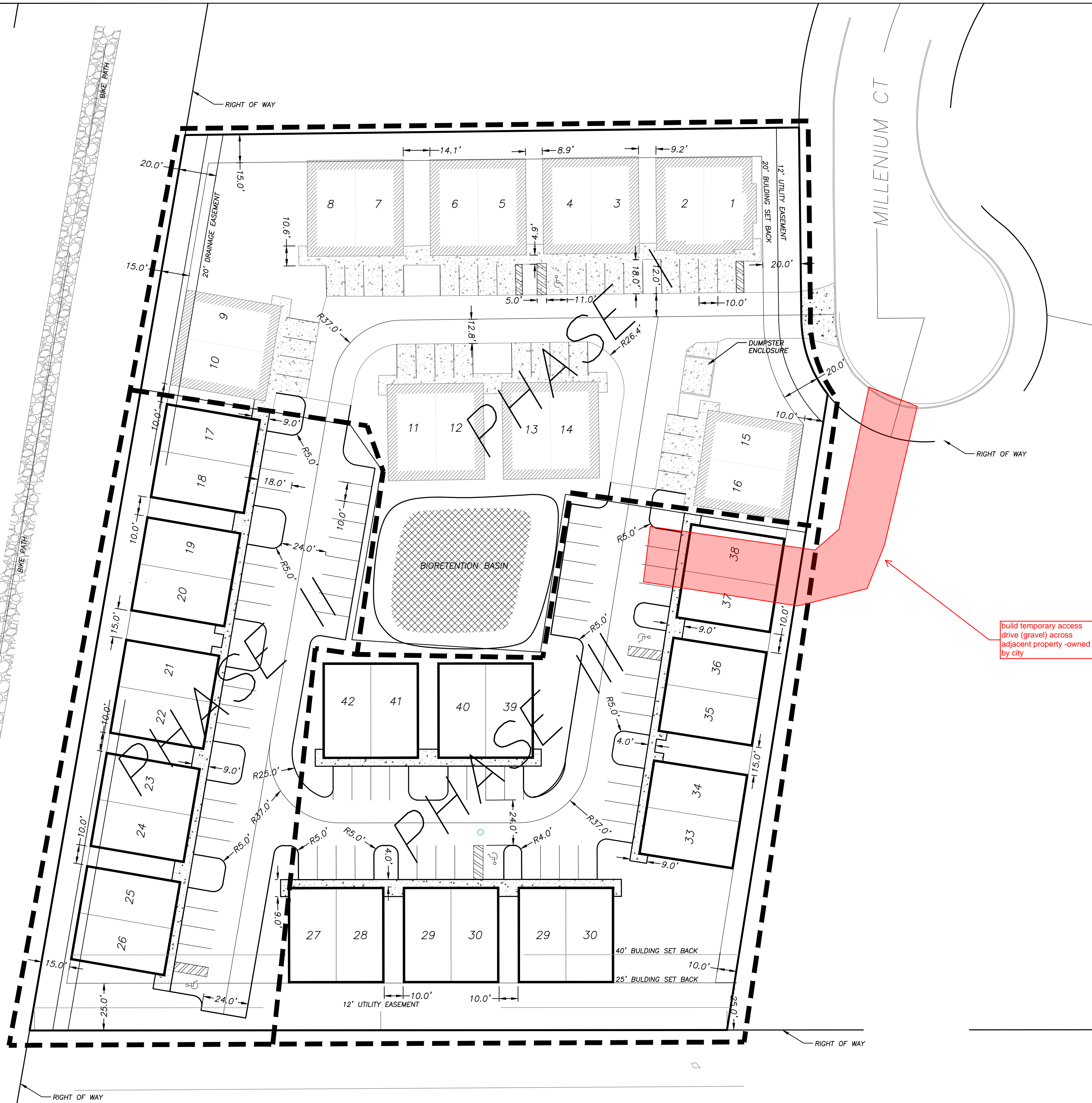
We have attempted to address all known City concerns over this request. Please do reach out to us for any other concerns. We are flexible and looking for a win/win solution to completing this development project.

Kind Regards,

David Anderson  
Managing Member  
Town & Country Development, LLC



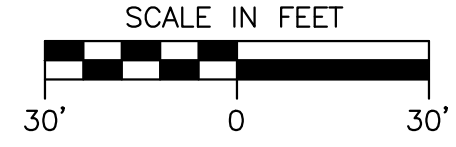
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**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING SETBACK LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA

PARKING TABLE		
	REGULAR	ADA
PHASE 1	32	1
PHASE 2	29	1
PHASE 3	39	2
<b>TOTAL</b>	<b>100</b>	<b>104</b>



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**APPLETON REGIONAL OFFICE**  
3215 WEST LAWRENCE STREET, SUITE 6  
APPLETON, WI 54914  
P. 920.733.2800

CLIENT:  
**TOWN & COUNTY DEVELOPMENT**

CLIENT ADDRESS:  
**1855 COTTONWOOD COURT  
DE PERE, WI 54115**

PROJECT:  
**STORAGE CONDOS  
SITE IMPROVEMENTS**

PROJECT LOCATION:  
**701 MILLENIUM COURT  
DE PERE, WI 54115**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	03-15-2022	UPDATED PIP SUBMITTAL
2		
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14		
15		

Designed By: \_\_\_\_\_ CGL  
Reviewed By: \_\_\_\_\_ PMP/EJD  
Approved By: \_\_\_\_\_ PMP

**OVERALL SITE PLAN**

SHEET NUMBER:  
**C1.0**



JSD PROJECT NO: 20-9800A

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



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**PLAN MODIFICATIONS:**

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15		

Designed By: CGL  
Reviewed By: PMP/EJD  
Approved By: PMP  
SHEET TITLE:

**GRADING & EROSION CONTROL PLAN**

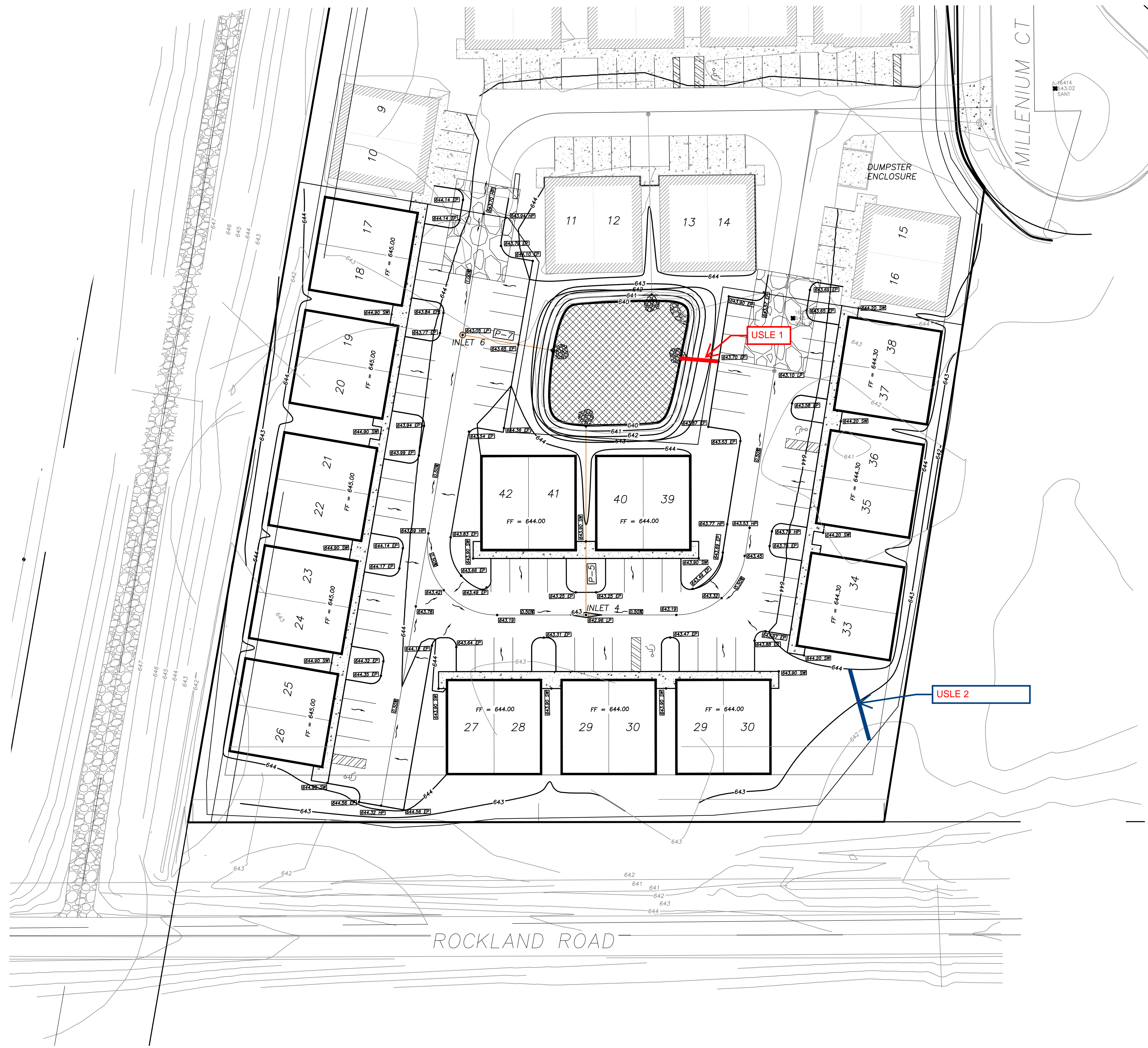
SHEET NUMBER:

**C2.0**

JSD PROJECT NO: 20-9800A

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- GRADE BREAK
- STORMWATER MANAGEMENT AREA
- FENCE
- SILT FENCE
- RIP-RAP
- CONSTRUCTION ENTRANCE
- EROSION MATTING
- TURF REINFORCEMENT MATTING
- SPOT ELEVATION  
EP - EDGE OF PAVEMENT  
FG - FINISH GRADE  
EC - EDGE OF CONCRETE  
BOC - BACK OF CURB  
MATCH - MATCH EXISTING GRADE  
HP - HIGH POINT  
SW - SIDEWALK
- DITCH CHECK



**PROPOSED STORM SEWER STRUCTURES SCHEDULE**

LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	NOTES
INLET NO. 4	640.63	642.96	2.33	36" DIA. CATCH BASIN	IN-BELL GRATE
INLET NO. 6	641.21	643.05	1.81	36" DIA. CATCH BASIN	IN-BELL GRATE

**PROPOSED STORM SEWER PIPE SCHEDULE**

PIPE LABEL	TO	DISCHARGE (I.E.) (FT)	FROM	INVERT (I.E.) (FT)	LENGTH (FT)	SLOPE (%)	PIPE SIZE AND TYPE
P-5	BIORETENTION	640.23	INLET NO. 4	640.63	100	0.40%	15" HDPE
P-7	BIORETENTION	640.50	INLET NO. 6	641.21	47	1.50%	8" HDPE





# Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin

WDNR Version 2.0 (06-29-2017)



YEAR 1

Developer: TOWN & COUNTRY

Project: Storage Condos Site improvements - USLE 1

Date: 08/05/22

County: Brown

Version 1.0

Activity (1)	Begin Date (2)	End Date (3)	Period % R (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (t/ac) (15)
Bare Ground	08/22/22	09/30/22	15.5%	100	Sandy Clay Loam	0.37	18.5%	20	1.65	1.00	9.4	0.445	Sediment Basin	0.8
Seeding	09/30/22	12/01/22	8.3%	100	Sandy Clay Loam	0.37	18.5%	20	1.65	0.40	2.0	0.445	Sediment Basin	0.2
End	12/01/22	-----	-----	-----	-----	-----	18.5%	20	1.65	-----	-----	0.000	Sediment Basin	0.0
		-----	-----	-----	-----	-----	18.5%	20	1.65	-----	-----	0.000		0.0
		-----	-----	-----	-----	-----	18.5%	0	-----	-----	-----	0.000		0.0
		-----	-----	-----	-----	-----	0.0%	0	-----	-----	-----	0.000		0.0
<b>TOTAL</b>											<b>11.5</b>		<b>TOTAL</b>	<b>1.0</b>
													<b>% Reduction Required</b>	<b>NONE</b>

**Notes:**

See Help Page for further descriptions of variables and items in drop-down boxes.  
 The last land disturbing activity on each sheet must be 'End'. This is either 12 months from the start of construction or final stabilization.  
 For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

NOTE: THIS TOOL ONLY ADDRESSED SOIL EROSION DUE TO SHEET FLOW. MEASURES TO CONTROL CHANNEL EROSION MAY ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

**Recommended Permanent Seeding Dates:**

4/15-6/1 and 8/1-8/21 Turf, introduced grasses and legumes  
 Thaw-6/30 Native Grasses, forbs, and legumes

Designed By:	PMP
Date	8/5/2022



# Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin

WDNR Version 2.0 (06-29-2017)



YEAR 1

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Project: Storage Condos Site improvements - USLE 2

Date: 08/05/22

County: Brown

Version 1.0

Activity (1)	Begin Date (2)	End Date (3)	Period % R (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (t/ac) (15)	
Bare Ground	08/22/22	09/30/22	15.5%	100	Sandy Clay Loam	0.37	6.0%	30	0.37	1.00	2.1	1.007	Silt Fence	1.3	
Seeding	09/30/22	12/01/22	8.3%	100	Sandy Clay Loam	0.37	6.0%	30	0.37	0.40	0.5	1.007	Silt Fence	0.3	
End	12/01/22	----	----	----	-----	----	6.0%	30	0.37	-----	----	0.000	Silt Fence	0.0	
		----	----	----	-----	----	6.0%	30	0.37	-----	----	0.000		0.0	
		----	----	----	-----	----	6.0%	0	----	-----	----	0.000		0.0	
		----	----	----	-----	----	0.0%	0	----	-----	----	0.000		0.0	
<b>TOTAL</b>												<b>2.6</b>		<b>TOTAL</b>	<b>1.5</b>
													<b>% Reduction Required</b>	<b>NONE</b>	

**Notes:**

See Help Page for further descriptions of variables and items in drop-down boxes.

The last land disturbing activity on each sheet must be 'End'. This is either 12 months from the start of construction or final stabilization.

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4/15-6/1 and 8/1-8/21 Turf, introduced grasses and legumes  
 Thaw-6/30 Native Grasses, forbs, and legumes

Designed By:	PMP
Date	8/5/2022

# MILLENNIUM COURT - EAST SIDE

# INDUSTRIAL PARK

## PRECISE IMPLEMENTATION PLAN

## CITY OF DE PERE, WISCONSIN



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**APPLETON REGIONAL OFFICE**  
3215 WEST LAWRENCE STREET, SUITE 6  
APPLETON, WI 54914  
P. 920.733.2800

CLIENT:  
**TOWN & COUNTY DEVELOPMENT**

CLIENT ADDRESS:  
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DE PERE, WI 54115

PROJECT:  
**STORAGE CONDOS  
SITE IMPROVEMENTS**

PROJECT LOCATION:  
701 MILLENIUM COURT  
DE PERE, WI 54115

PLAN MODIFICATIONS:

#	Date:	Description:
1	08-09-2022	PIP FINAL SUBMITTAL
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15		

Designed By: CGL  
Reviewed By: PMP/EJD  
Approved By: PMP

SHEET TITLE:  
**TITLE SHEET**

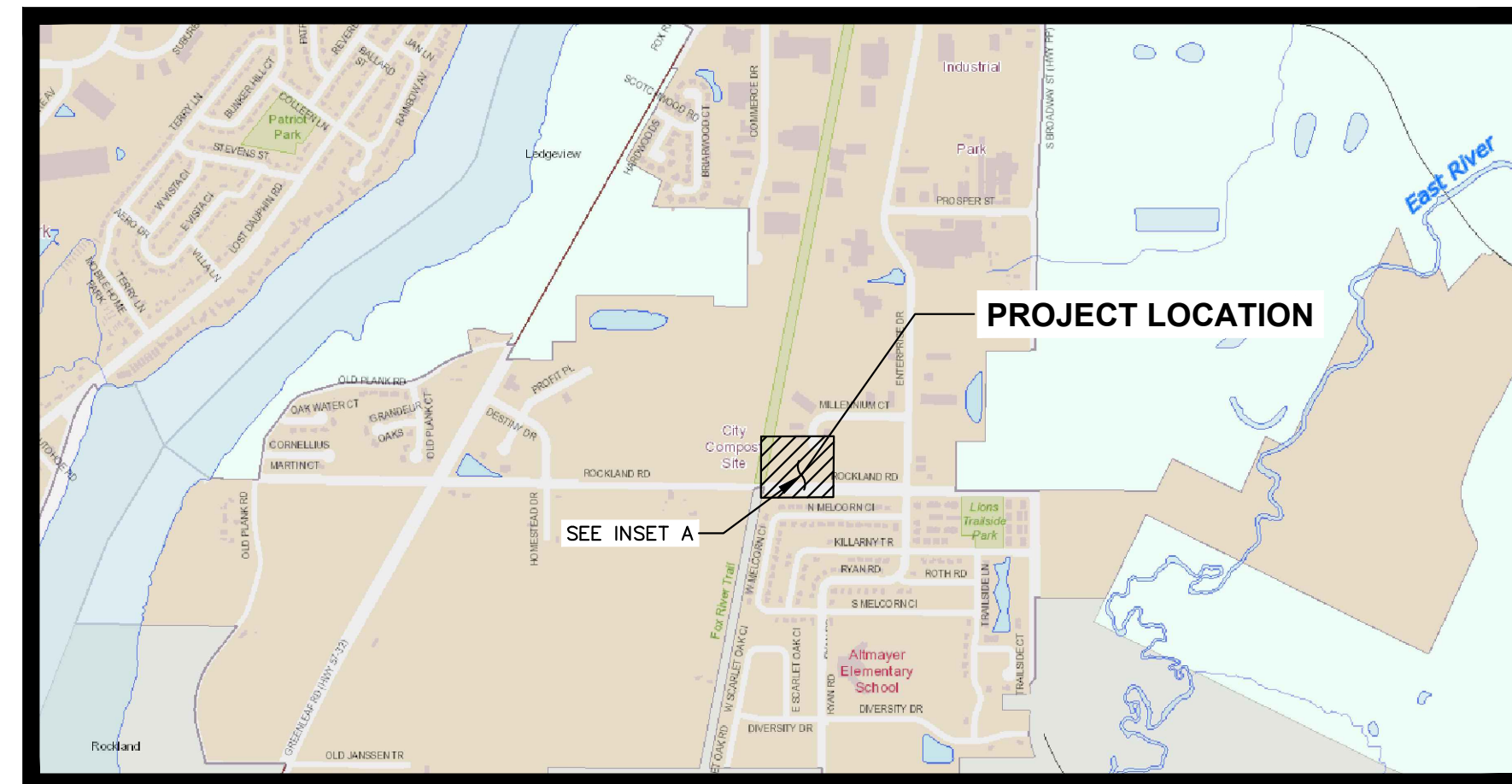
SHEET NUMBER:  
**C0.0**

JSD PROJECT NO: 20-9800A

### DRAWING INDEX

- C0.0 TITLE SHEET
- C0.1 GENERAL NOTES
- C1.0 OVERALL SITE PLAN
- C2.0 GRADING & EROSION CONTROL PLAN
- C3.0 UTILITY PLAN
- C4.0 DETAILS
- C4.1 DETAILS
- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE NOTES & DETAILS

ATTACHMENTS:  
EXISTING CONDITIONS SURVEY BY JSD



**PROJECT AREA**  
NOT TO SCALE



**INSET A**  
NOT TO SCALE

### PROJECT INFORMATION

**TOWN & COUNTY DEVELOPMENT LLC.**  
CONTACT: Dave Anderson  
1855 Cottonwood Ct  
De Pere, WI 54115  
C:920-360-1040

**CIVIL CONSULTANT  
JSD PROFESSIONAL SERVICES, INC.**  
CONTACT: Paul Phillips, PE  
3215 West Lawrence Street  
Appleton, WI 54914  
P:920.733.2800  
paul.phillips@jsdinc.com

### MUNICIPAL CONTACTS

**CITY OF DE PERE PLANNING AND ZONING**  
CONTACT: Peter Schlein, Senior Planner  
335 S. Broadway Street, De Pere, WI 54115  
P: 920.339.4050  
pschlein@deperewi.gov



## GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- NO ADDITIONAL SIGNAGE AND NO ADDITIONAL DRIVE LANES ARE PERMITTED ALONG ROCKLAND RD.

## DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS. DEMOLITION AND REMOVAL THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

## CONSTRUCTION SEQUENCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

## PAVING NOTES

- GENERAL**
  - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF DE PERE ORDINANCES.
  - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - SURFACE PREPARATION – NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
  - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
  - CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - WEATHER LIMITATIONS – APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
  - GRADE CONTROL – ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - CRUSHED AGGREGATE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
  - BINDER COURSE AGGREGATE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
  - SURFACE COURSE AGGREGATE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
  - ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS**
  - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
  - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 25' ON CENTER.
  - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-260V CONCRETE SEALANT.
- PAVEMENT MARKING SPECIFICATIONS**
  - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
  - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

## GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF DE PERE ORDINANCE.

## UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
  - PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
    - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
    - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
    - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
    - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  - ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN – AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
  - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
  - CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
  - CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
  - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  - CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITIES TO REMAIN TO THE UTILITY OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
  - STORM SEWER SPECIFICATIONS –

PIPE – REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S". POLYVINYLCHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR 35 FOR PIPE SIZES 8"-15" WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212. ASTM 1785 SCHEDULE 40 FOR PIPE SIZES 4"-6".

INLETS – INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE. NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 2'-0" X 3'-0" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3067 WITH TYPE R GRATE, OR EQUAL.

BACKFILL AND BEDDING – STORM SEWER SHALL BE CONSTRUCTED WITH CLASS "B" BEDDING. TRENCHES CAN BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1556 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.

FIELD TILE CONNECTION – ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

### 12. WATER MAIN SPECIFICATIONS –

PIPE – DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, D 18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-MULCHIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(b).

VALVES AND VALVE BOXES – GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

HYDRANTS – HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF DE PERE. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).

BEDDING AND COVER MATERIAL – PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". BACKFILL WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

### 13. SANITARY SEWER SPECIFICATIONS –

PIPE – SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212. ASTM 1785, SCHEDULE 40 FOR PIPE SIZES 4"-6".

BACKFILL AND BEDDING – SANITARY SEWER SHALL BE CONSTRUCTED WITH CLASS "B" BEDDING. TRENCHES CAN BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS"

MANHOLES – MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF DE PERE.

MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1556 WITH TYPE "B" SELF SEALING LIDS, CONCEALED PICK HOLES, NON-ROCKING OR EQUAL.

14. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL CONFORM WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

## EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF DE PERE OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF DE PERE ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF DE PERE PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS NOT SHOWN ON THE PLANS MUST BE APPROVED BY THE MUNICIPALITY PRIOR TO INSTALLATION. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF DE PERE.
- INLET PROTECTION SHALL BE IMMEDIATELY INSTALLED AT ALL STORM INLETS AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:**
  - \*STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
    - \*THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - \*CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
    - \*STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
      - \* PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
      - \* TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
      - \* HYDRO-MULCHING WITH A TACKIFIER
      - \* GEOTEXTILE EROSION MATTING
      - \* SODDING
  - \*STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
    - \*THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - \*CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
    - \*STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
      - \* PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
      - \* TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
      - \* HYDRO-MULCHING WITH A TACKIFIER
      - \* GEOTEXTILE EROSION MATTING
      - \* SODDING



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P. 920.733.2800

CLIENT:  
**TOWN & COUNTY  
DEVELOPMENT**

CLIENT ADDRESS:  
**1855 COTTONWOOD COURT  
DE PERE, WI 54115**

PROJECT:  
**STORAGE CONDOS  
SITE IMPROVEMENTS**

PROJECT LOCATION:  
**701 MILLENIUM COURT  
DE PERE, WI 54115**

### PLAN MODIFICATIONS:

#	Date:	Description:
1	08-09-2022	PIP FINAL SUBMITTAL
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Designed By: CGL  
Reviewed By: PMP/EJD  
Approved By: PMP

SHEET TITLE:  
**GENERAL NOTES**

SHEET NUMBER:  
**C0.1**

JSD PROJECT NO: 20-9800A



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**LEGEND**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- - - BUILDING SETBACK LINE
- ▬ BUILDING OUTLINE
- ▬ EDGE OF PAVEMENT
- ▬ ASPHALT PAVEMENT
- ▬ CONCRETE PAVEMENT
- ▬ STORMWATER MANAGEMENT AREA
- ▬ NO ACCESS TO ROCKLAND ROAD

**Parking Lot Plan Site Information Block**

Site Address: 701 MILLENIUM CT  
 Site acreage (total): 3.922

Number of building stories (above grade): 1

DSPS type of construction (new structures or additions): N/A  
 Total square footage of building: 21 buildings at 2500 (52,500)

Use of property: Condominium

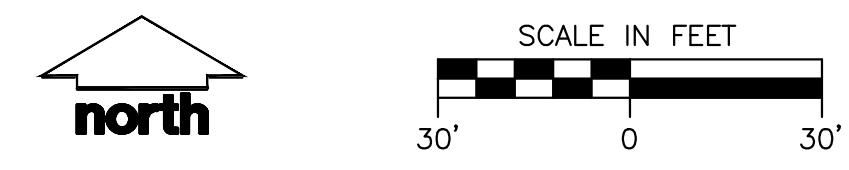
Gross Square Feet of office: N/A  
 Gross Square Feet of retail: N/A  
 Number of employees in warehouse: N/A  
 Number of employees in production area: N/A  
 Capacity of restaurant/place of assembly: N/A

Required standard parking spaces: 84  
 Required ADA parking spaces: 4  
 Company truck space is located within warehouse.  
 Assumed 2 warehouse employees per unit

PARKING TABLE		
	REGULAR	ADA
PHASE 1	32	1
PHASE 2	28	1
PHASE 3	39	2
<b>TOTAL</b>	<b>99</b>	<b>4</b>

**CONSTRUCTION TIMELINE**

	BEGIN	END
PHASE 1	COMPLETED	COMPLETED
PHASE 2	08/15/2022	09/15/2024
PHASE 3	09/16/2024	09/16/2027



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PROJECT:  
**STORAGE CONDOS  
 SITE IMPROVEMENTS**

PROJECT LOCATION:  
**701 MILLENIUM COURT  
 DE PERE, WI 54115**

**PLAN MODIFICATIONS:**

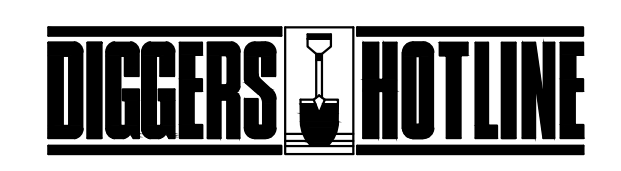
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Designed By: CGL  
 Reviewed By: PMP/EJD  
 Approved By: PMP

SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**C1.0**

JSD PROJECT NO: 20-9800A



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PROJECT:  
**STORAGE CONDOS  
SITE IMPROVEMENTS**

PROJECT LOCATION:  
**701 MILLENIUM COURT  
DE PERE, WI 54115**

PLAN MODIFICATIONS:

#	Date:	Description:
1	08-09-2022	PIP FINAL SUBMITTAL
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Designed By: CGL  
Reviewed By: PMP/EJD  
Approved By: PMP  
SHEET TITLE:

**GRADING & EROSION  
CONTROL PLAN**

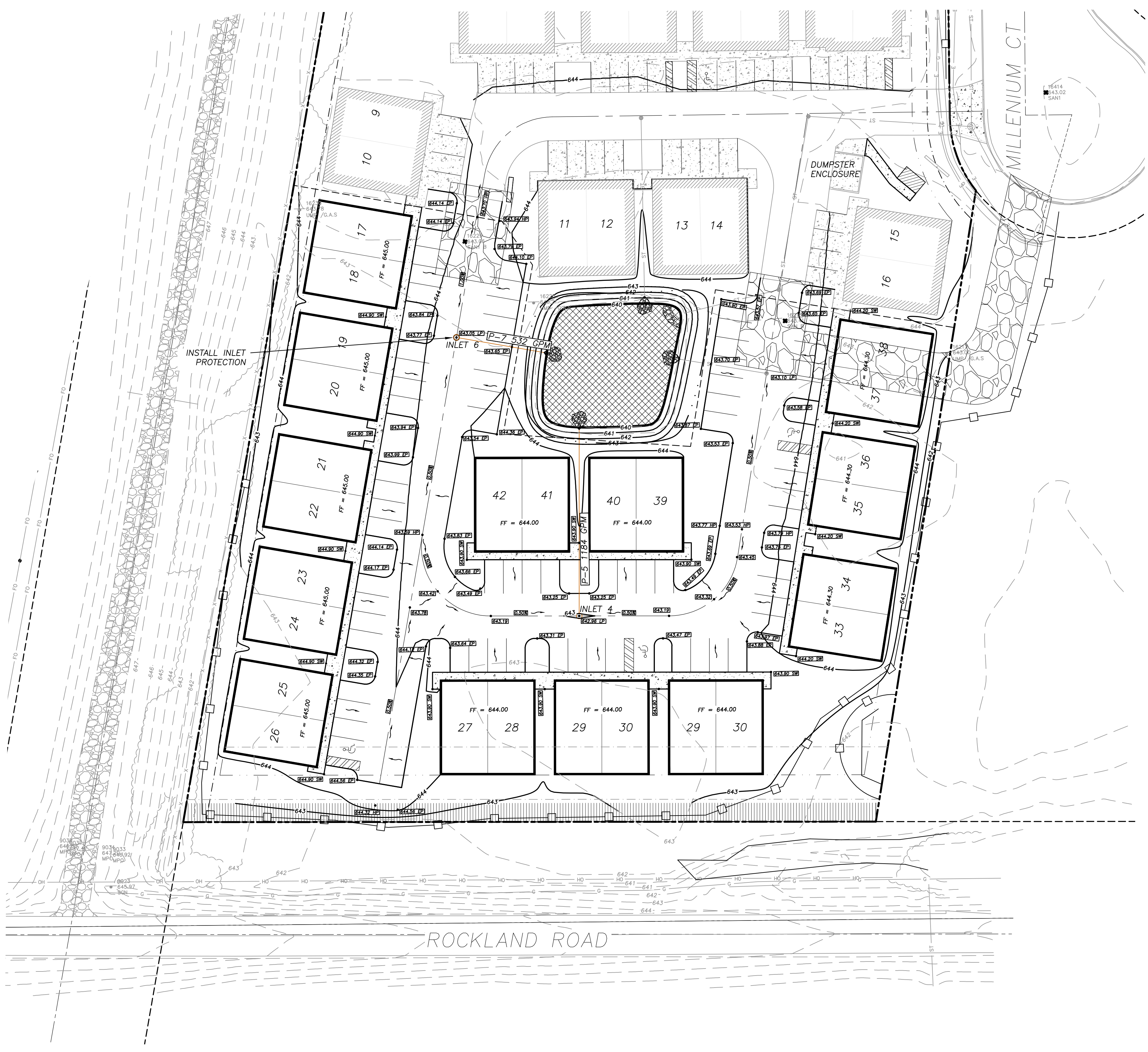
SHEET NUMBER:

**C2.0**

JSD PROJECT NO: 20-9800A

**LEGEND**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- - - BUILDING OVERHANG
- EDGE OF PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 959 PROPOSED 1 FOOT CONTOUR
- 960 PROPOSED 5 FOOT CONTOUR
- 959 EXISTING 1 FOOT CONTOUR
- 960 EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- GRADE BREAK
- STORMWATER MANAGEMENT AREA
- FENCE
- SILT FENCE
- RIP-RAP
- CONSTRUCTION ENTRANCE
- EROSION MATTING
- TURF REINFORCEMENT MATTING
- SPOT ELEVATION  
EP - EDGE OF PAVEMENT  
FG - FINISH GRADE  
EC - EDGE OF CONCRETE  
BOC - BACK OF CURB  
MATCH - MATCH EXISTING GRADE  
HP - HIGH POINT  
SW - SIDEWALK
- DITCH CHECK
- NO ACCESS TO ROCKLAND ROAD

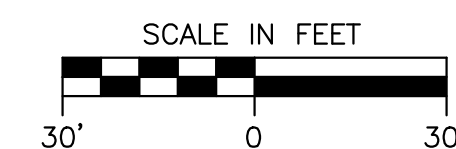


**PROPOSED STORM SEWER STRUCTURES SCHEDULE**

LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	NOTES
INLET NO. 4	640.63	642.96	2.33	36" DIA. CATCH BASIN	IN-BELL GRATE
INLET NO. 6	641.21	643.05	1.81	36" DIA. CATCH BASIN	IN-BELL GRATE

**PROPOSED STORM SEWER PIPE SCHEDULE**

PIPE LABEL	TO	DISCHARGE (I.E.) (FT)	FROM	INVERT (I.E.) (FT)	LENGTH (FT)	SLOPE (%)	PIPE SIZE AND TYPE
P-5	BIORETENTION	640.23	INLET NO. 4	640.63	100	0.40%	15" HDPE
P-7	BIORETENTION	640.50	INLET NO. 6	641.21	47	1.50%	8" HDPE



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PROJECT:  
**STORAGE CONDOS  
SITE IMPROVEMENTS**

PROJECT LOCATION:  
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DE PERE, WI 54115**

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Designed By: CGL  
Reviewed By: PMP/EJD  
Approved By: PMP  
SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

**C3.0**

JSD PROJECT NO: 20-9800A

NOTES

- CONTRACTOR SHALL LOCATE AND EXPOSE SANITARY SEWER STUB. VERIFY ELEVATION OF STUB. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL LOCATE AND EXPOSE WATERMAIN STUB. VERIFY ELEVATION OF STUB. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- DEVELOPER TO INSTALL PRIVATE WATER MAIN. WATER MAIN TO BE PRESSURE TESTED AND PROVIDE SAFE SAMPLE BEFORE FINAL LOADING.
- PROPOSED AND EXISTING PRIVATE SANITARY SEWER SYSTEM TO BE TELEVIEWED AND INSPECTED FOR INFLOW AND INFILTRATION.
- NEW PROPOSED SANITARY SEWER SYSTEM TO BE AIR TESTED PRIOR TO OCCUPANCY.
- DEVELOPER TO INSTALL MASTER METER NEAR PROPERTY LINE FOR WATER MAIN.
- CONTRACTOR TO COORDINATE WITH LAND OWNERS PRIOR TO SHUTTING OFF WATER FOR NEW CONNECTION TO MASTER METER.

LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ▭ BUILDING OUTLINE
- ▭ BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ▨ ASPHALT PAVEMENT
- ▨ CONCRETE PAVEMENT
- ▨ STORMWATER MANAGEMENT AREA
- FENCE
- SANITARY SEWER
- WATERMAIN
- STORM SEWER

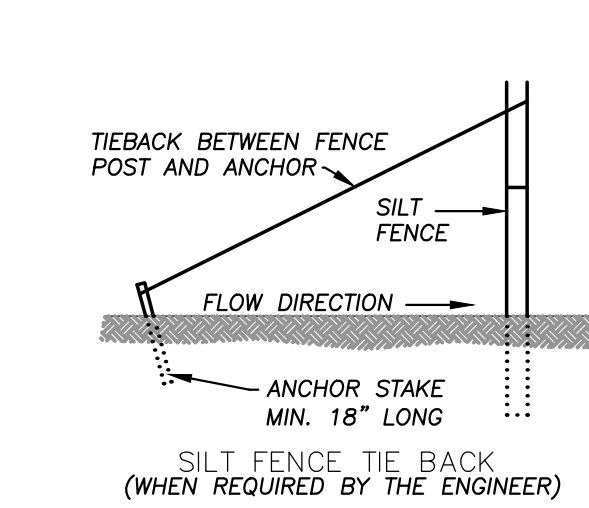
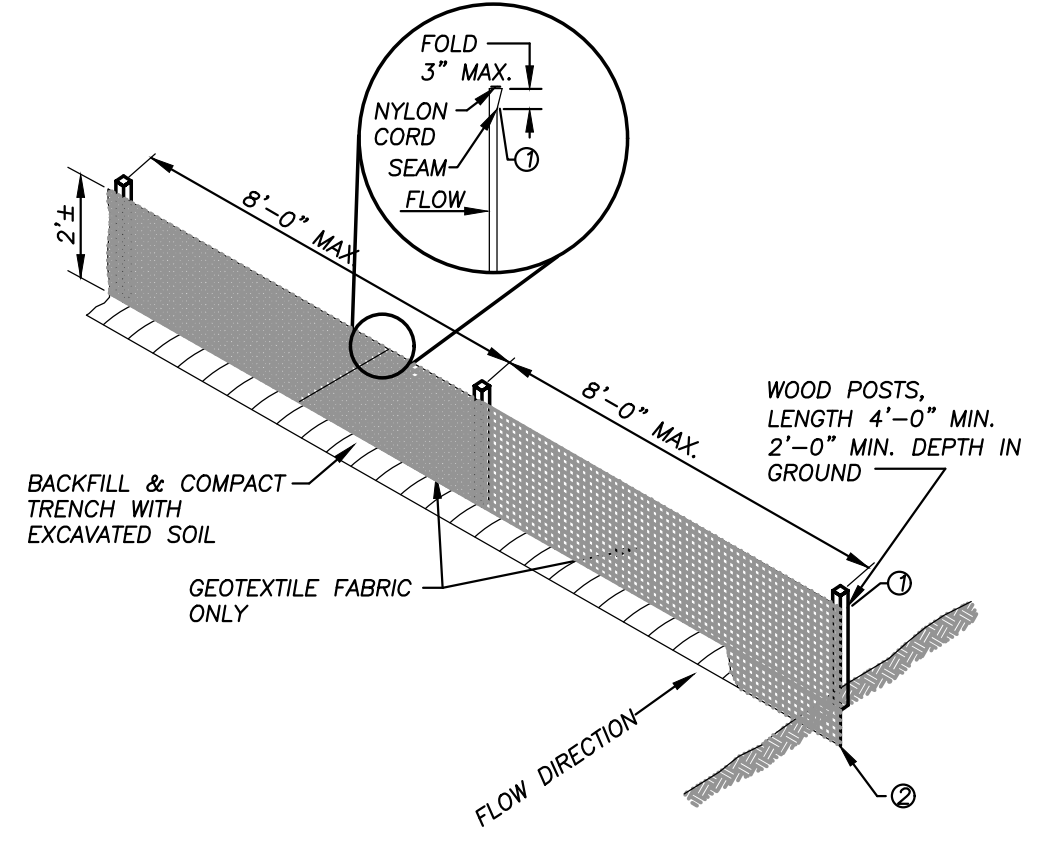
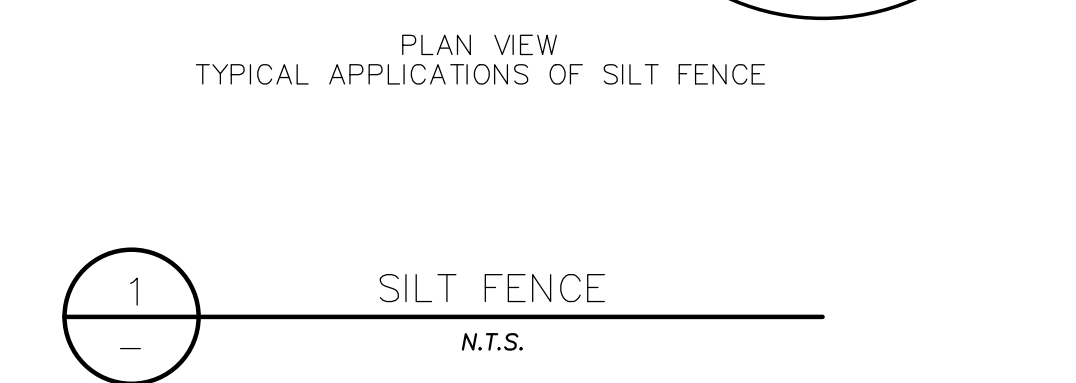
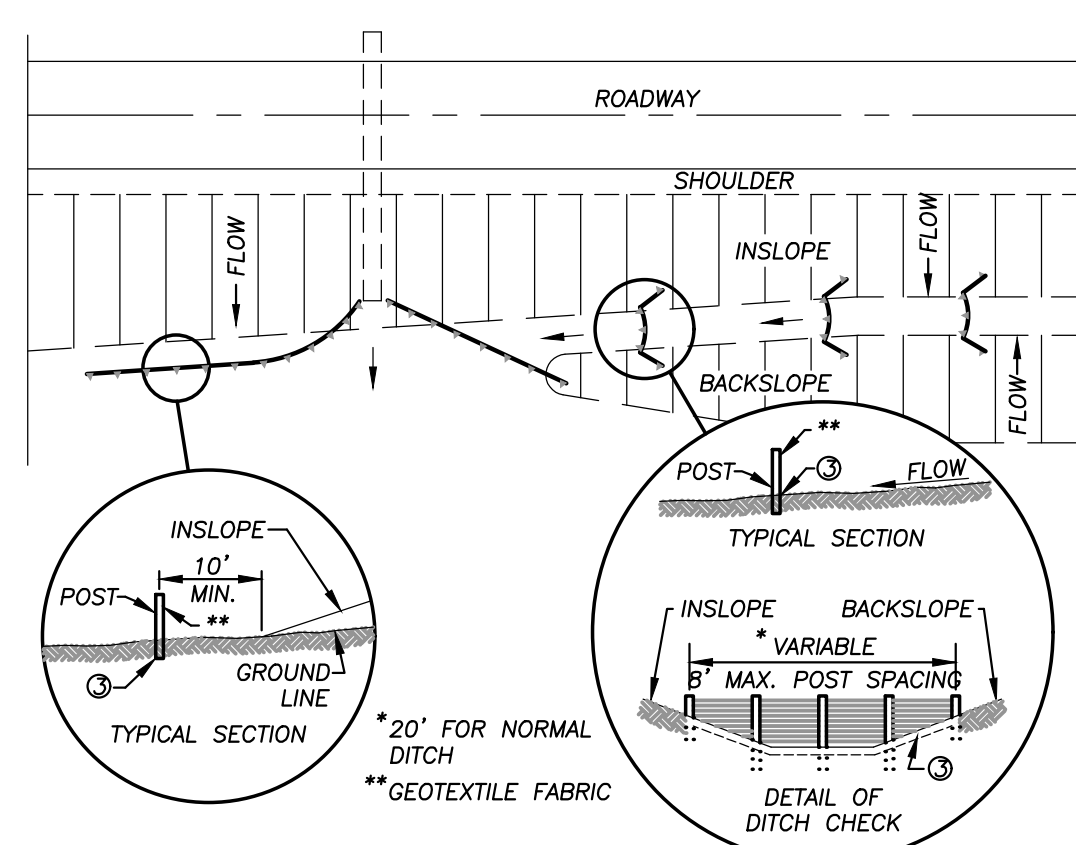


LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	NOTES/GRATE
SAN MH NO. 4	637.77	644.21	6.44	4' DIA PRECAST MANHOLE	R-1550-A SOLID LID, NON-ROCKING
SAN MH NO. 5	636.77	643.70	6.93	4' DIA PRECAST MANHOLE	R-1550-A SOLID LID, NON-ROCKING
SAN MH NO. 6	637.09	643.19	6.10	4' DIA PRECAST MANHOLE	R-1550-A SOLID LID, NON-ROCKING

PIPE LABEL	FROM	INVERT (I.E.) (FT)	TO	INVERT (I.E.) (FT)	LENGTH (FT)	SLOPE (%)	PIPE SIZE & TYPE
S-4	SAN MH NO. 4	637.77	SAN MH NO. 3	636.46	328'	0.40	8" PVC
S-5	SAN MH NO. 5	636.77	SAN MH NO. 2	635.65	281'	0.40	8" PVC
S-6	SAN MH NO. 6	637.09	SAN MH NO. 5	636.87	56'	0.40	8" PVC

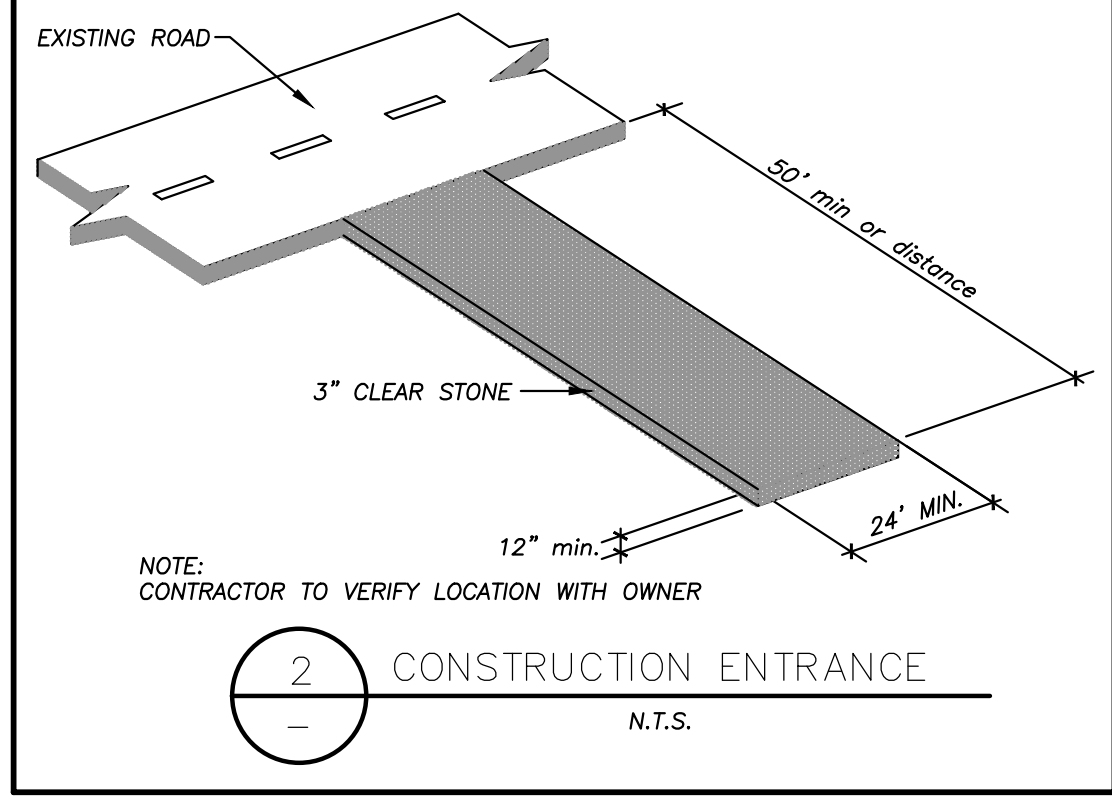
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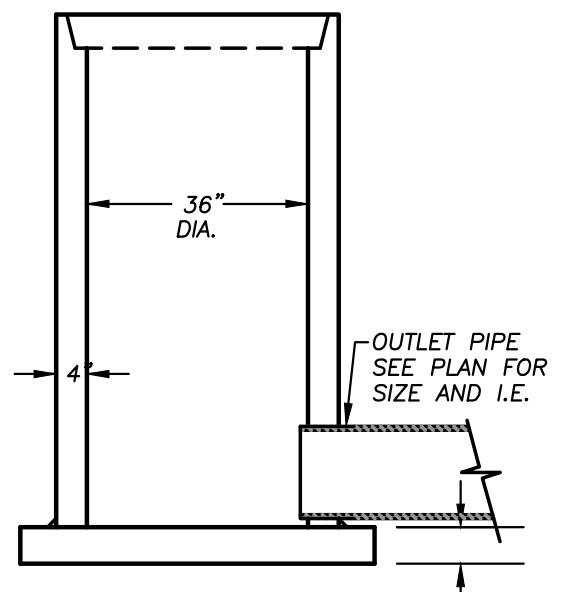
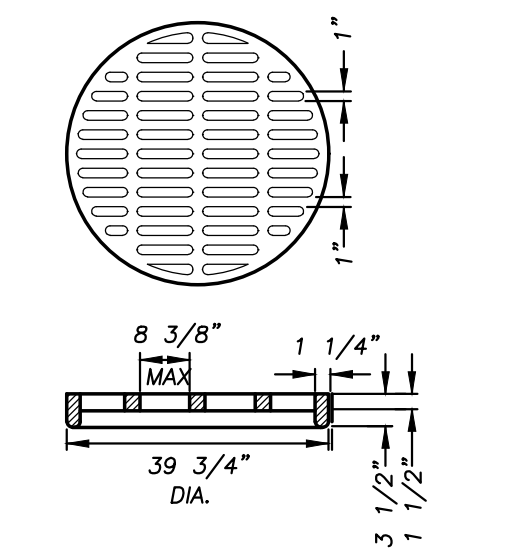


- DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
- HORIZONTAL BRACE WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
  - TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
  - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY.
  - SILT FENCE TO EXTEND ACROSS THE TOP OF PIPE.

1 SILT FENCE  
N.T.S.

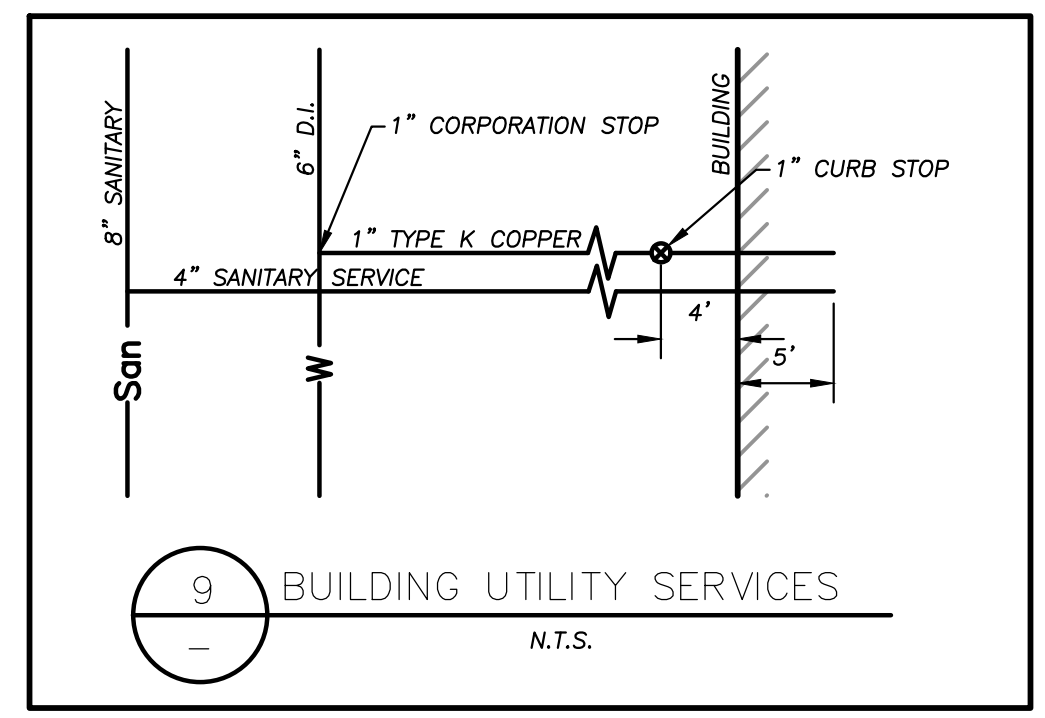


2 CONSTRUCTION ENTRANCE  
N.T.S.

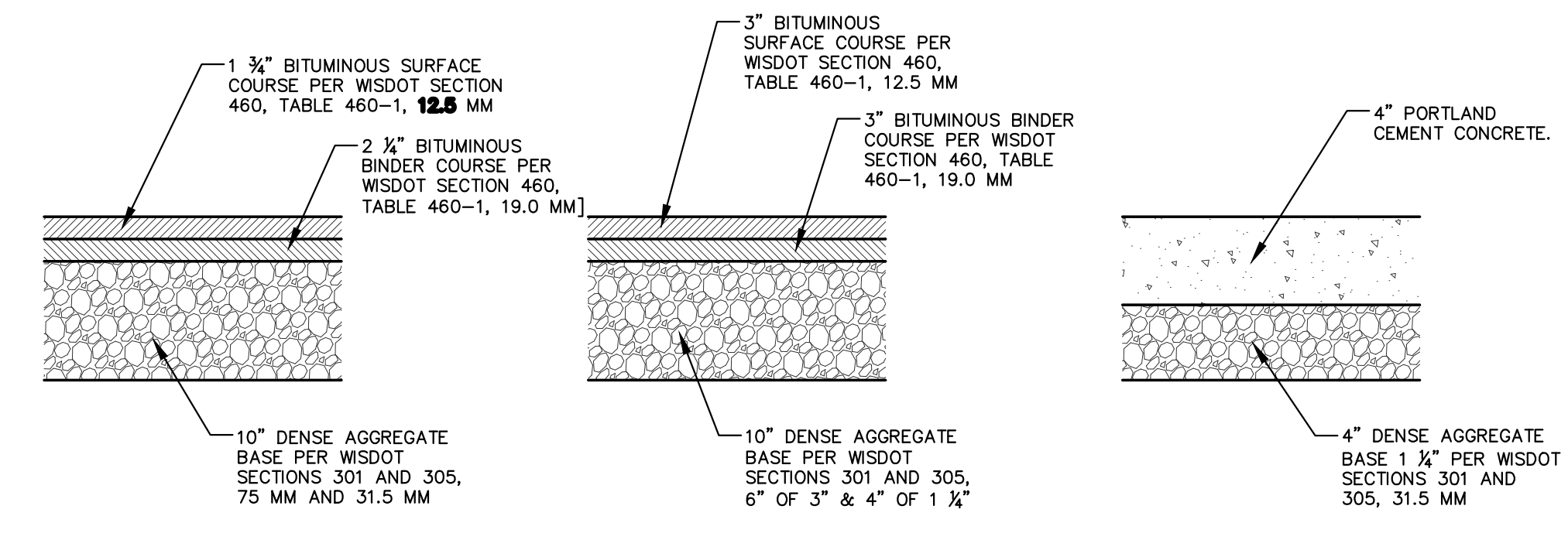


6 36" DIAMETER STORM INLET  
N.T.S.

IN BELL GRATE IS CUSTOM MANUFACTURED BY THE NEENAH FOUNDRY COMPANY TO DEPEND ON CONCRETE PIPE SPECIFICATIONS  
GRATE IS CAST GRAY IRON MANUFACTURED TO MEET ASTM A-48 CLASS 35 B AND AASHTO M105 SPECIFICATIONS - GRATE HYDRAULICS ARE AVAILABLE UPON REQUEST  
GRATES ARE AASHTO H20 LOAD RATED  
GRATE SETS FLUSH WITH TOP OF CATCH BASIN BELL  
PRECAST REINFORCED CONCRETE CATCH BASIN IS MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS  
STANDARD CATCH BASIN BARREL HEIGHTS: 0'-6", 1'-0", 2'-0", 3'-0" AND 4'-0"  
STOCK 36" DIA. CATCH BASINS AVAILABLE WITH OR WITHOUT A 6" THICK INTEGRAL BASE OR AS SPECIFIED  
CATCH BASIN JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 AS MANUFACTURED BY CONCRETE SEALANTS INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF FEDERAL SPECIFICATION SS-S-210 (210A), AASHTO M-198B AND ASTM C-990  
PIPE TO CATCH BASIN CONNECTORS: KOR-N-SEAL AS MANUFACTURED BY NPC INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF ASTM C-923

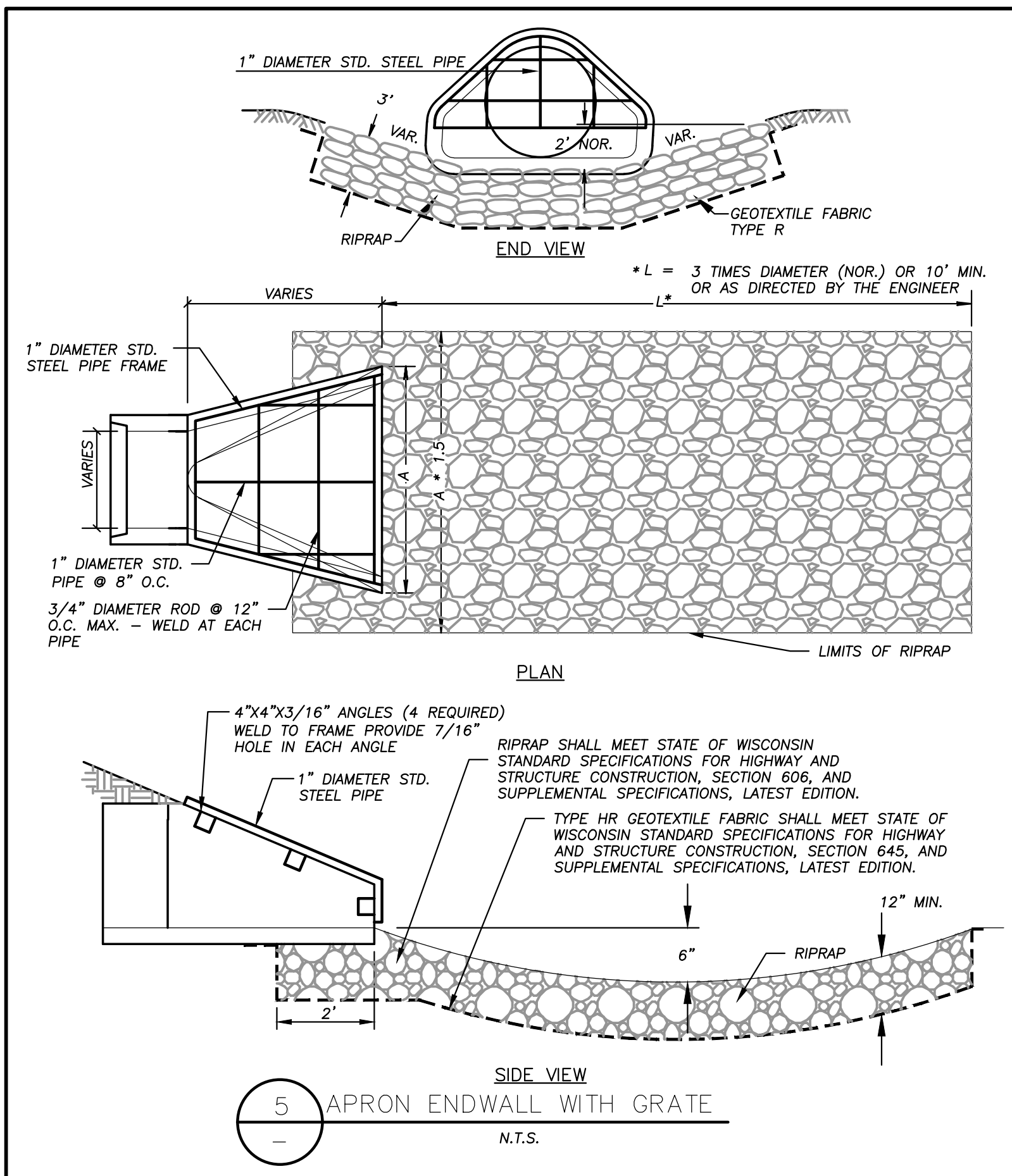


9 BUILDING UTILITY SERVICES  
N.T.S.

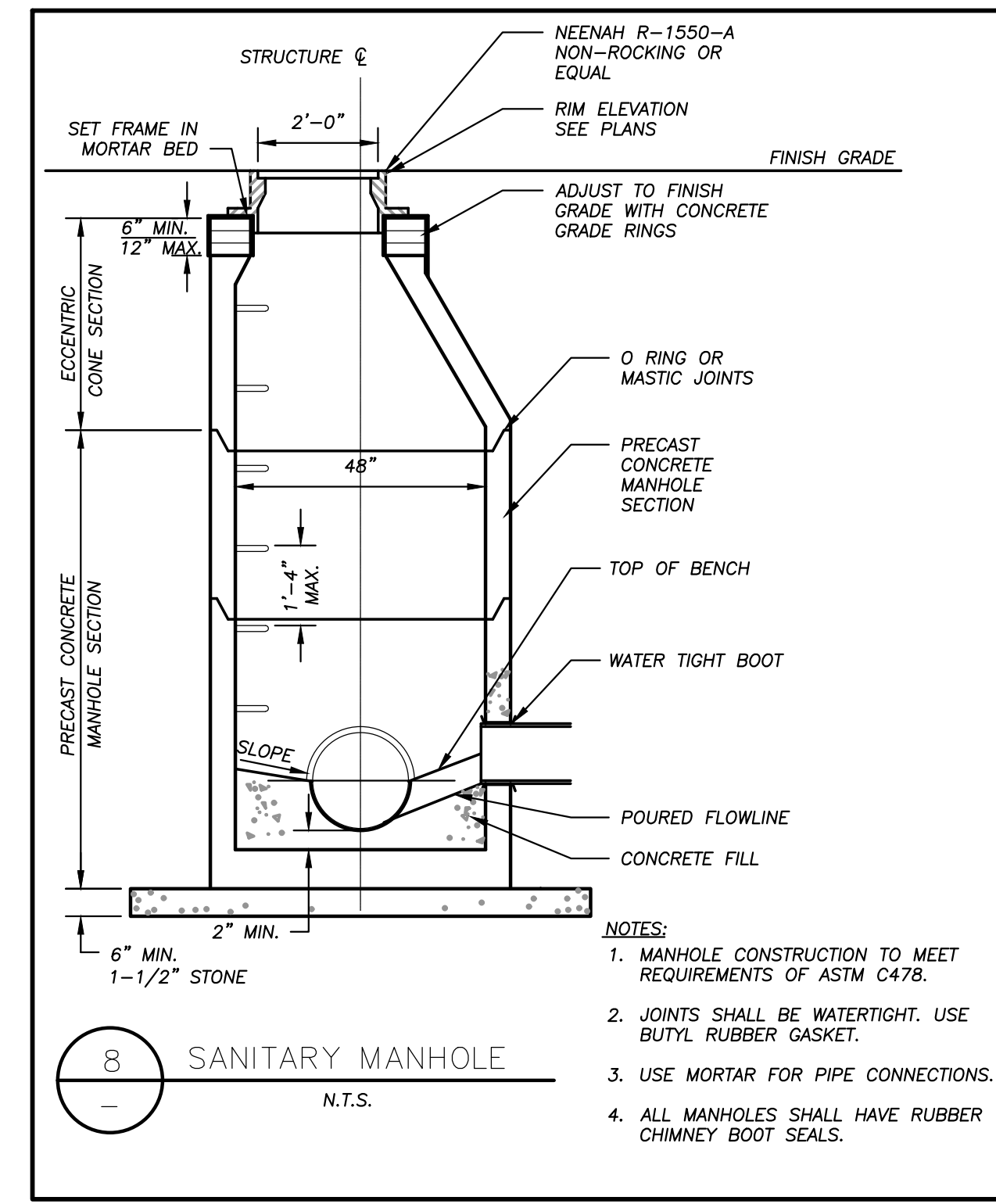


9 PAVEMENT SECTIONS  
N.T.S.

- GENERAL NOTES:**
- WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:  
- BITUMINOUS CONCRETE: REFER TO SECTION 460-3.  
- BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
  - CONCRETE EQUIPMENT PADS SHALL HAVE A MINIMUM 4" THICK PORTLAND CEMENT CONCRETE OVER COMPACTED 6" THICK DENSE GRADED BASE WITH REINFORCEMENT FOR CRACK CONTROL.



5 APRON ENDWALL WITH GRATE  
N.T.S.



8 SANITARY MANHOLE  
N.T.S.

- NOTES:**
- MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
  - JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
  - USE MORTAR FOR PIPE CONNECTIONS.
  - ALL MANHOLES SHALL HAVE RUBBER CHIMNEY BOOT SEALS.



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PROJECT:  
**STORAGE CONDOS  
SITE IMPROVEMENTS**

PROJECT LOCATION:  
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DE PERE, WI 54115**

**PLAN MODIFICATIONS:**

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Designed By: CGL  
Reviewed By: PMP/EJD  
Approved By: PMP

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**C4.0**

JSD PROJECT NO: 20-9800A



PLAN MODIFICATIONS:

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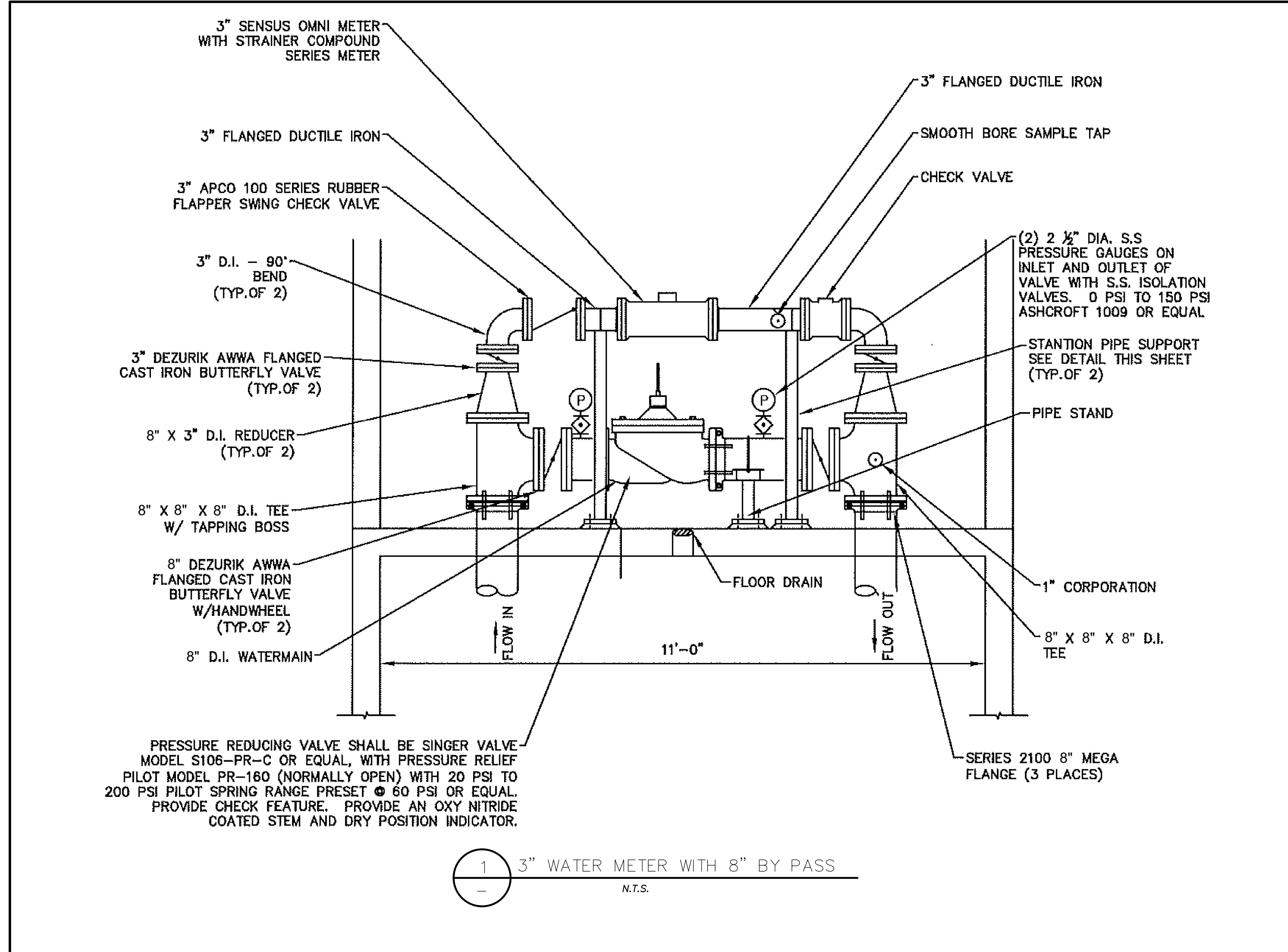
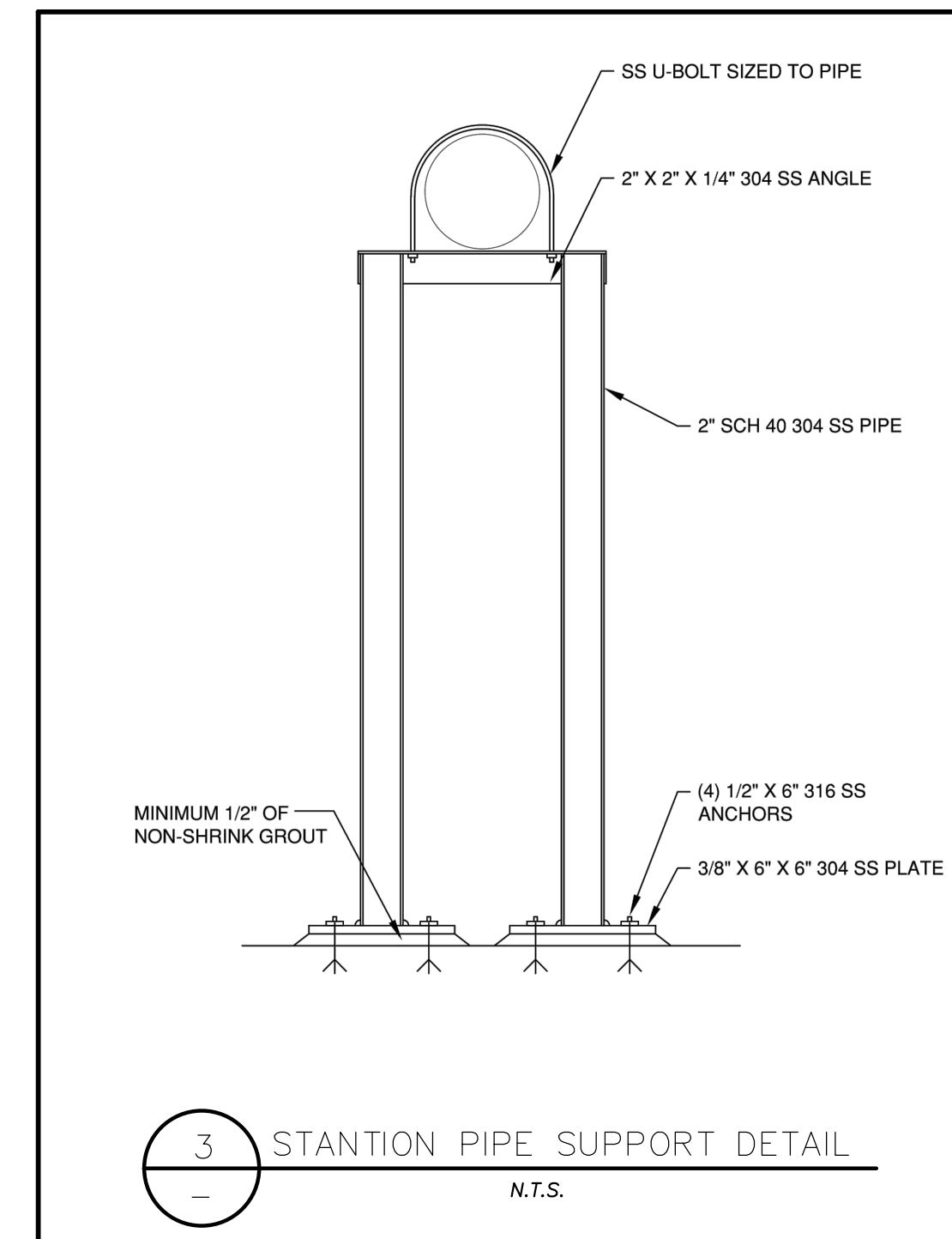
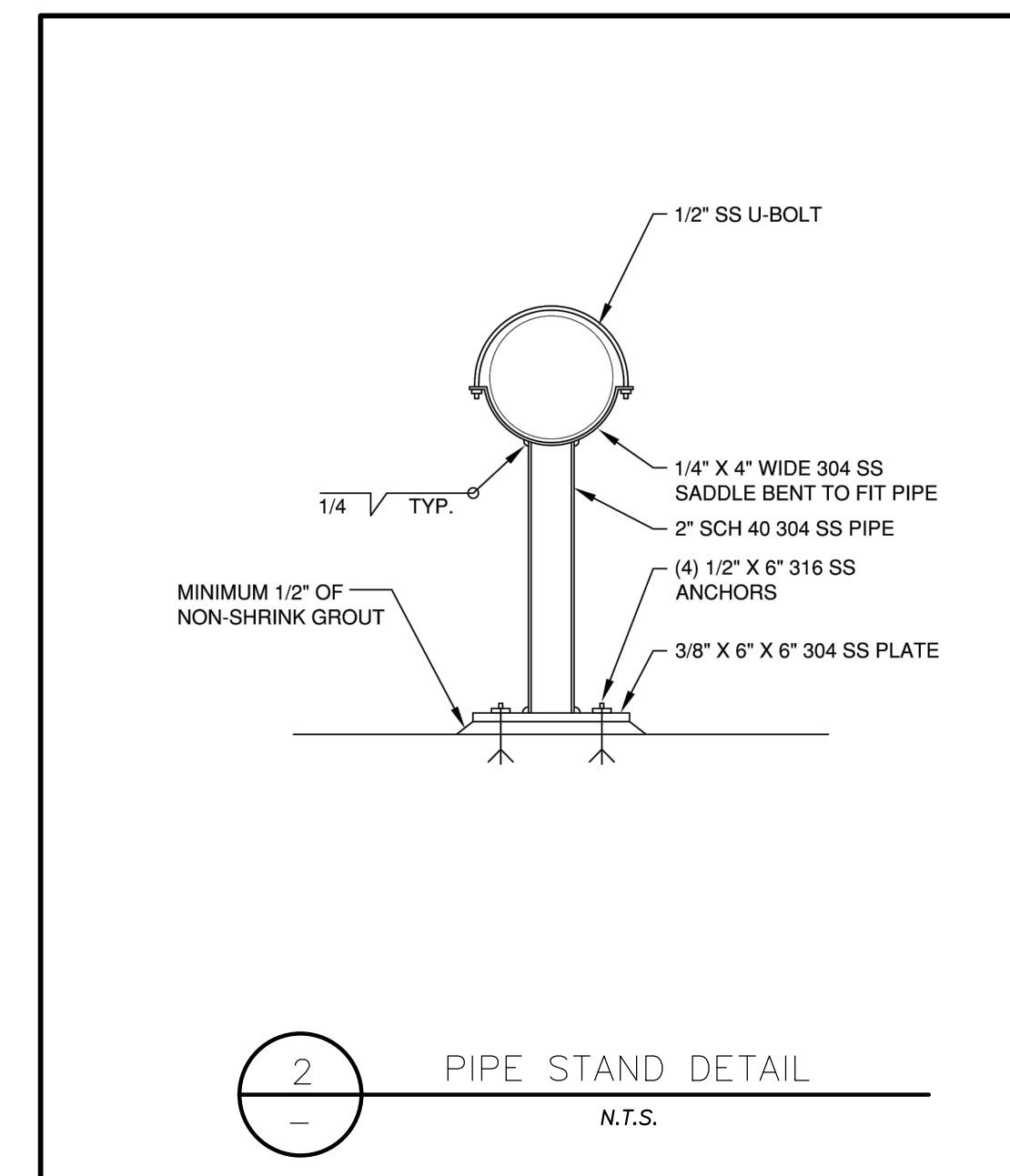
Designed By: CGL  
Reviewed By: PMP/EJD  
Approved By: PMP

SHEET TITLE:

**DETAILS**

SHEET NUMBER:

**C4.1**



PLAN MODIFICATIONS:

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Designed By:	CGL
Reviewed By:	PMP/EJD
Approved By:	PMP

SHEET TITLE:  
**LANDSCAPE PLAN**

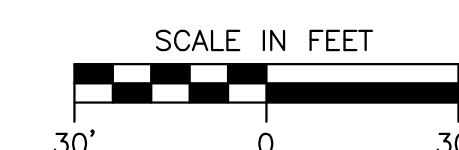
SHEET NUMBER:  
**L1.0**

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	CONCRETE PAVEMENT
	BIORETENTION AREA
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	FENCE

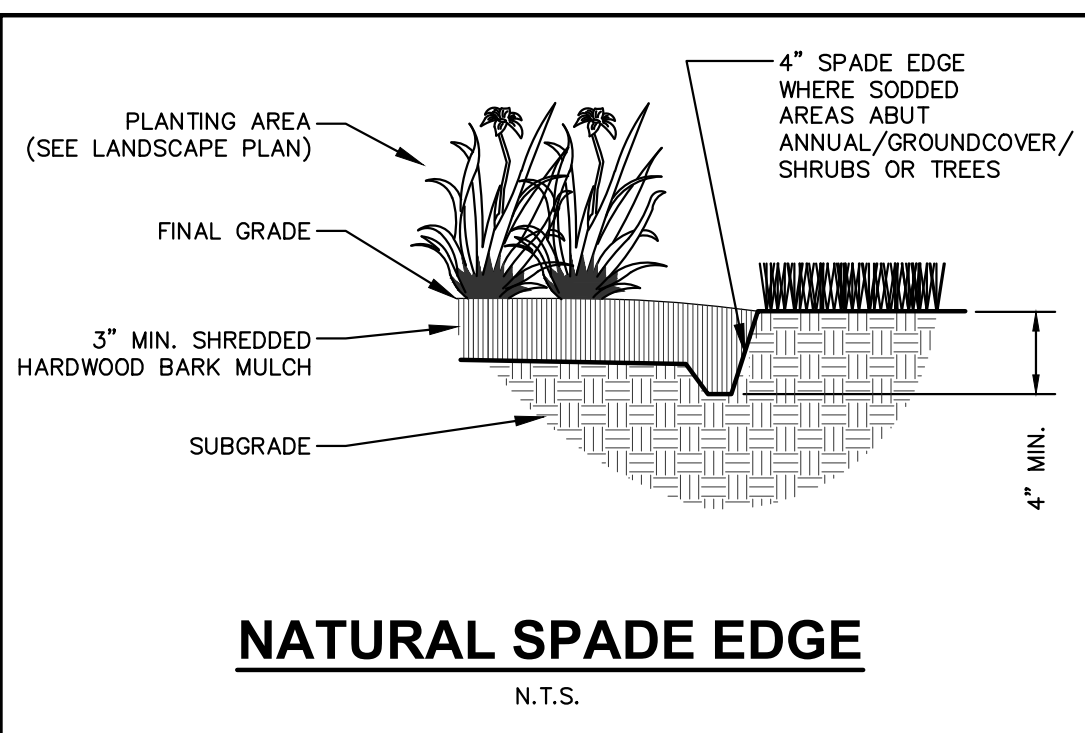
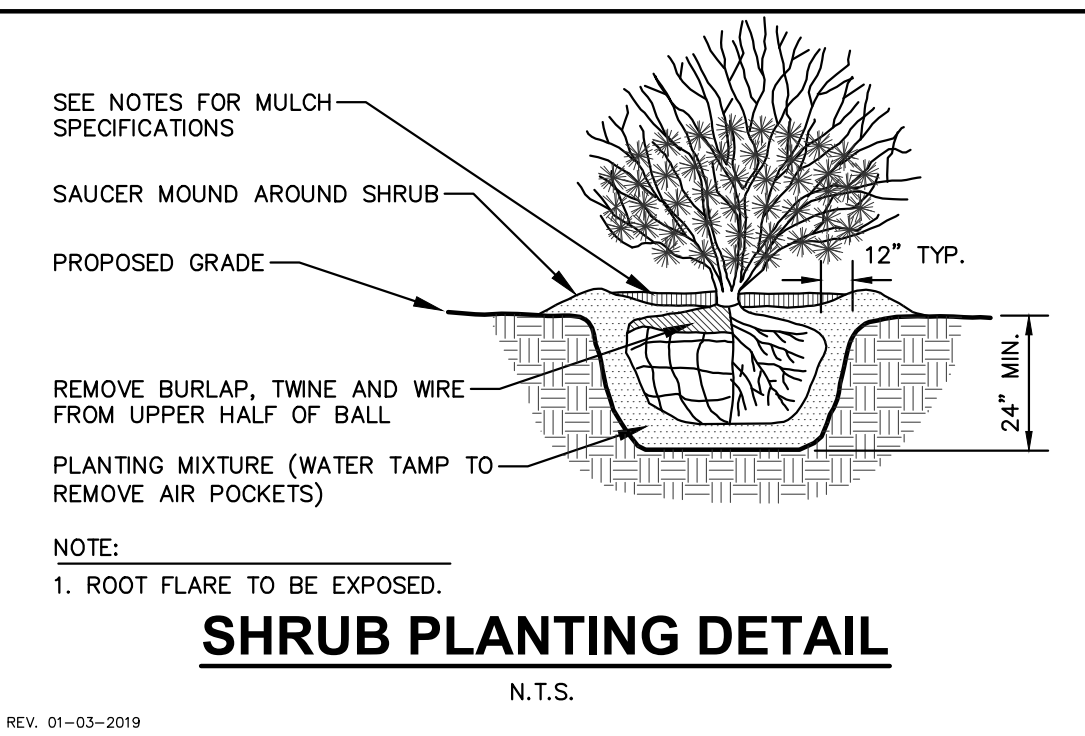
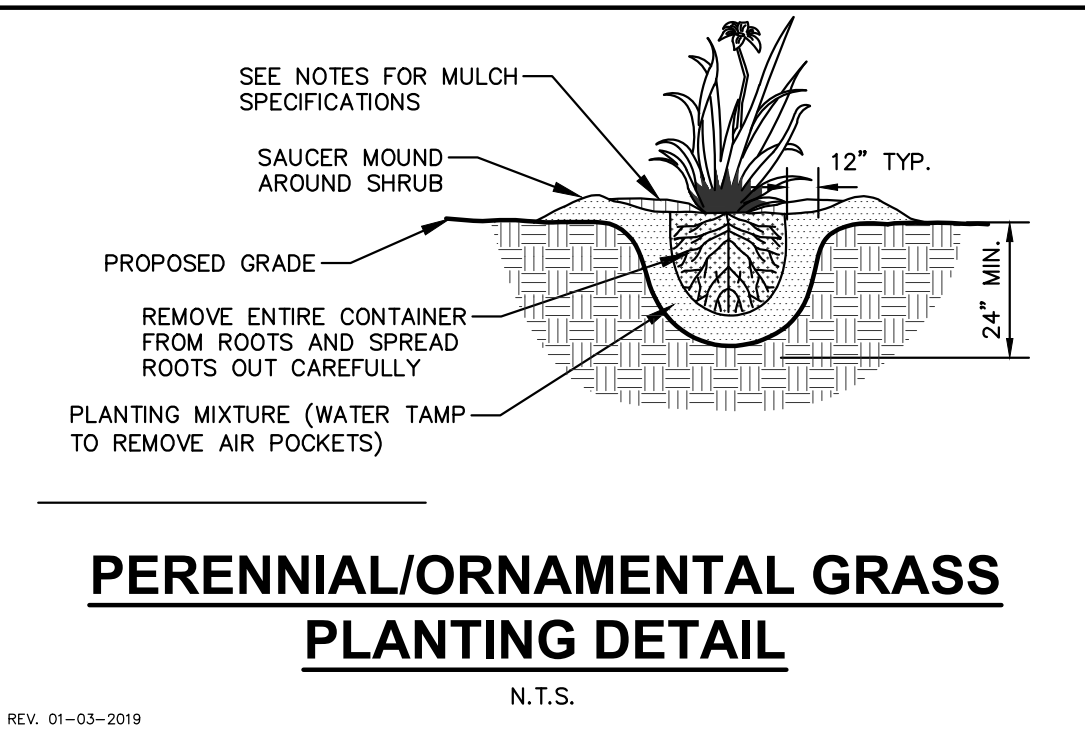
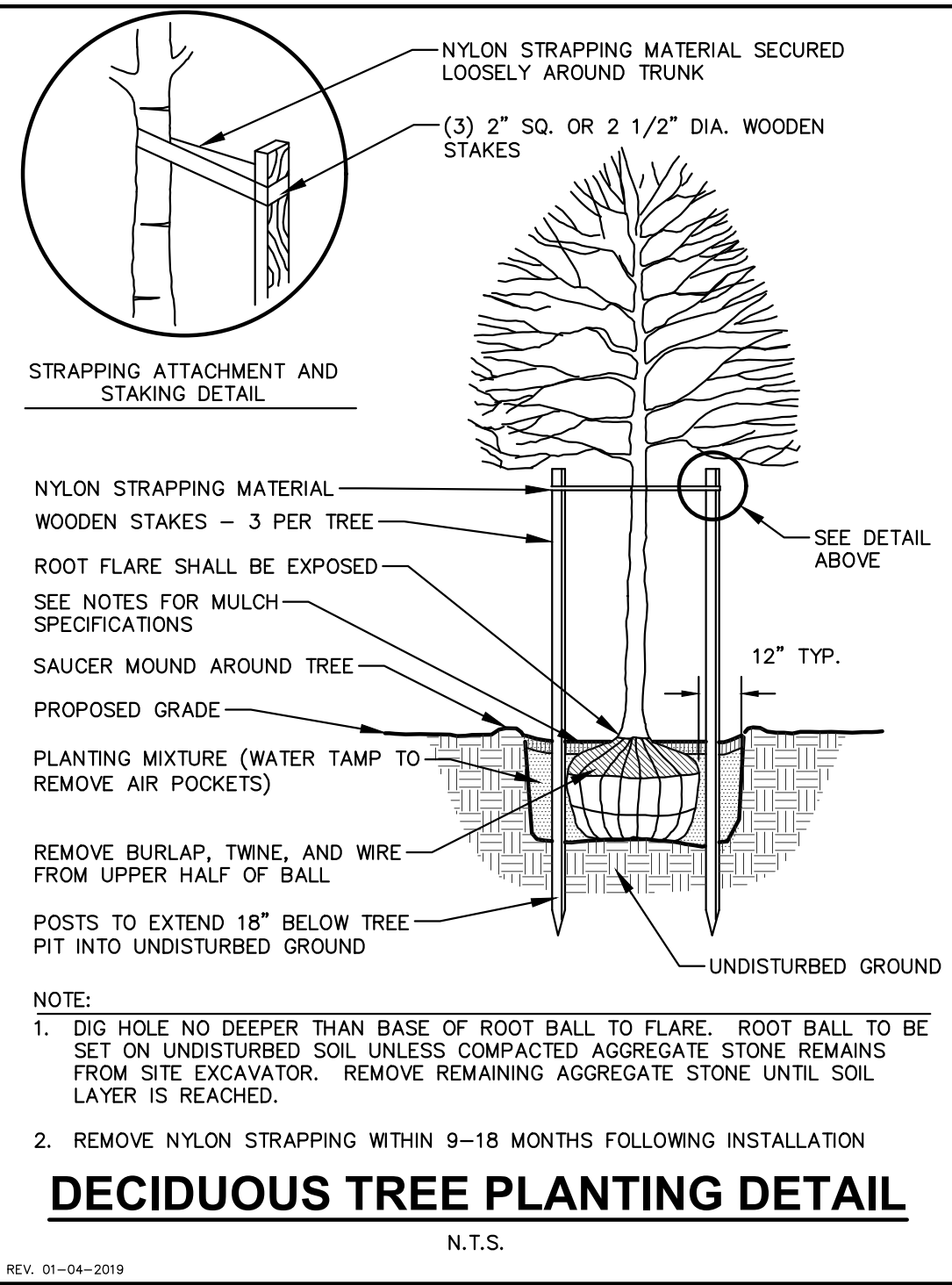
**PLANT SCHEDULE**

01-DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	TIL AME	5	Tilia americana 'Redmond' / Redmond American Linden	B & B	2.5" Cal
	ULM NEW	9	Ulmus x 'New Horizon' / New Horizon Elm	B & B	2.5" Cal
03-ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	MAL SPR	3	Malus x 'Spring Snow' / Spring Snow Crabapple	B & B	6" Tall
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	SYR PAT	8	Syringa patula 'Miss Kim' / Miss Kim Korean Lilac	Cont.	#3
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	JUN SAB	23	Juniperus sabinia 'Buffalo' / Buffalo Juniper	Cont.	#5



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**GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



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**APPLETON REGIONAL OFFICE**  
3215 WEST LAWRENCE STREET, SUITE 6  
APPLETON, WI 54914  
P. 920.733.2800

CLIENT:  
**TOWN & COUNTY DEVELOPMENT**

CLIENT ADDRESS:  
**1855 COTTONWOOD COURT  
DE PERE, WI 54115**

PROJECT:  
**STORAGE CONDOS  
SITE IMPROVEMENTS**

PROJECT LOCATION:  
**701 MILLENNIUM COURT  
DE PERE, WI 54115**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	08-09-2022	PIP FINAL SUBMITTAL
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Designed By: CGL  
Reviewed By: PMP/EJD  
Approved By: PMP

**LANDSCAPE NOTES & DETAILS**

SHEET NUMBER:

**L2.0**

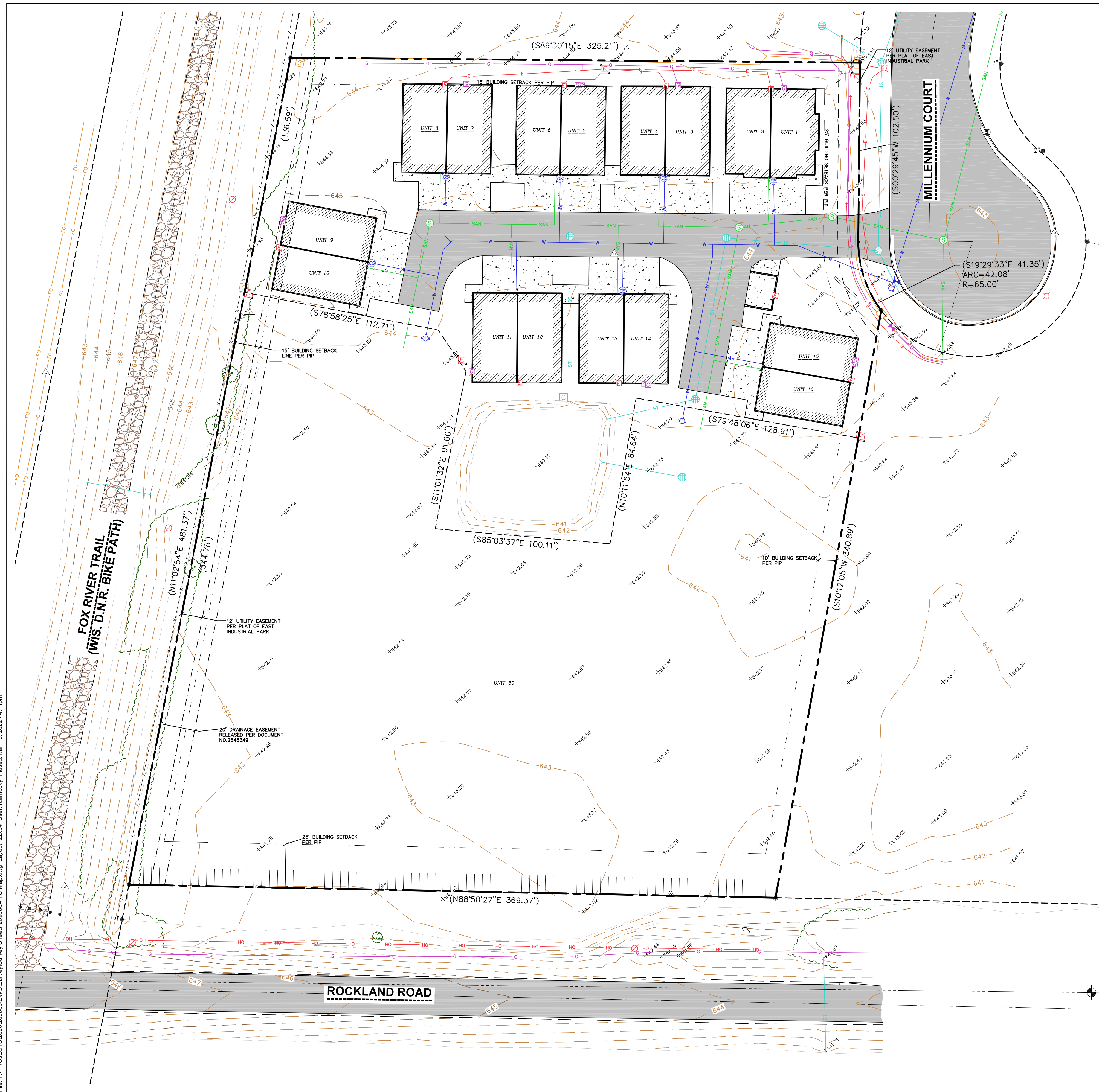
JSD PROJECT NO: 20-9800A



File: Y:\PROJECTS\2020\208800\DWG\landscape\plan.dwg Layout: L2.0 User: client Plotted: Aug 09, 2022, 10:35am Xrefs:

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File: Y:\PROJECTS\2020\208000\DWG\Survey\Survey\Sheets\208000A TU Map.dwg Layout: 22x34 User: rosmosky Plotted: Mar 16, 2022 - 4:11pm



## EXISTING CONDITIONS SURVEY

UNITS 1-16 AND 50, STORAGESHOPUSA-EAST DE PERE CONDOMINIUM, LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 34, TOWNSHIP 23 NORTH, RANGE 20 EAST, CITY OF DEPERE, BROWN COUNTY, WISCONSIN.

### LEGEND

- MAG NAIL SET
- GOVERNMENT CORNER
- WITNESS MONUMENT
- 1" IRON PIPE FOUND
- 2" IRON PIPE FOUND
- IRON PIPE FOUND (SIZE NOTED)
- PK/MAG NAIL FOUND
- 1/4" REBAR FOUND
- 3/4" REBAR FOUND
- CONTROL POINT
- BENCHMARK
- SANITARY MANHOLE
- WATER MANHOLE
- HYDRANT
- WATER VALVE
- CURB STOP/SERVICE VALVE
- STORM MANHOLE
- ROUND CASTED INLET
- GAS REGULATOR/METER
- GAS VALVE
- PLAT BOUNDARY
- CHORD LINE
- CENTERLINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- SECTION LINE
- PARCEL BOUNDARY
- PROPERTY LINE
- PLATTED LOT LINE
- EASEMENT LINE
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- EDGE OF GRAVEL
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- UNDERGROUND ELECTRIC
- EDGE OF WOODS OR BRUSH
- BUILDING
- 875 INDEX CONTOUR
- 874 INTERMEDIATE CONTOUR
- SPOT ELEVATION
- PHASE LINE
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- GRAVEL
- EDGE OF BITUMINOUS
- PAVEMENT STRIPING
- END OF FLAGGED UTILITIES
- ( ) DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

### NOTES

1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON FEBRUARY 21, 2022.
2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, BROWN COUNTY, THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 34-23-20, BEARS S89°19'18"E.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MARKING THE NORTH 1/4 CORNER OF SECTION 2, T6N, R9E, ELEVATION = 899.17'
4. CONTOUR INTERVAL IS ONE FOOT.
5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20220805528, WITH A CLEAR DATE OF 02/27/2022.
7. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:  
CITY OF DEPERE  
A&T DISTRIBUTION  
TIME WARNER CABLE  
UNIFIED SCHOOL DISTRICT OF DE PERE  
WISCONSIN PUBLIC SERVICE CORP
8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
9. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
10. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
11. ALL UNITS ARE PART OF STORAGESHOPUSA-EAST DE PERE CONDOMINIUM



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APPLETON REGIONAL OFFICE  
3215 WEST LAWRENCE STREET, SUITE 6  
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P. 920.733.2800

CLIENT:  
**TOWN AND COUNTRY DEVELOPMENT, LLC**

CLIENT ADDRESS:  
**1855 COTTONWOOD COURT  
DE PERE, WI 54115**

PROJECT:  
**COMMERCIAL CONDOS**

PROJECT LOCATION:  
**701 MILLENNIUM COURT  
DE PERE, BROWN COUNTY  
WISCONSIN 54115**

#### MODIFICATIONS:

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Prepared By: JNW 03/16/22  
Reviewed By: TJB 03/16/22  
Approved By: TJB 03/16/22

### EXISTING CONDITIONS SURVEY

SHEET NUMBER:

**1 OF 1**

PROJECT NO: 20-9800A

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PLAN MODIFICATIONS:

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Design/Drawn:

Approved:

Plan Created:

SHEET TITLE:

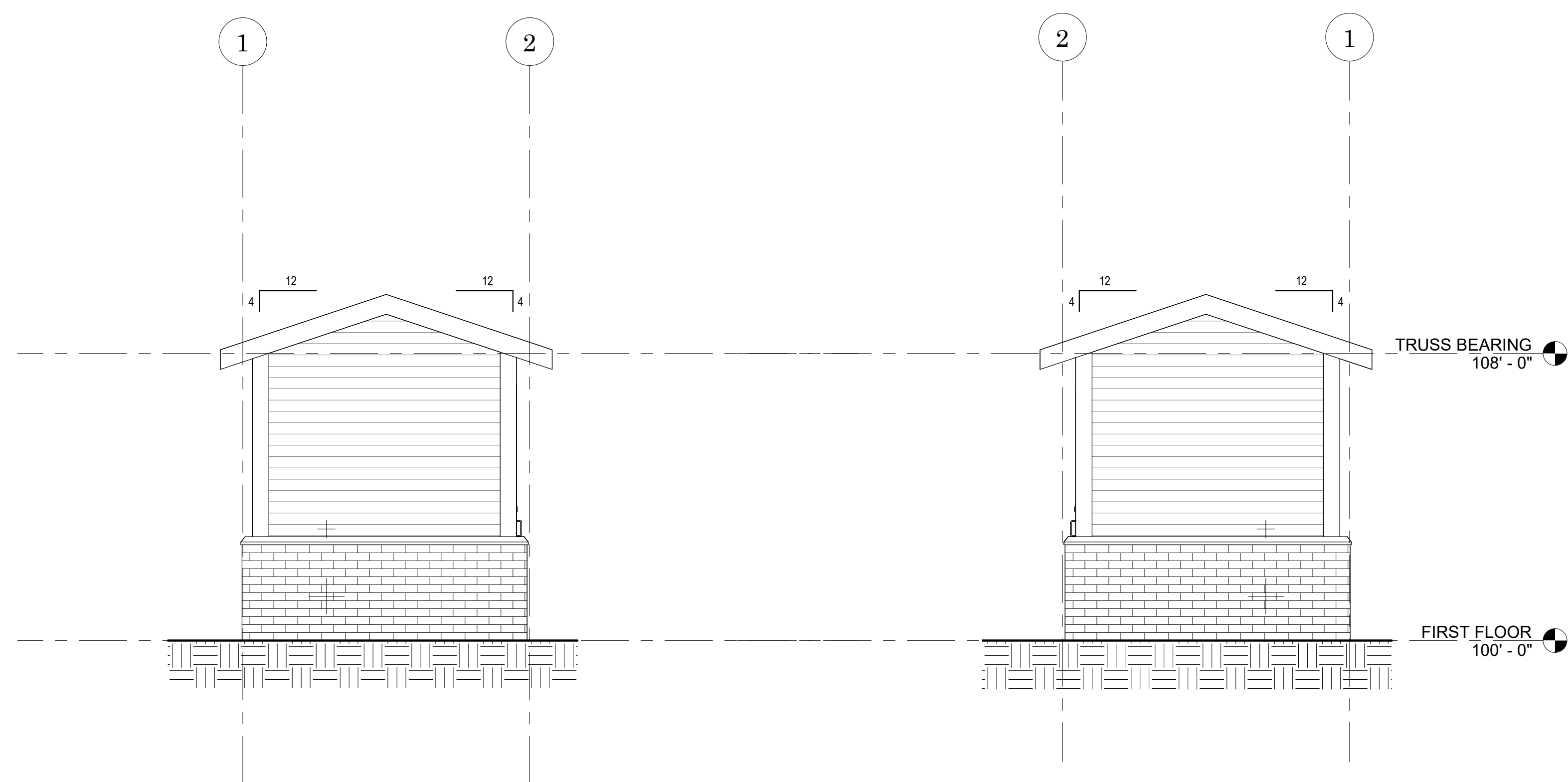
**FLOOR PLAN &  
ELEVATIONS**

SHEET NUMBER:

**A100**

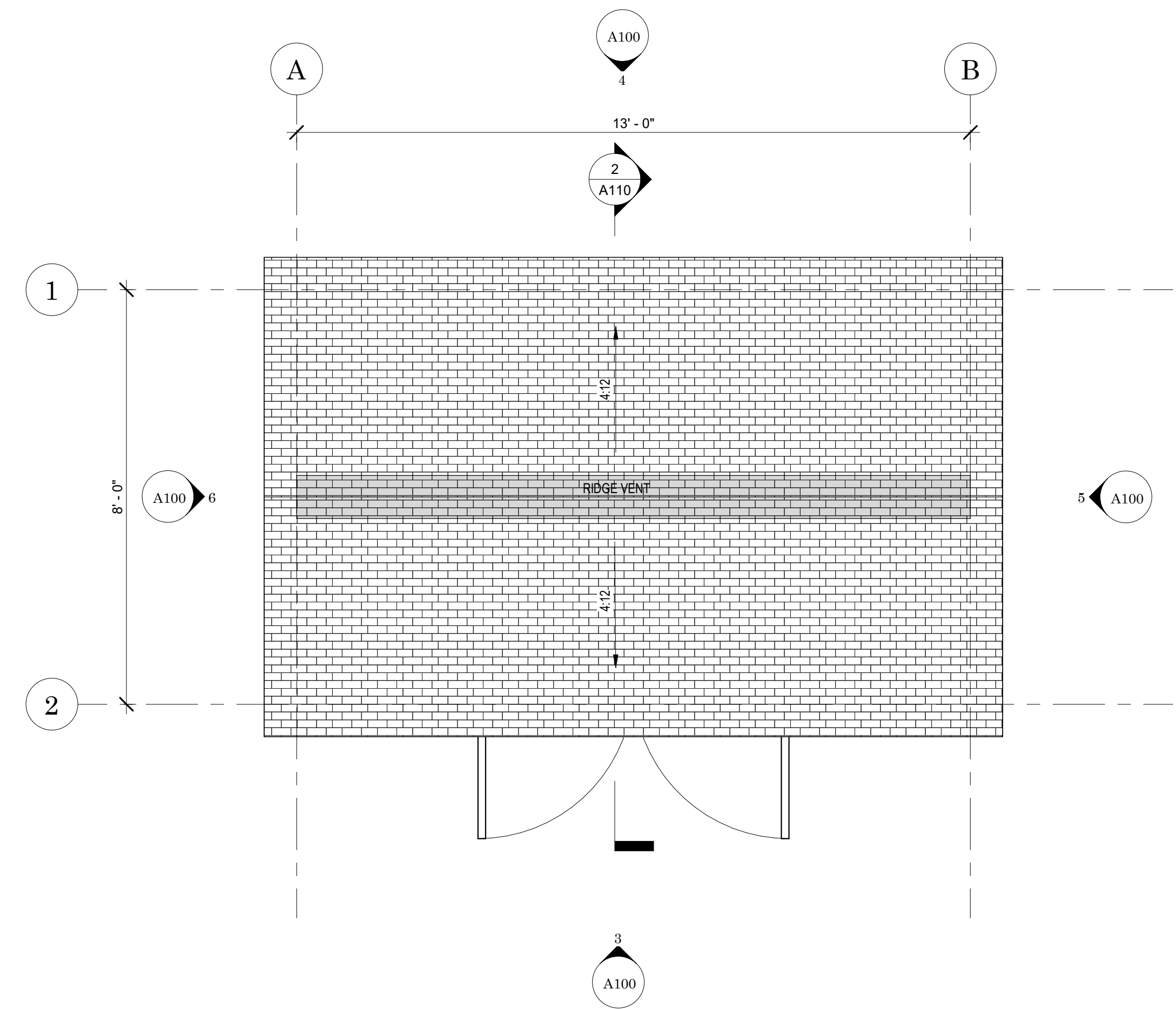
JSD PROJECT NO:

20-9800A

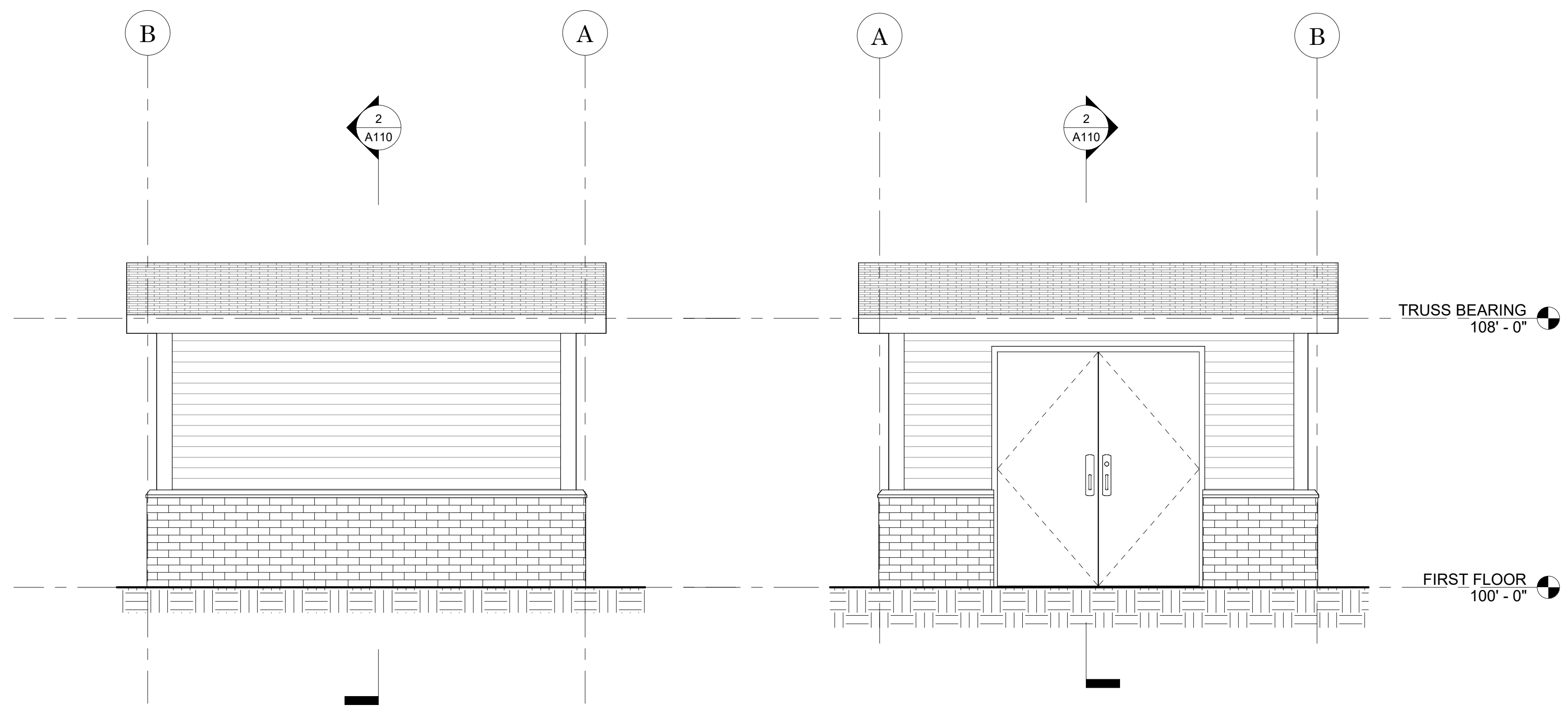


**6 WEST ELEVATION**  
A100 3/8" = 1'-0"

**5 EAST ELEVATION**  
A100 3/8" = 1'-0"

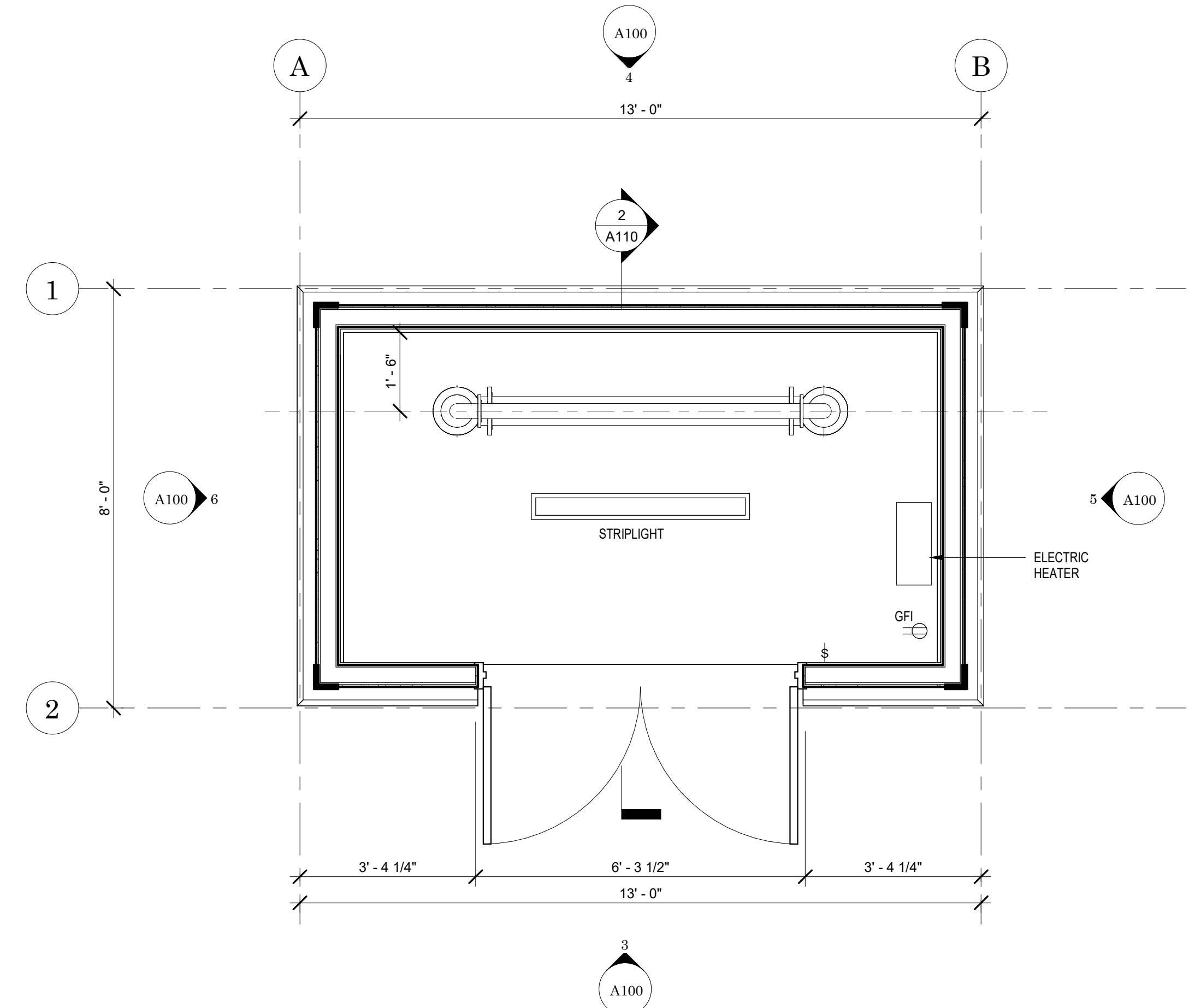


**2 ROOF PLAN**  
A100 1/2" = 1'-0"



**4 NORTH ELEVATION**  
A100 3/8" = 1'-0"

**3 SOUTH ELEVATION**  
A100 3/8" = 1'-0"



**1 FIRST FLOOR**  
A100 1/2" = 1'-0"

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Design/Drawn:

Approved:

Plan Created:

SHEET TITLE:

**SECTIONS & DETAILS**

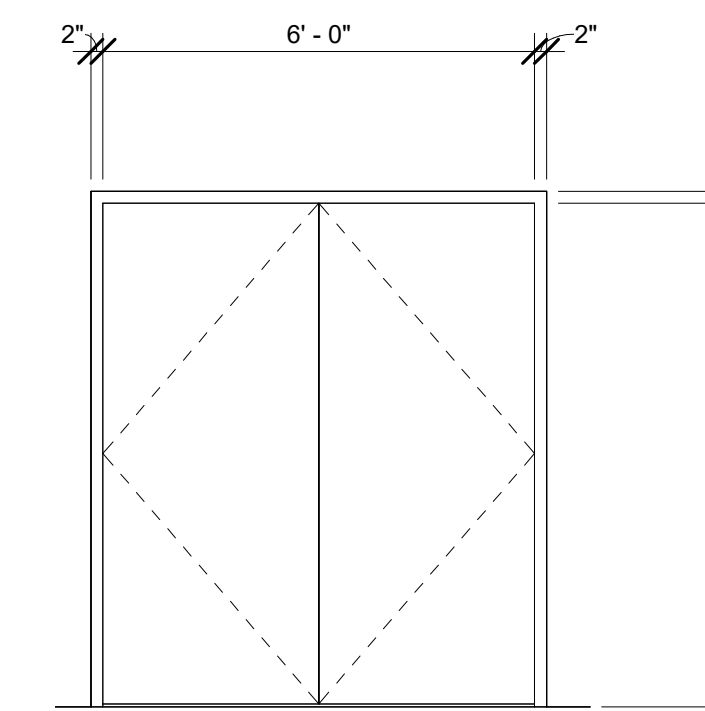
SHEET NUMBER:

**A110**

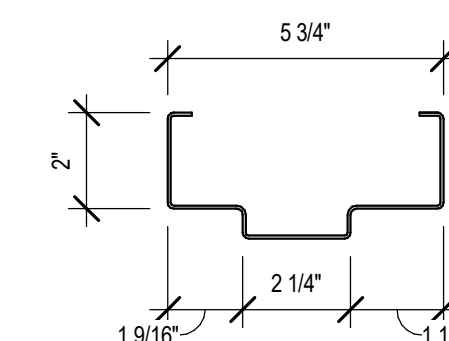
DOOR SCHEDULE											
DOOR #	WIDTH	HEIGHT	THICKNESS	HANDING	FIRE RATING	DOOR MATERIAL	DOOR PANEL	FRAME MATERIAL	JAMB PROFILE	HARDWARE GROUP	NOTES
100	6'-0"	7'-0"	1 3/4"	RHR	N/A	HM - 16 GA.	SEE ELEVATION	HM - 16 GA.	Z	GROUP 1	

DOOR HARDWARE SCHEDULE					
GROUP 1P (EXTERIOR DOUBLE DOOR - STOREROOM LOCKSET ACTION):					
2	EA	CONTINUOUS HINGE	224HD	CLR	IVES
2	EA	PULL PLATE	8303	626	IVES
1		DEADLOCK	B661P	626	SCHLAGE
1		FLUSHBOLT	F661P		IVES
1	EA	CYLINDER	BY OWNER	626	SCHLAGE
1	SET	SEAL	160	AL	NGP
1	SET	ASTRAGAL	137N (SET)	AL	NGP
2	EA	SWEEP	200N	AL	NGP
1	EA	THRESHOLD	425	AL	NGP
1	EA	RAIN DRIP	16	AL	NGP

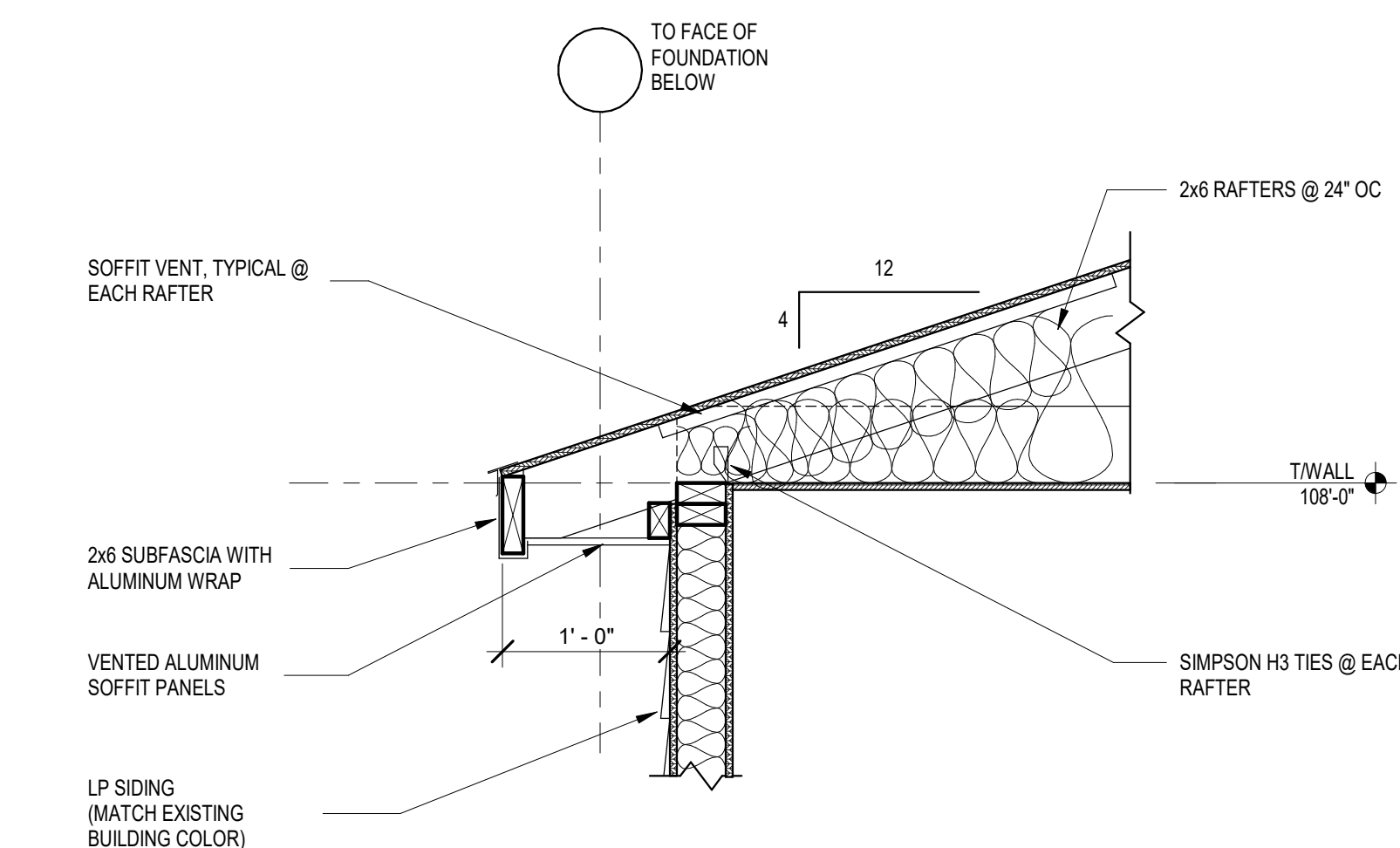
- ALL LOCKSET CORES TO BE SCHLAGE 20-030 CONVENTIONAL CHANGABLE CORES W. 626 FINISH. MASTER KEYING TO BE COORDINATED WITH BUILDING OWNER



**DOOR ELEVATION - TYPE F (FLUSH)**  
INSULATED HOLLOW METAL W/ STEEL ASTRAGAL

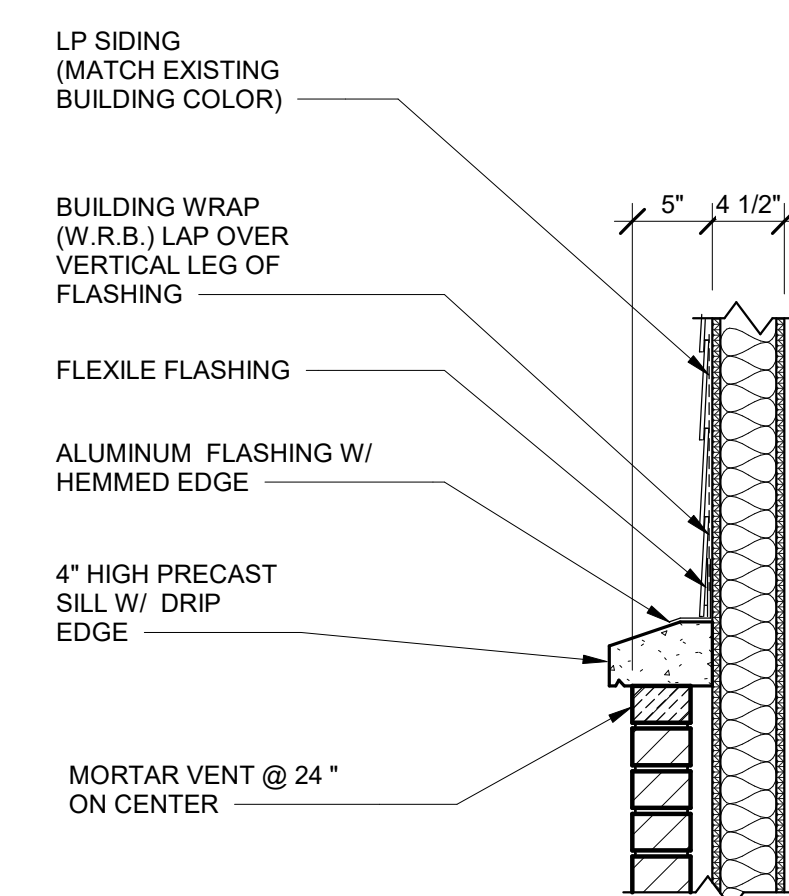


**JAMB PROFILE - Z**  
HOLLOW METAL



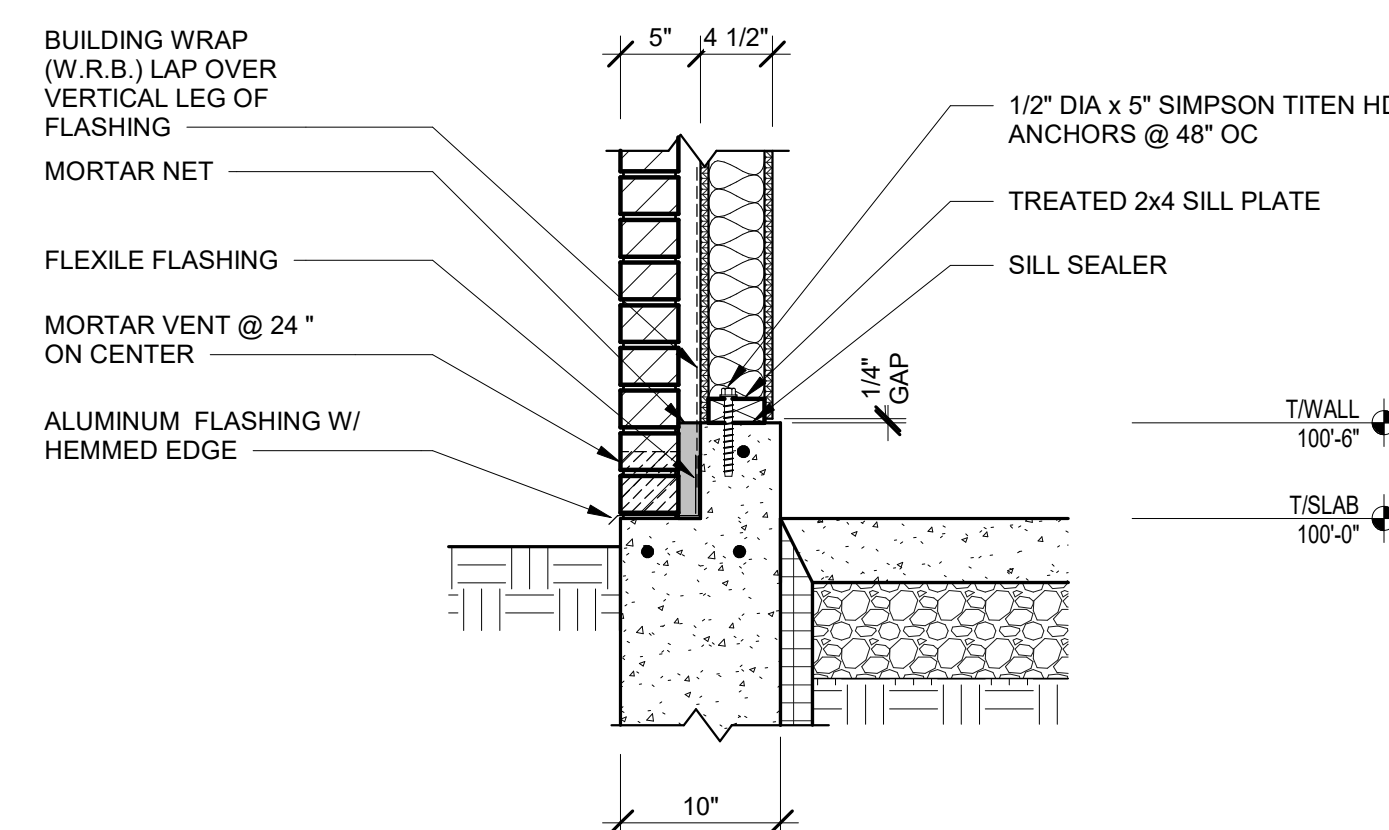
**6 TRUSS BEARING AT EXTERIOR WALL**

A110 1" = 1'-0"



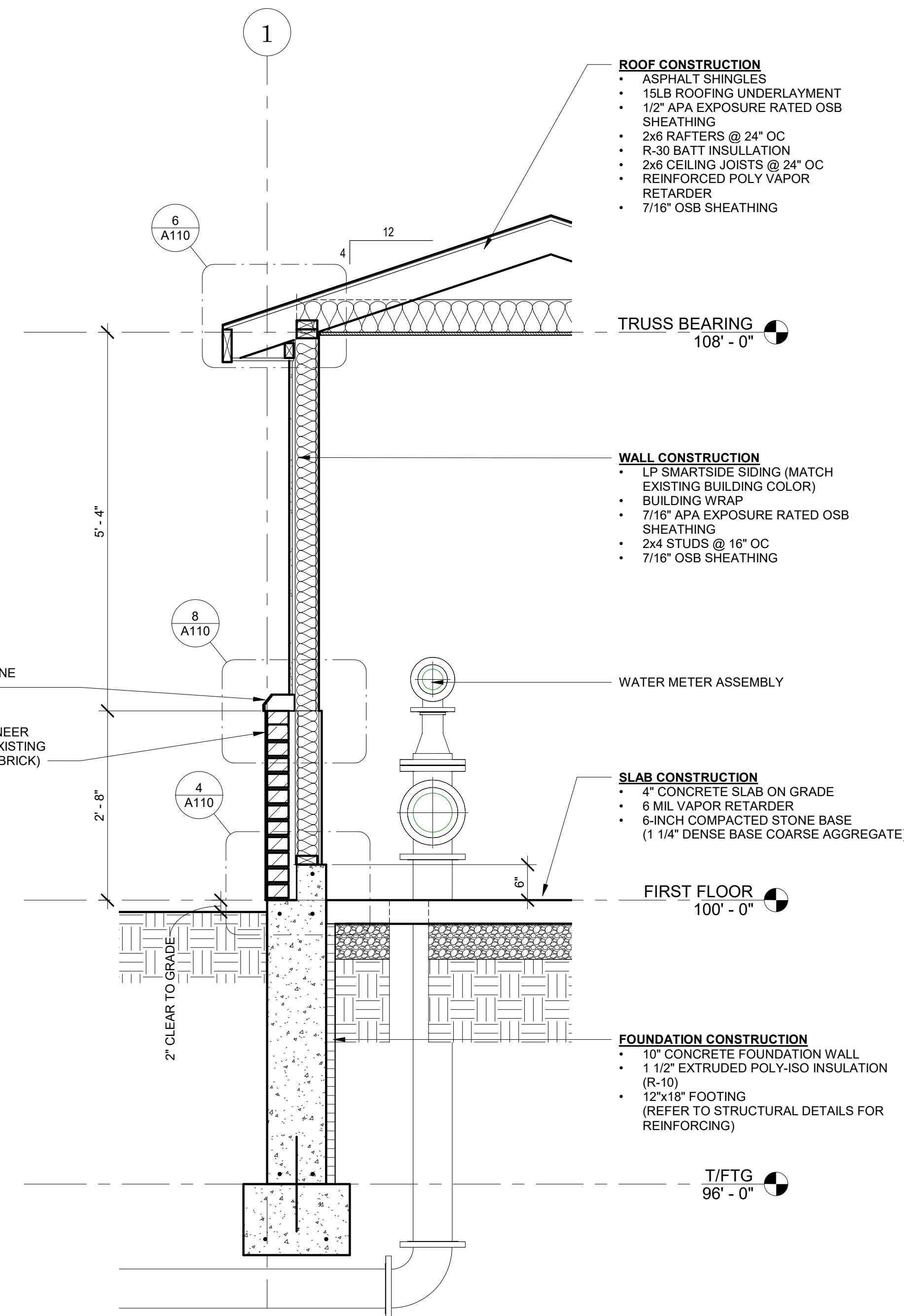
**8 TRANSITION @ BRICK SILL**

A110 1" = 1'-0"



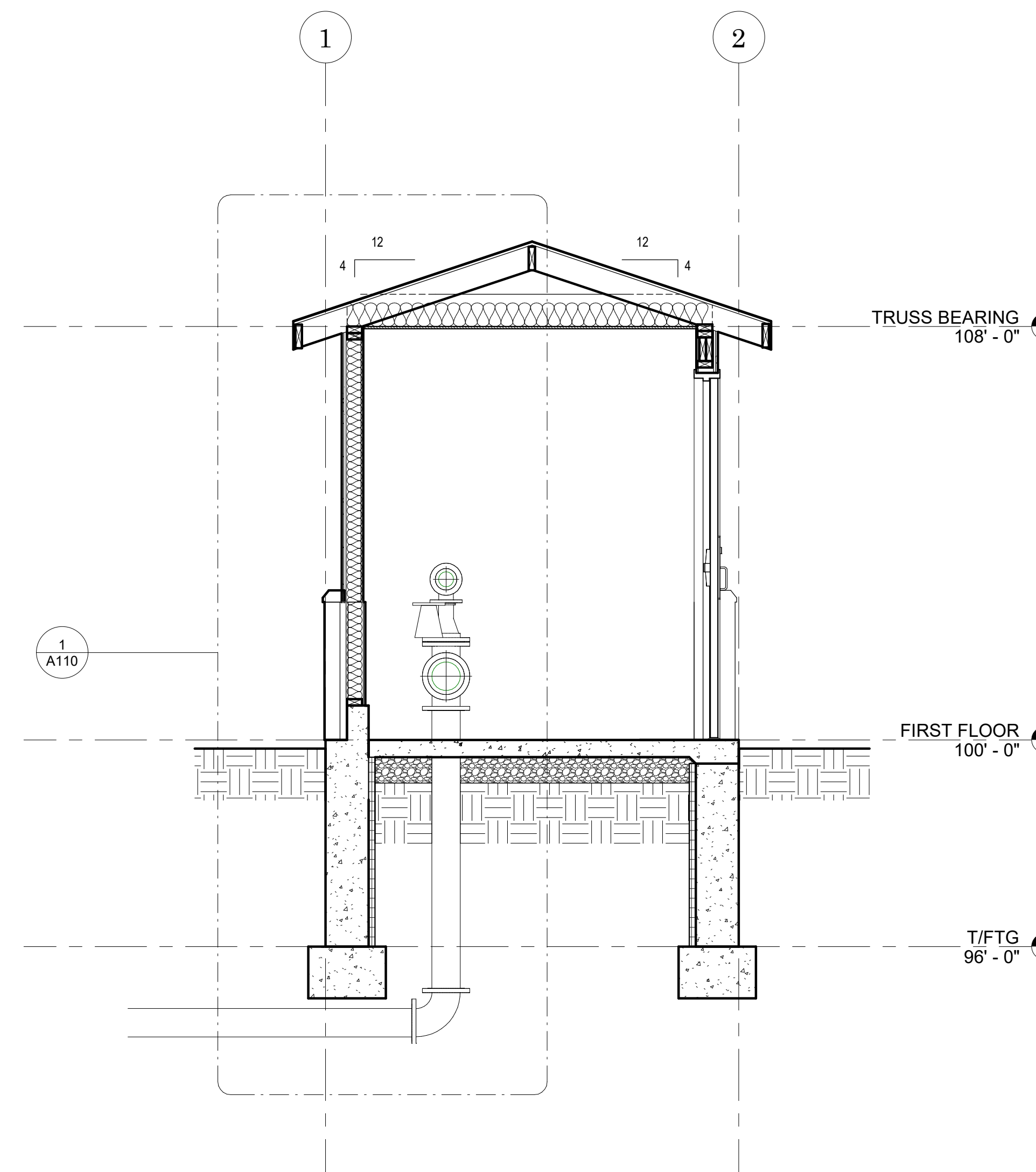
**4 WALL CAVITY @ FOUNDATION**

A110 1" = 1'-0"



**1 TYPICAL WALL SECTION**

A110 3/4" = 1'-0"



**2 BUILDING ECTION**

A110 1/2" = 1'-0"



PLAN MODIFICATIONS:

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Design/Drawn:  
Approved:  
Plan Created:  
SHEET TITLE:  
**FOUNDATION PLAN &  
DETAILS**

SHEET NUMBER:

**S100**

### CONCRETE SPECIFICATION

**SLAB ON GRADE (INTERIOR)**

- 4" CONCRETE SLAB ON GRADE
- 4,000 PSI 28 DAY COMPRESSIVE STRENGTH
- 1 1/2" MAX AGGREGATE SIZE
- 3/4" MICRO FILIBRATED SYNTHETIC FIBER REINFORCING (1.5 LBS PER CU. YD.)
- W/C RATIO ≤ 0.48
- 15 MIL VAPOR BARRIER
- 6-INCH COMPACTED 1 1/4" DENSE BASE COURSE
- SMOOTH TROWEL FINISH
- CURING COMPOUND IS NOT ALLOWED

**FOUNDATION WALLS**

- 4,000 PSI 28 DAY COMPRESSIVE STRENGTH
- 1 1/2" MAX AGGREGATE SIZE
- 6% AIR ENTRAINMENT +/- 1%
- W/C RATIO ≤ 0.48

**FOOTINGS**

- 3,000 PSI 28 DAY COMPRESSIVE STRENGTH
- 1 1/2" MAX AGGREGATE SIZE
- NO AIR ENTRAINMENT
- W/C RATIO ≤ 0.64

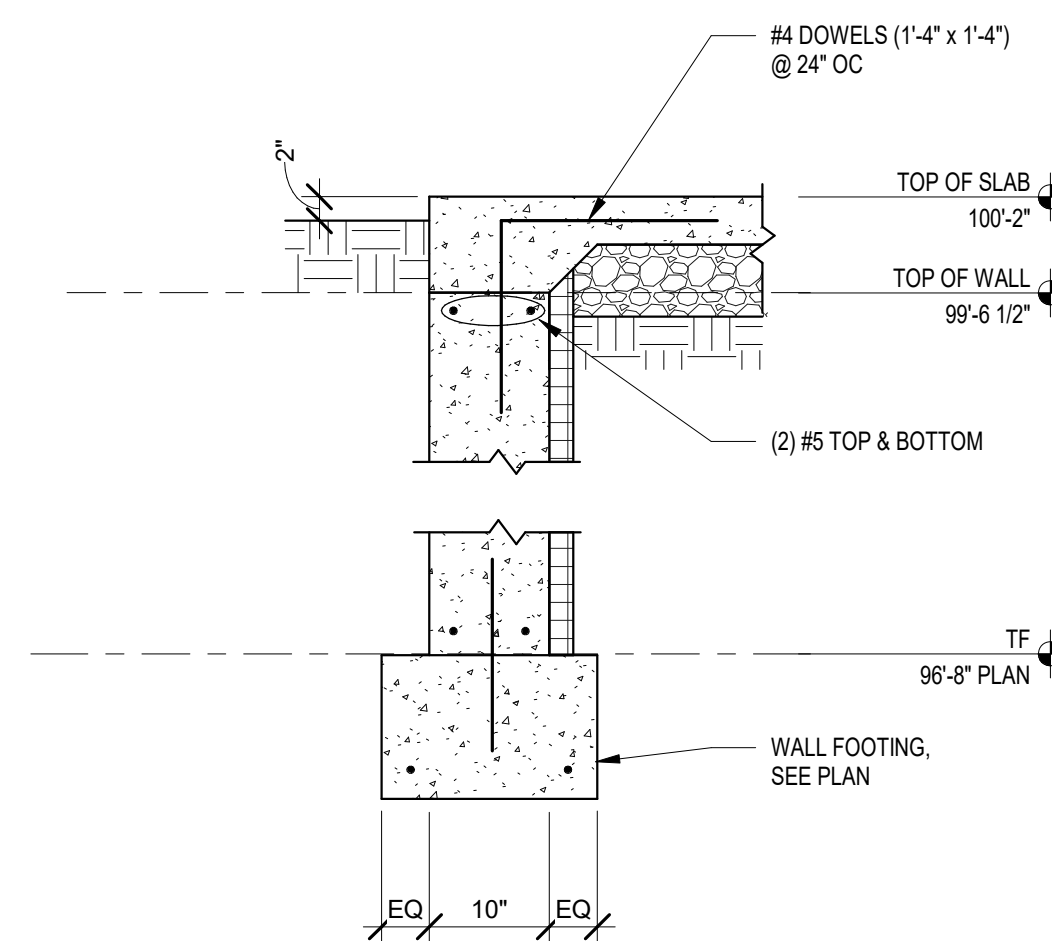
### FOOTING SCHEDULE

MARK	LENGTH	WIDTH	THICKNESS	REINFORCEMENT
W1.6	CONT	1'-6"	1'-0"	(2) #4 CONT

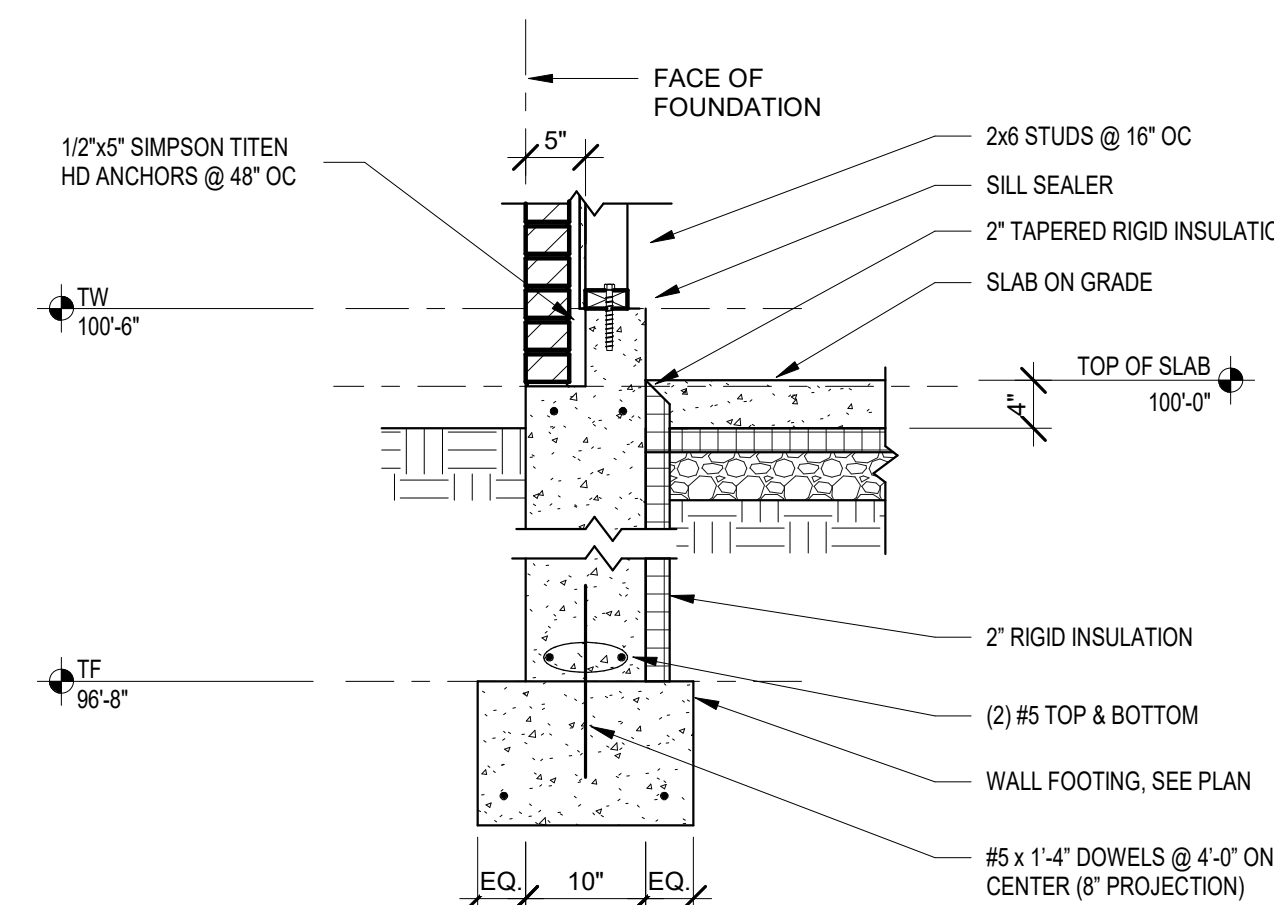
NOTES:  
1. NET ALLOWABLE BEARING PRESSURE = 2,000 PSF.

### FOUNDATION NOTES

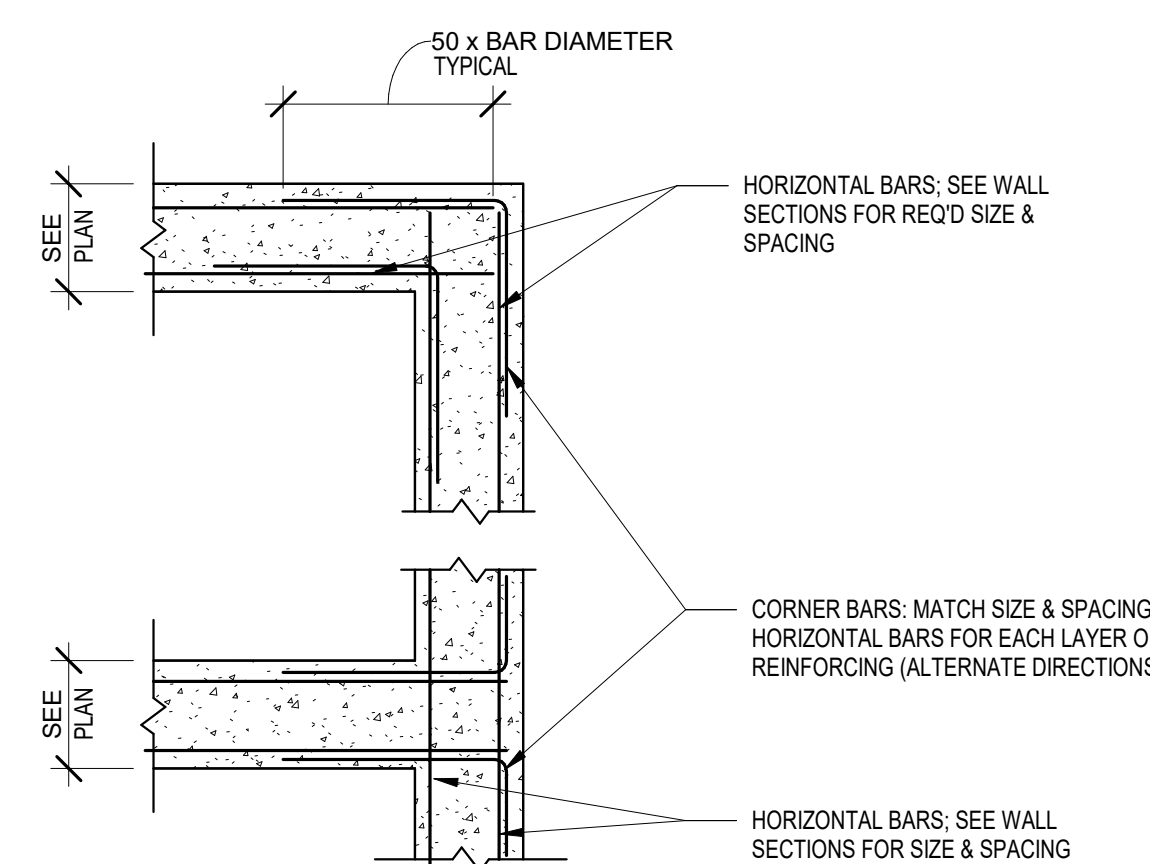
- TOP OF INTERIOR SLAB AT FIRST FLOOR DATUM ELEVATION (+) 0'-0" = XXX.XX FT.
- PROTECT IN-PLACE FOUNDATIONS AND SLABS ON GRADE FROM FROST PENETRATION UNTIL PROJECT COMPLETION.
- WHERE FILL MATERIAL IS REQUIRED ON BOTH SIDES OF FOUNDATION WALLS, IT SHALL BE PLACED SIMULTANEOUSLY. REFER TO PLANS AND SPECIFICATIONS FOR TYPE AND PLACING OF BACKFILL.
- CJ - DENOTES CONTROL JOINTS IN CONCRETE SLAB ON GRADE. CONTROL JOINTS TO BE SAW-CUT WITHIN 12 HOURS OF CONCRETE PLACEMENT.



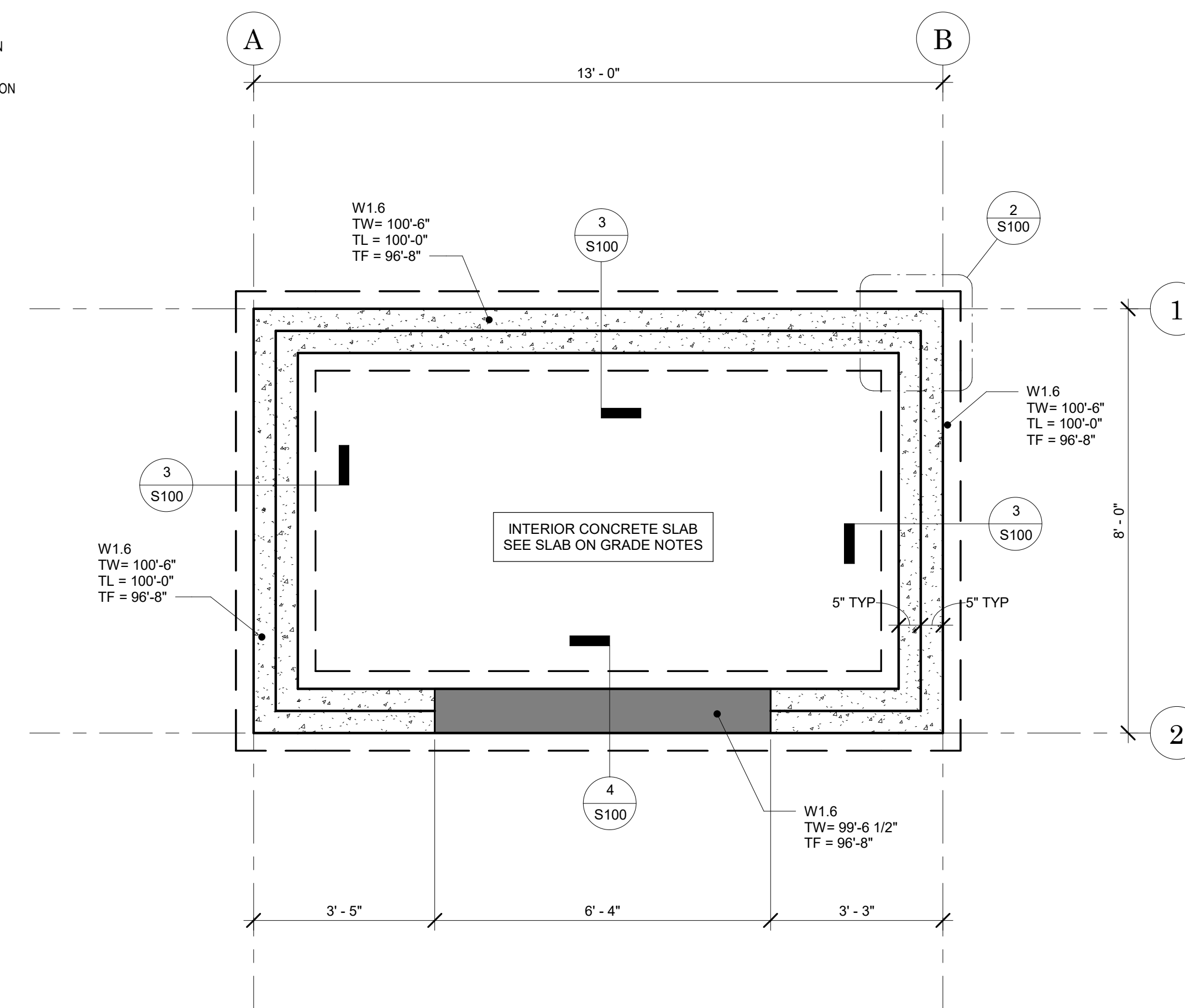
**4 PERIMETER FOUNDATION WALL**  
3/4" = 1'-0"



**3 PERIMETER FOUNDATION WALL**  
3/4" = 1'-0"

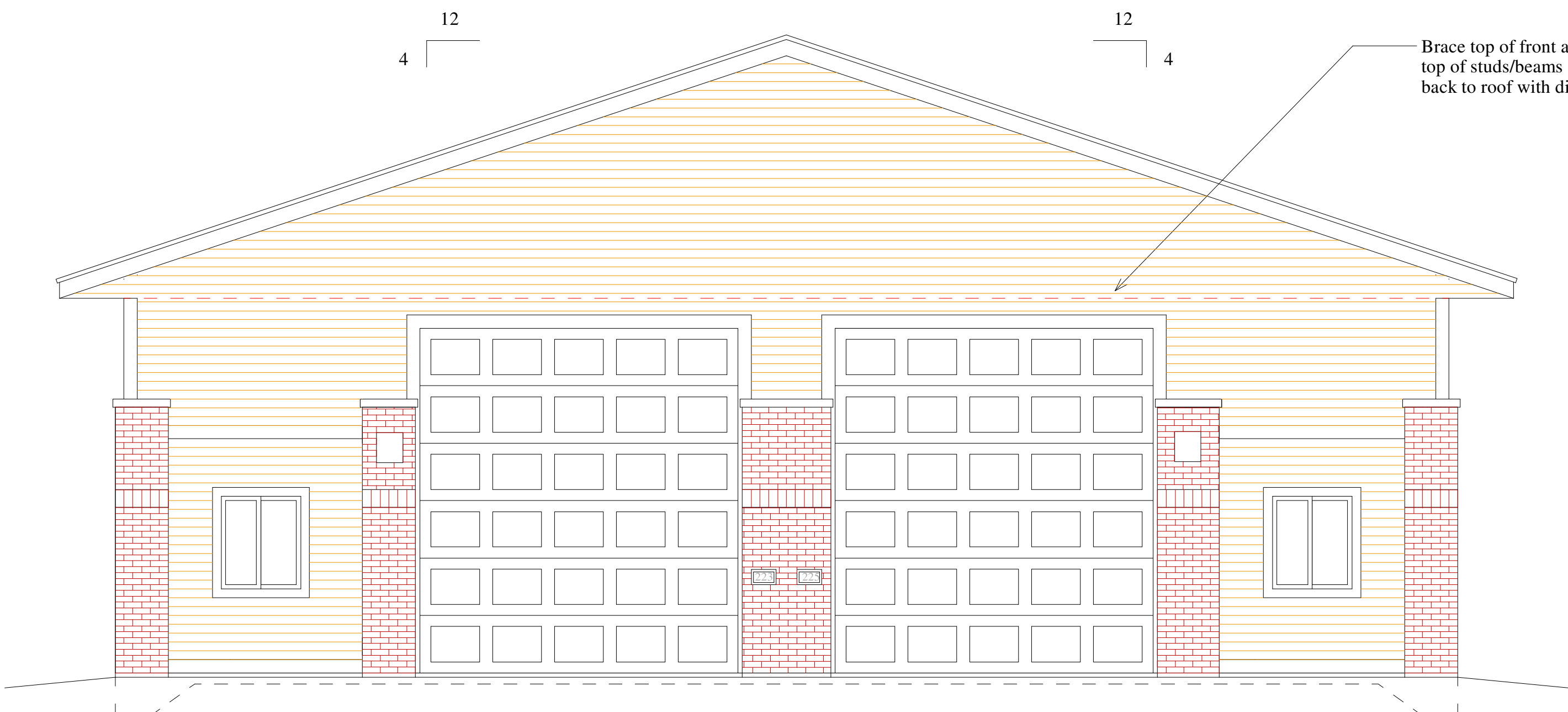


**2 FOUNDATION WALL CORNER REINFORCING**  
3/4" = 1'-0"

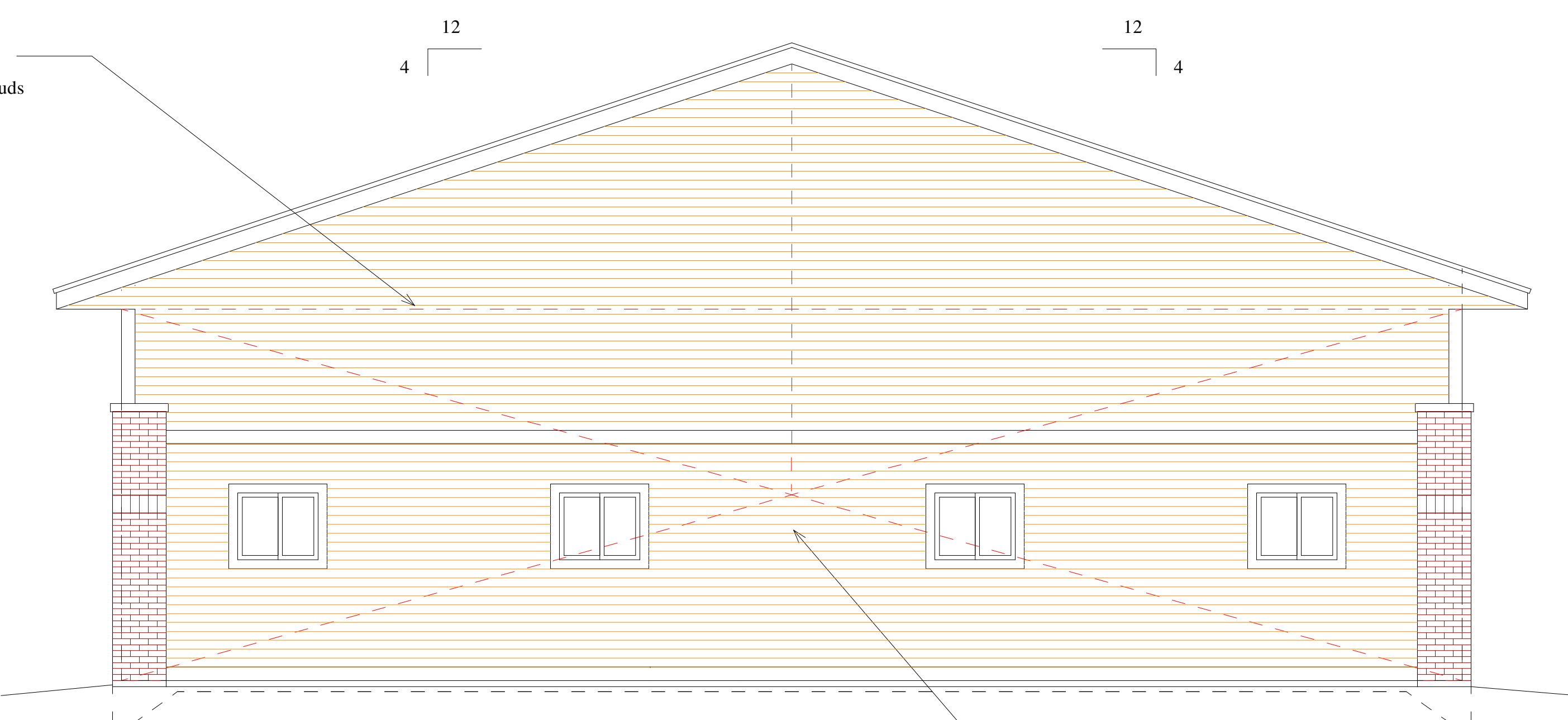


**1 FOUNDATION PLAN**  
1/2" = 1'-0"

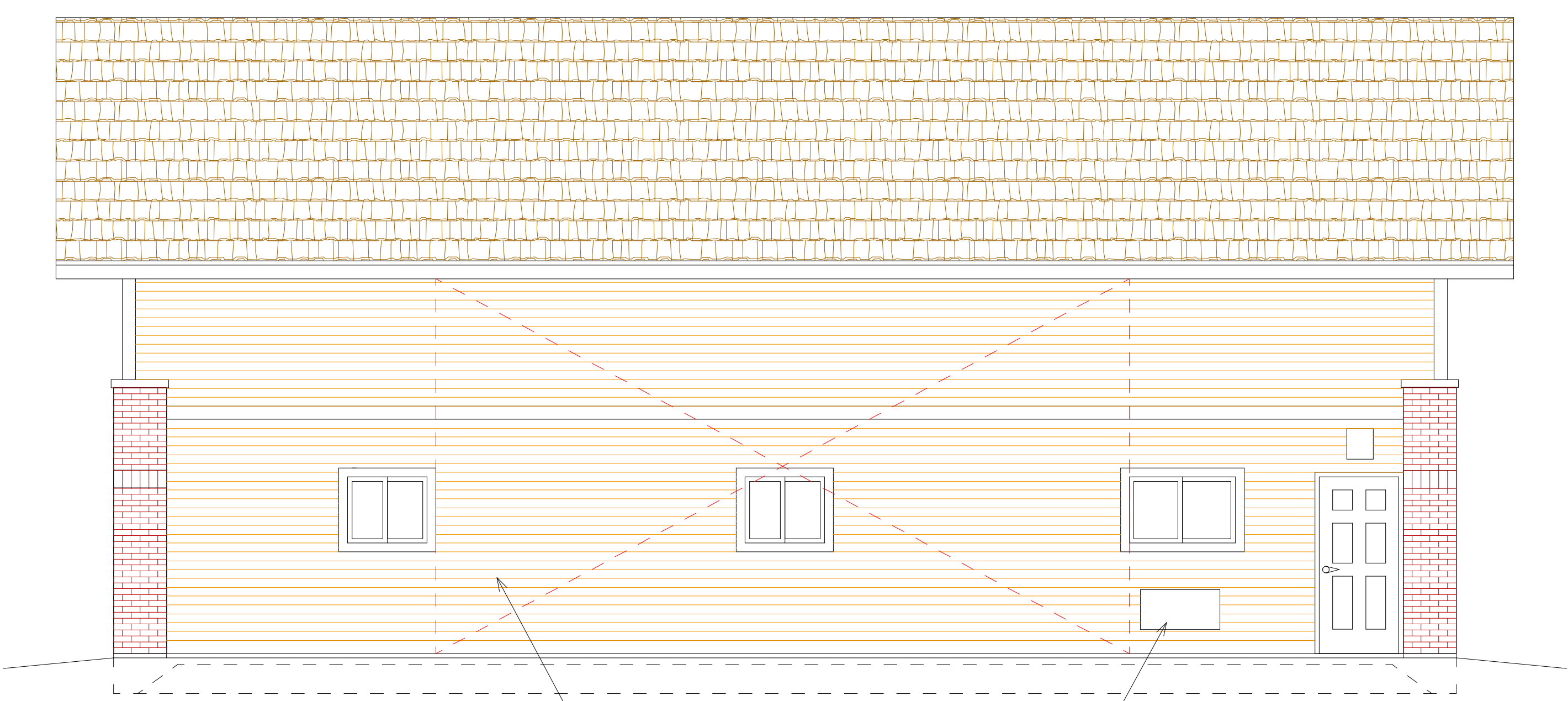




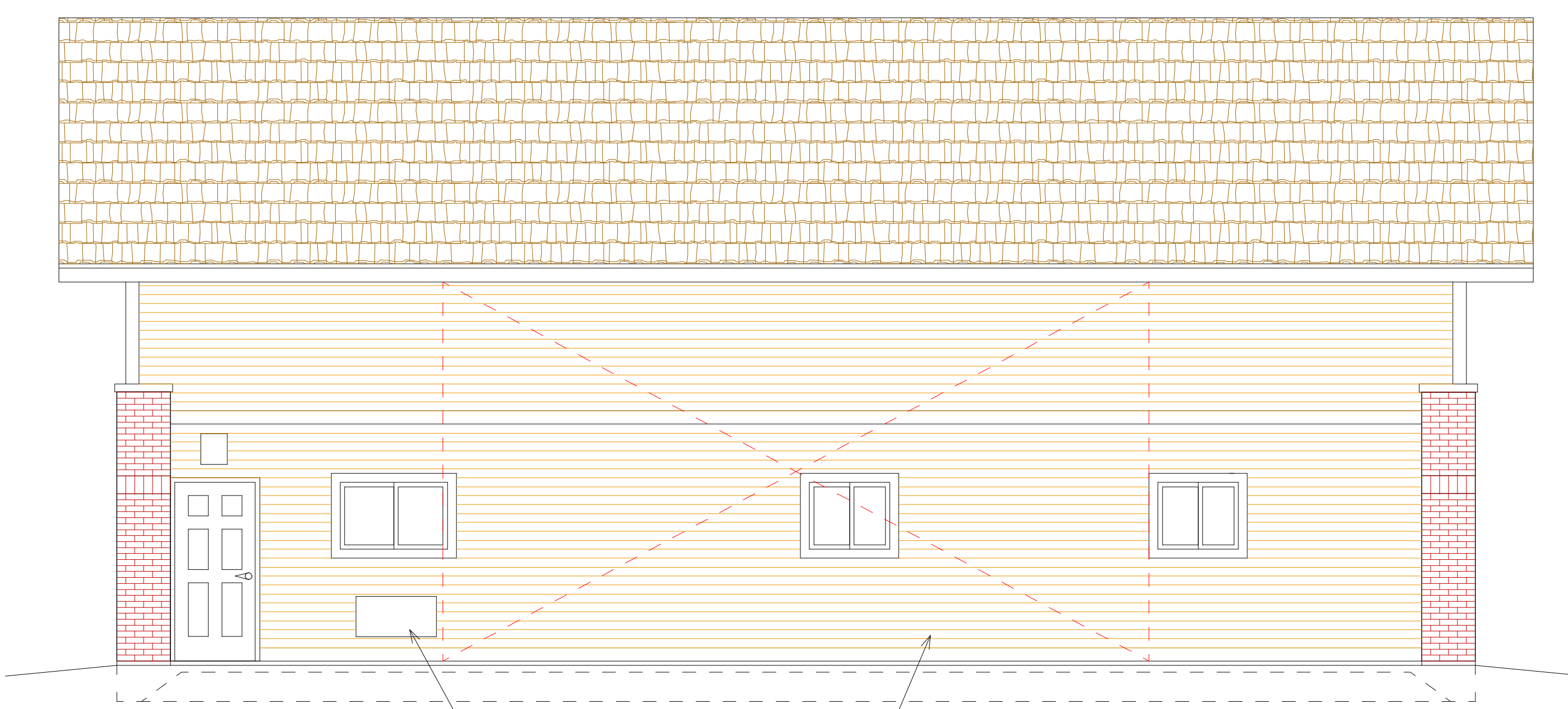
○ Front Elevation  
Scale = 1/4"=1'-0"



○ Rear Elevation  
Scale = 1/4"=1'-0"



○ Left Elevation  
Scale = 1/4"=1'-0"



○ Right Elevation  
Scale = 1/8"=1'-0"

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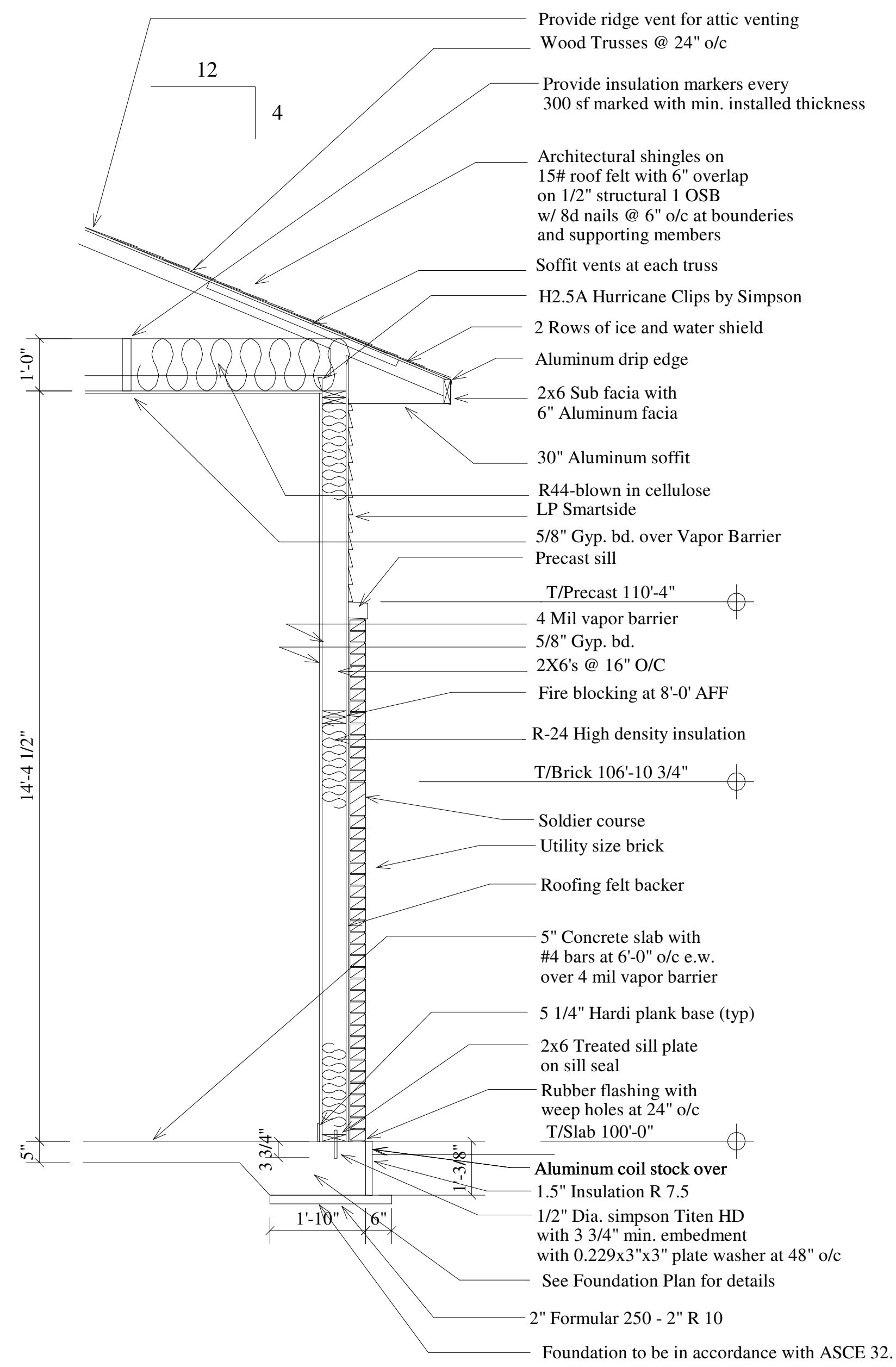
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Proposed for: **Town and Country Devel**  
**Dave Anderson**  
Address: 1855 Cottonwood Court  
De Pere, WI 54115  
920-360-1040

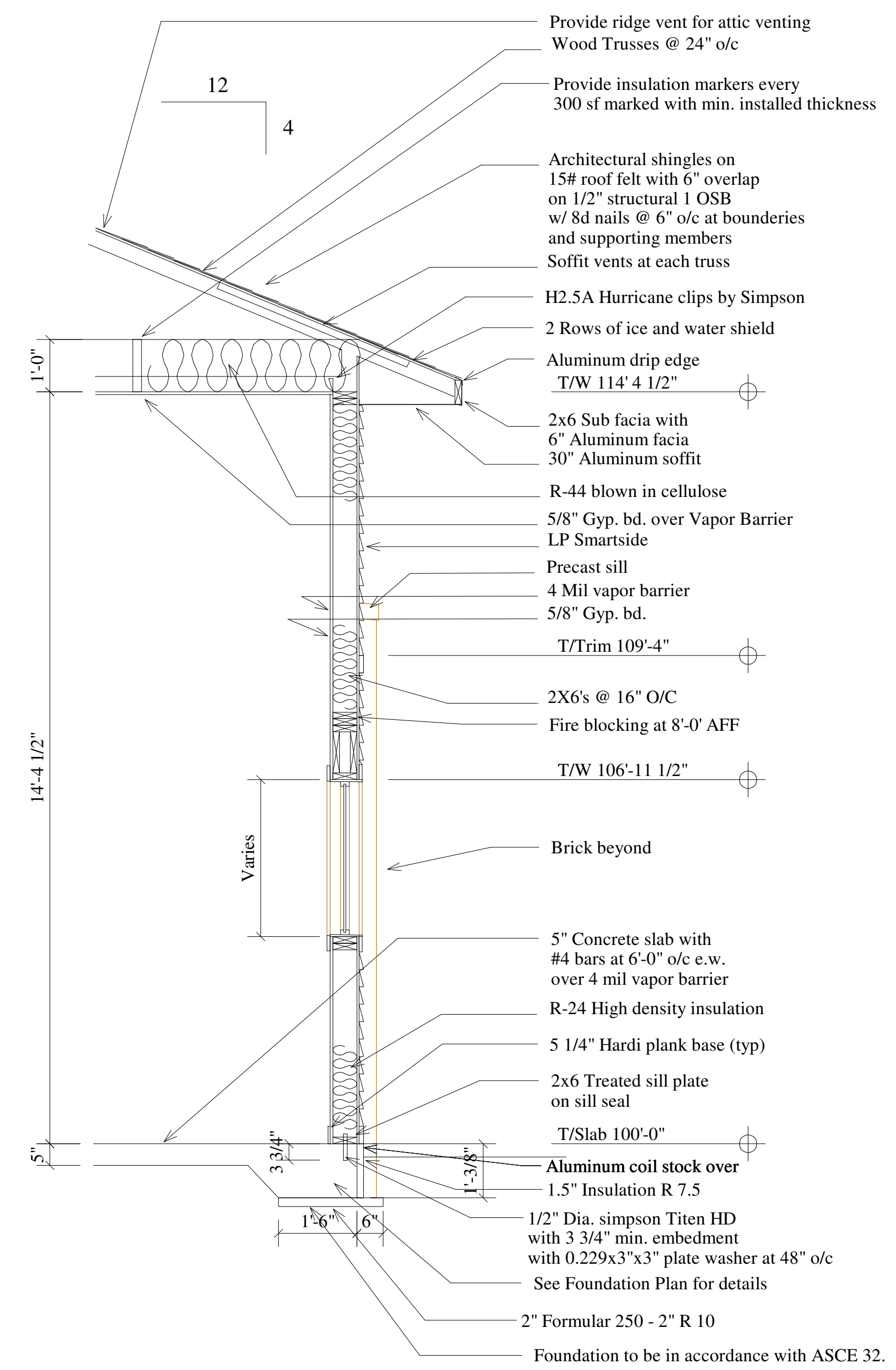
Project: **StoragshopUSA**  
Address: City of Deperce, WI  
Sheet Title: **Elevations**

Date: 05-20-2020  
Scale: As Noted  
Job #: 06-01

SHEET  
**A3.0**



2 Wall Section  
Scale = 1/2"=1'-0"



1 Wall Section  
Scale = 1/2"=1'-0"

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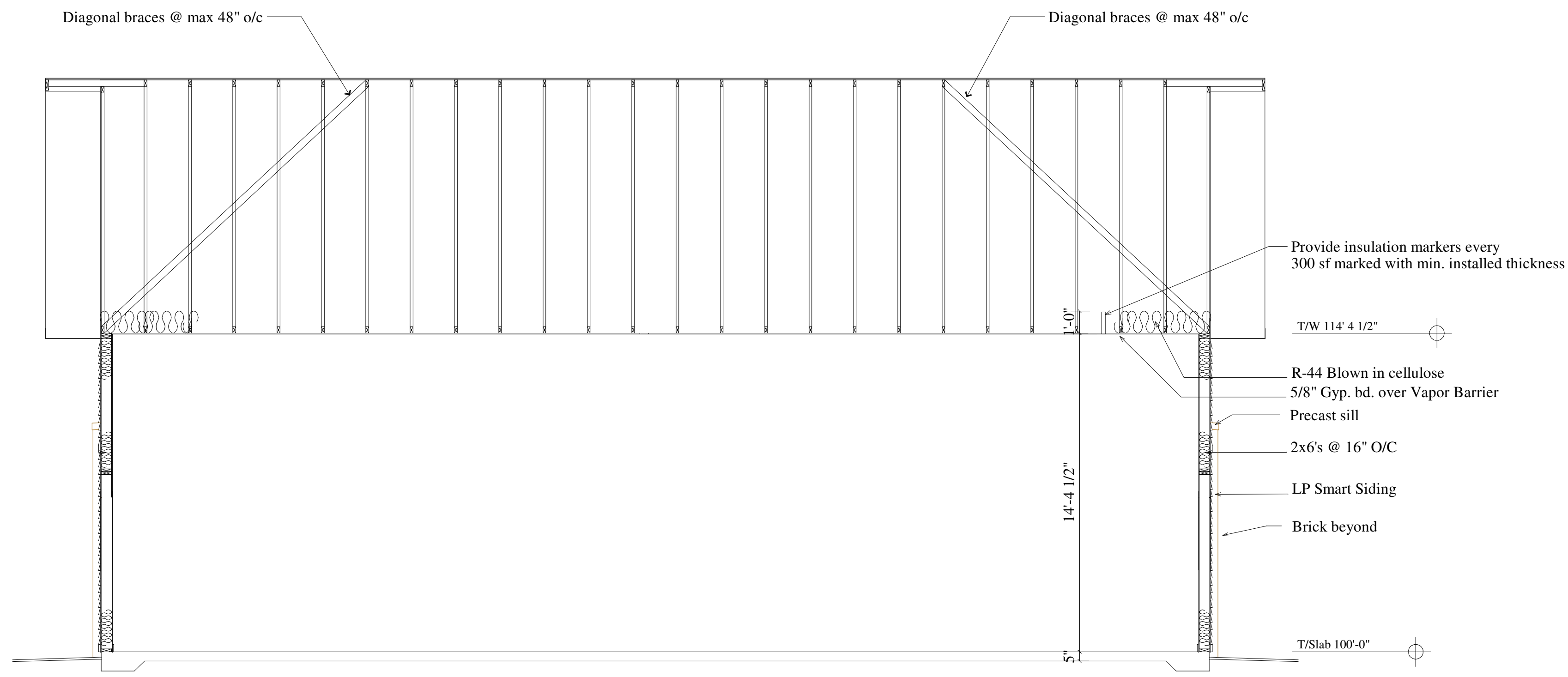
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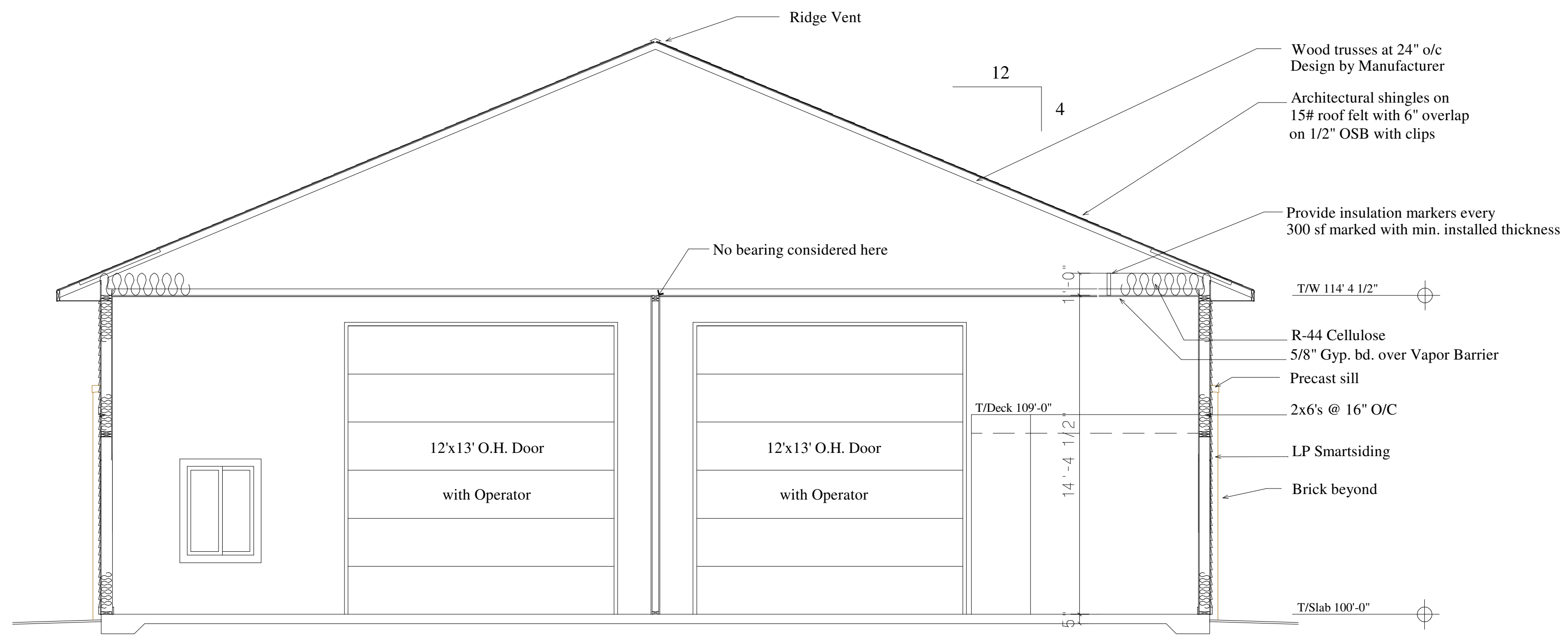
Project: StoragshopUSA  
Address: City of Depere, WI  
Sheet Title: Sections

Date: 05-17-2020  
Scale: As Noted  
Job #: 06-01

SHEET  
A2.0



2 Building Section  
Scale = 1/4"=1'-0"



1 Building Section  
Scale = 1/4"=1'-0"

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Project: StoragshopUSA  
Address: City of Depere, WI  
Sheet Title: Building Sections

Date: 05-20-2020  
Scale: As Noted  
Job #: 06-01

SHEET  
A4.0