


CITY OF DE PERE
RECEIVED
OCT 23 PAID
PLANNING DEPT.

	<p>CITY OF DE PERE</p> <p>APPLICATION FOR SITE PLAN REVIEW</p>	<p>Fee: \$ 350.00</p> <p>Receipt #: _____</p> <p>Date: 10/23/2023</p>
---	--	---

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Ruekert & Mielke, Inc.	Authorized Representative Colin Meisel	Title Project Manager	
Mailing Address 1400 Lombardi Ave, Suite 101S	City Green Bay	State WI	ZIP Code 54304
Email Address Cmeisel@ruekert-mielke.com	Phone Number (incl. area code) 920-876-6382	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Nicolet Real Estate & Investment	Contact Person	Title	
Mailing Address 200 S. Washington St., Suite 305	City Green Bay	State WI	ZIP Code 54301-4200
Email Address	Phone Number (incl. area code) 920-496-0993	Fax Number (incl. area code) 920-499-1151	

SECTION 3: Project or Site Location

Project Address/Description 2211 American Blvd, City of De Pere	Parcel No. WD-1375
--	-----------------------

SECTION 4: Project Information


Existing Zoning:	BP-2		
Present Use of Parcel:	Industrial Use		
Proposed Use of Parcel:	Industrial Use		
Estimated Start Date:	October 2023	Estimated Completion Date:	September 2024

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the submittal.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Colin Meisel	Title Project Manager	Phone Number 920-876-6382
Signature of Applicant 		Date Signed 9-25-23

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.	
--	--

CITY OF DE PERE

335 South Broadway, De Pere, WI 54115 | www.de-pere.org



December 6, 2023

Colin Miesel, Project Manager
Ruekert & Mielke INC
1400 Lombardi AV, Suite 101S
Green Bay, WI 54304

RE: Site Plan Review for the Nicolet Real Estate Addition at 2211 American BL
(Parcel WD-1375)

Dear Colin:

Thank you for the site plan for the Nicolet Real Estate Addition at 2211 American BL. The City of De Pere staff reviewed the site plan on December 6, 2023, and recommended approval with the following conditions that must be addressed prior to requesting any occupancy permits.

- After any exterior lighting is installed, provide a statement from the installer that the light spill from the property does not exceed the approved photometric plan.

You may now proceed to the Inspection Division to begin the process of obtaining permits. Should you have any questions regarding the decision or require further information, feel free to contact me at 339-4043 or pschleinz@deperewi.gov.

Sincerely,

A handwritten signature in black ink that reads "Peter Schleinzi". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Peter Schleinzi
Senior Planner | Zoning Administrator

cc: Daniel J. Lindstrom, AICP, Development Services Director
Dennis Jensen, Senior Building Inspector



Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin

WDNR Version 2.0 (06-29-2017)



YEAR 1

Developer: Keller, INC

Project: Morley Murphy

Date: 11/06/23

County: Brown

Version 1.0

Activity (1)	Begin Date (2)	End Date (3)	Period % R (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (t/ac) (15)
Bare Ground	11/13/23	11/24/23	0.7%	100	Silt Loam	0.43	3.3%	121.5	0.35	1.00	0.1	1.016	Silt Fence	0.1
Mulch or Erosion Mat	11/24/23	10/01/24	92.7%	100	Silt Loam	0.43	3.3%	121.5	0.35	0.20	2.8	1.016	Silt Fence	1.7
End	10/01/24	----	----	----	-----	----	3.3%	121.5	0.35	-----	----	0.000		0.0
		----	----	----	-----	----	3.3%	121.5	0.35	-----	----	0.000		0.0
		----	----	----	-----	----	3.3%	0	----	-----	----	0.000		0.0
		----	----	----	-----	----	0.0%	0	----	-----	----	0.000		0.0
TOTAL											2.9		TOTAL	1.7
													% Reduction Required	NONE

Notes:

See Help Page for further descriptions of variables and items in drop-down boxes.
 The last land disturbing activity on each sheet must be 'End'. This is either 12 months from the start of construction or final stabilization.
 For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

NOTE: THIS TOOL ONLY ADDRESSED SOIL EROSION DUE TO SHEET FLOW. MEASURES TO CONTROL CHANNEL EROSION MAY ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

Recommended Permanent Seeding Dates:

4/15-6/1 and 8/1-8/21 Turf, introduced grasses and legumes
 Thaw-6/30 Native Grasses, forbs, and legumes

Designed By:	C. Meisel
Date	11/2/2023

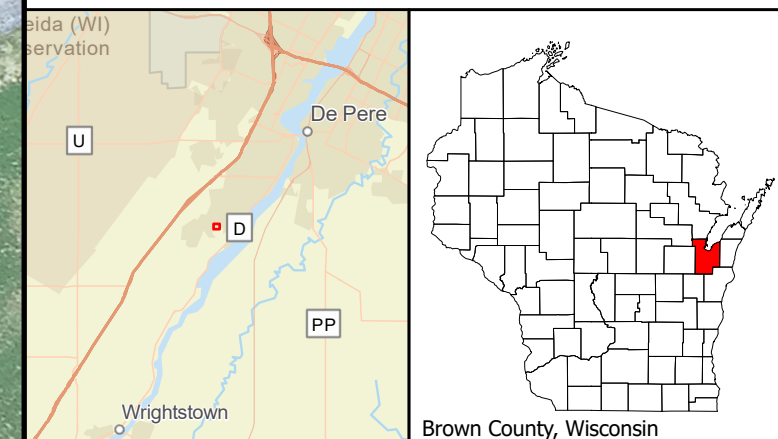
WDNR DETERMINED THAT WETLAND 1 IS ARTIFICIAL AND MEETS THE STANDARDS FOR EXEMPTION FROM STATE WETLAND REGULATIONS.

Morley Murphy De Pere
Keller, Inc.
City of De Pere

Wetland Boundary Map

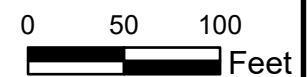
Project #: 8341-10147
Drawn By: TPS
Approved By: TPS
Name: 2WetlandBoundary
Date Saved: 9/11/2023

Figure 2



Legend

- Culvert
- Sample Point
- Area of Investigation (4.5 Acres)
- Wetland 1 - Shallow Marsh (8,011.2 SF)



Path: I:\Projects\8341_Keller\10147_Morley_Murphy_De_Pere\Morley_Murphy_De_Pere.aprx

State of Wisconsin
DEPARTMENT OF NATURAL RESOURCES
625 E County Rd Y Suite 700
Oshkosh, WI, 54901

Tony Evers, Governor
Adam N. Payne, Secretary
Telephone 608-266-2621
Toll Free 1-888-936-7463
TTY Access via relay - 711



October 11, 2023

Theran Stautz
4630 South Biltmore Lane
Madison, WI 53718

WIC-NE-2023-5-03103

RE: Artificial Wetland Exemption Determination for an area described as Wetland 1 located in the SE ¼, NE ¼, Section 06, Township 22 North, Range 20 East, City of De Pere, Brown County

To Whom It May Concern:

This letter is in response to your request for an artificial wetland exemption determination for the above mentioned wetlands.

According to 281.36 (4n), State Statutes, a landscape feature where hydrophytic vegetation may be present as a result of human modification to the landscape or hydrology and for which no definitive evidence exists showing a prior wetland or stream history before August 1, 1991, may be exempt from state wetland regulations. The following types of artificial wetlands cannot be exempted from state wetland regulation: 1) a wetland that serves as a fish spawning area or that is passage to a fish spawning area and 2) a wetland created as a result of a wetland mitigation requirement. In addition, DNR must also consider whether the artificial wetland is providing significant flood protection to adjacent or downstream properties and infrastructure, and/or significant water quality functions to adjacent or downstream water bodies.

The Department reviewed the following materials to aid in our exemption determination:

- The request narrative
- Site photographs that show different angles and views of the wetland
- Historic Maps such as the Original Land Survey Plat, Bordner Survey, USGS topographic Quad map, and/or soil mapping

Conclusion:

Based upon the information provided above, the wetland identified as Wetland 1, lacked a wetland history prior to August 1, 1991, and fulfills all artificial wetland exemption standards. Therefore, Wetland 1 is exempt from state wetland regulations.

This letter describes DNR's decision regarding the jurisdictional status of Wetland 1 and is only valid for state jurisdictional purposes. For decisions regarding the federal jurisdictional status of this wetland, you will need to contact the U.S. Army Corps of Engineers.

If you have any questions, please call me at (608) 235-2057 or email Allison.Willman@wisconsin.gov.

Sincerely,



Allison Willman
Water Management Specialist

Enclosures:

Wetland Delineation/Exemption Location Figures

Copy to:

US Army Corps of Engineers
Dale Hulce, Keller, Inc.
Crystal Von Holdt, DNR Water Management Specialist
DNR Conservation Warden

NICOLET REAL ESTATE CITY OF DE PERE BROWN COUNTY WISCONSIN



Keller
PLANNERS | ARCHITECTS | BUILDERS

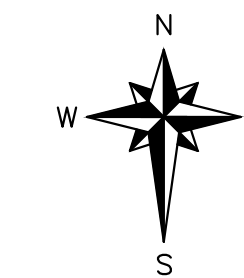
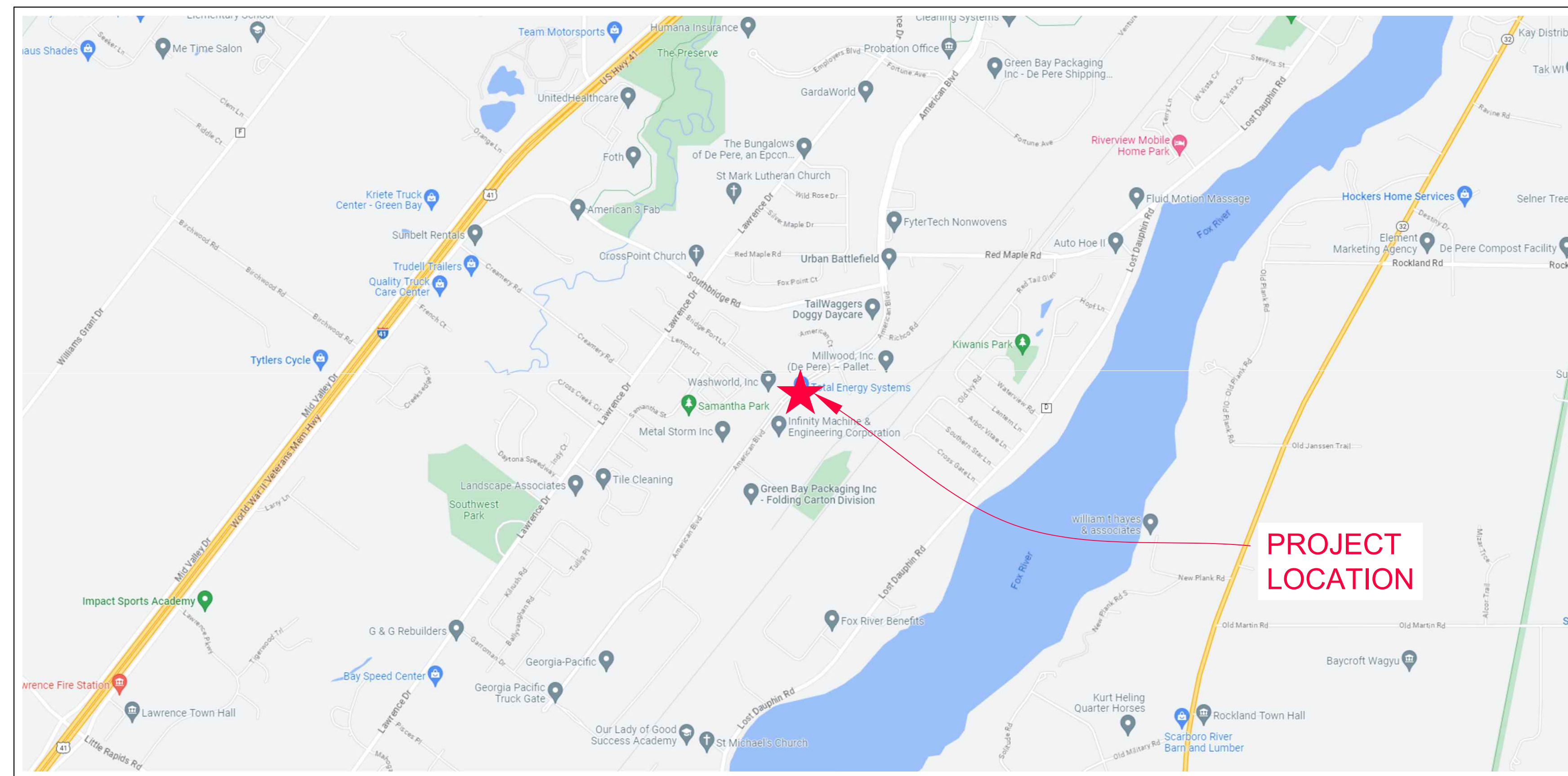
FOX CITIES
N216 State Road 55
P.O. Box 520
Kaukauna, WI 54130
Phone (920)766-5795
1-800-236-2534
Fax (920)766-5004

MADISON
3308 Nursery Drive
Middleton, WI 53562
Phone (608)445-2245

MILWAUKEE
W204 N11509
Goldendale Rd
Germantown, WI 53022
Phone (262)250-9710
1-800-236-2534
Fax (262)250-9740

WAUSAU
5605 Lilac Ave
Wausau, WI 54401
Phone (715)849-3141
Fax (715)849-3181

www.kellerbuilds.com



LOCATION MAP IS NOT TO SCALE

SHEET INDEX

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	GENERAL NOTES
C3.0	EXISTING CONDITIONS
C4.0	SITE PLAN
C5.0	EROSION CONTROL AND GRADING PLAN
C7.0 - C7.1	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN



OWNER:
NICOLET REAL ESTATE & INVESTMENT
200 S WASHINGTON ST
GREEN BAY, WI 54301
SITE ADDRESS:
2211 AMERICAN BLVD
DE PERE, WI 54115

ENGINEER:
RUEKERT-MIELKE INC.
1400 LOMBARDI AVE, GREEN BAY, WI

R & M PROJECT #8341-10147.200
PROJECT MANAGER: COLIN MEISEL, PE
PHONE: (920) 876-6382

REVISIONS	
PROJECT MANAGER:	D. HULCE
DESIGNER:	C. MEISEL
DRAWN BY:	G. DEPREY
EXPEDITOR:	-----
SUPERVISOR:	-----
PRELIMINARY NO.:	-----
CONTRACT NO.:	-----
DATE:	9/25/2023
SHEET:	C1.0

COVER SHEET C1.0

"ISSUED NOT FOR CONSTRUCTION"



RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO.) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

GENERAL NOTES:

- 1. CONTRACTOR TO CONTACT DIGGERS HOTLINE FOR UTILITY LOCATES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY WITH UTILITY COMPANIES IF UTILITY COMPANY'S STAFF IS REQUIRED TO BE ON SITE WHEN CONSTRUCTION ACTIVITIES ARE NEAR UTILITY FACILITIES.
- 2. LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHOWN SHALL NOT BE TAKEN AS CONCLUSIVE. CONTRACTOR SHALL VERIFY LOCATIONS AS A CONDITION OF THEIR BID AND BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM THEIR ACTIVITIES.
- 3. CONTRACTOR SHALL TAKE CARE WHEN EXCAVATING AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVERAGE REQUIREMENTS WITH UTILITY COMPANIES.
- 4. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HAVE BEEN OBTAINED FROM AVAILABLE RESOURCES FOR FIELD LOCATES. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN. CONTRACTOR IS REQUIRED TO VERIFY LOCATION OF EXISTING UTILITIES.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK, UNLESS OTHERWISE NOTED.
- 6. CONTRACTOR SHALL PROVIDE STAKING AS NECESSARY TO LAYOUT AND PROVIDE GRADES FOR ANY SECTION OF THE WORK.
- 7. A COMPETENT REPRESENTATIVE WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR MUST BE AT THE SITE AT ALL TIMES.
- 8. STAGING AND MATERIAL STORAGE AREAS SHALL BE COORDINATED WITH THE OWNER AND SHALL BE DONE IN A MANNER TO AVOID INTERFERENCE WITH THE OWNER'S ACTIVITIES.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS.
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR BARRICADING AREAS OF CONSTRUCTION TO PROTECT AGAINST PERSONAL INJURY.
- 11. EXISTING FACILITIES TO REMAIN INCLUDING PAVEMENT, SIDEWALKS, BUILDINGS, LANDSCAPING AND TREES SHALL BE PROTECTED DURING CONSTRUCTION.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THEIR WORK FROM ALL DAMAGE INCLUDING THE PUBLIC, OTHER CONTRACTORS, AND THE ENVIRONMENT.
- 13. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.

UTILITIES AND STORM SEWER:

- 1. ALL EXISTING SURFACE INFRASTRUCTURE INCLUDING HYDRANTS, VALVES, HANDHOLES, CASTINGS, IRRIGATION SYSTEMS, AND UTILITY PEDESTALS ARE REQUIRED TO BE ADJUSTED TO PROPOSED GRADE BY CONTRACTOR.
- 2. UTILITY MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL STANDARDS AND SPECIFICATIONS FOR UTILITY COMPANIES HAVING JURISDICTION.
- 3. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AND CONDUITS TO AVOID CONFLICTS AND TO PROVIDE MINIMUM REQUIRED DEPTHS OF COVER. ADDITIONAL BENDS AND ASSOCIATED MATERIALS ARE TO BE INSTALLED AS REQUIRED FOR WATER MAINS AND LATERALS.
- 4. STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE STANDARDS OF THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES FOR PRIVATE STORM SEWER CURRENT EDITIONS INCLUDING ANY ADDENDUMS.
- 5. STORM SEWER STRUCTURES SHALL BE PRECAST CONCRETE AND THE SIZE AS NOTED ON THE PLANS.
- 6. TRENCHES SHALL BE BACKFILLED WITH CRUSHED STONE BEDDING WITHIN 1:1 OF PAVEMENT AREAS AND WITH SPOIL IN LANDSCAPING AREAS.
- 7. STORM SEWER 8-INCHES OR SMALLER CONNECTED TO THE STORM SEWER SHALL BE PLACED HORIZONTALLY AT THE SPRING LINE OF THE PIPE WITH A WATER TIGHT CONNECTION.
- 8. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORED AND A WATER TIGHT SEAL PROVIDED.
- 9. TRACER WIRE OR OTHER MEANS OF LOCATING UNDERGROUND PIPES SHALL BE INSTALLED ON ALL PIPING.
- 10. ALL DIMENSIONS ARE TO THE CENTERLINE OF UTILITIES AND STRUCTURES.

EROSION CONTROL:

- 1. CONSTRUCTION ACTIVITIES SHALL NOT COMMENCE UNTIL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
- 2. EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO WDNR BEST MANAGEMENT PRACTICES.
- 3. EXISTING LANDSCAPING AND TREES TO REMAIN SHALL BE PRUNED TO REMOVE LOW HANGING, BROKEN, AND UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
- 4. ALL AREAS DISTURBED BY CONTRACTOR OPERATIONS SHALL BE PREPARED FOR GRASS SEED BY LOOSENING RUTS AND WORKING THE SOIL AREAS TO A MINIMUM OF 6-INCHES PRIOR TO THE FINE GRADING AND SEEDING. AREAS SHALL HAVE A MINIMUM OF 4-INCHES OF TOPSOIL PLACED, SEEDED, AND MULCHED UNLESS OTHERWISE INDICATED.
- 5. INSPECTION OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DONE BY CONTRACTOR ONCE PER WEEK AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 1/2-INCH OR GREATER.
- 6. CONTRACTOR SHALL REPAIR DEFICIENT EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24-HOURS AFTER INSPECTION. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES NOT SHOWN ON THIS PLAN MAY BE NECESSARY AS A RESULT OF CONSTRUCTION PRACTICES OR AS DIRECTED BY OWNER AND/OR ENGINEER.
- 7. CONTRACTOR SHALL NOTIFY AND OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER OF PROPOSED CHANGES TO THE EROSION CONTROL PLAN AND/OR SEQUENCE PRIOR TO IMPLEMENTING THE CHANGE.
- 8. EXCESS MATERIAL THAT IS HAULED OFF SITE SHALL BE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL OBTAIN PROPER PERMIT APPROVALS FOR EACH FILL SITE. EROSION AND SEDIMENT CONTROL MEASURES, RESTORATION, AND STABILIZATION AT FILL SITE IS CONTRACTOR'S RESPONSIBILITY. CONTRACTOR TO NOTIFY OWNER OF ALL FILL AND BORROW SITES.
- 9. CONTRACTOR SHALL SWEEP STREETS ADJACENT TO PROJECT AS NEEDED.
- 10. ALL INSTALLATION, MAINTENANCE, AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE WDNR TECHNICAL STANDARDS.
- 11. IF DEWATERING IS NECESSARY, CONTRACTOR SHALL PROVIDE PROPER DEWATERING SEDIMENT CONTROL DEVICES. DISCHARGE OF SEDIMENT LADEN WATER TO THE STORM OR SURFACE WATER IS PROHIBITED.
- 12. STABILIZE NEWLY GRADED AREAS WITHIN 3 DAYS OF BEING INACTIVE.
- 13. REMOVE EROSION AND SEDIMENT CONTROL DEVICES AFTER 80% OF VEGETATION HAS BEEN ESTABLISHED IN RESTORED AREAS.

GRADING AND PAVING:

- 1. ALL SITE CONSTRUCTION INCLUDING GRADING, EXCAVATION, AND PAVEMENT CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS EXCEPT AS MODIFIED. QUALITY CONTROL AND QUALITY ASSURANCE TESTING WILL NOT BE REQUIRED. TESTING WILL BE COMPLETED AT THE OWNER'S DIRECTION.
- 2. CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC MATERIALS FOUND WITH THE SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. LANDSCAPING AREAS SHALL BE GRADED LOW TO ALLOW FOR TOPSOIL PLACEMENT.
- 3. MATERIAL TESTS CONDUCTED BY AN INDEPENDENT TESTING LAB MAY BE ORDERED AND PAID FOR BY THE OWNER. IF TESTING IS ORDERED, CONTRACTOR SHALL FURNISH SAMPLES FOR SAID TESTING. RETESTING AND CORRECTION OF FAILING MATERIAL SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
- 4. SUBGRADE SHALL BE COMPACTED PRIOR TO PLACEMENT OF BASE AGGREGATE AS REQUIRED IN THE STANDARD SPECIFICATIONS. SUBGRADE SHALL BE PROOF ROLLED PRIOR TO PLACEMENT OF BASECOURSE. AREAS IDENTIFIED AS SOFT AND YIELDING SHALL BE IDENTIFIED FOR REMOVAL PRIOR TO PLACEMENT OF BASE AGGREGATE.
- 5. BACKFILL AND FILL MATERIALS SHALL BE PLACED IN LAYERS NOT MORE THAN 8-INCHES LOOSE IF COMPACTED WITH HEAVY EQUIPMENT AND NOT MORE THAN 4-INCHES LOOSE IF COMPACTED BY HAND EQUIPMENT.
- 6. BASE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR (AASHTO T-180).
- 7. ACCESSIBLE ROUTES AND HANDICAP PARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
- 8. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE SHALL CONFORM TO ACTI 330R-08.
- 9. ALL CONCRETE FLATWORK SHALL HAVE A LIGHT BROOMED FINISH.
- 10. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH A CONTINUOUS 0.5-INCH FIBER EXPANSION JOINT.
- 11. ALL ASPHALT AND SURFACE COURSE SHALL BE DESIGNED TO 96.0% OF MAXIMUM SPECIFIC GRAVITY AT NDES AND DURING FIELD PRODUCTION PERCENT OF MAXIMUM SPECIFICATION GRAVITY WILL BE INCREASED TO 97.0% PER THE STANDARD SPECIFICATIONS.
- 12. TWO PAINT COATS SHALL BE APPLIED ON NEW PAVEMENT. THE FIRST COAT SHALL BE AFTER PAVING OPERATIONS HAVE BEEN COMPLETED. THE SECOND COAT SHALL BE APPLIED 30 CALENDAR DAYS AFTER PAVING HAS BEEN COMPLETED.
- 13. ELEVATIONS ARE TO FLANGE.

LEGEND - CIVIL ENGINEERING DRAWINGS

CONTROL	SANITARY SEWER	UTILITIES	WATER MAIN
CHIS	BENCHMARK	CB	CABLE BOX
CP	CHISELED MARK	CM	CABLE MANHOLE
CP	CONTROL POINT	C	UNDERGROUND TV CABLE
IP	IRON PIPE (GENERIC)	EB	ELECTRIC BOX
IP	IRON PIPE (1" DIA)	EM	ELECTRIC MANHOLE
IP	IRON PIPE (2" DIA)	EM	ELECTRIC METER
IP	IRON PIPE (2" DIA)	EP	ELECTRIC PAD
IP	IRON PIPE SET	ET	ELECTRIC TRANSFORMER
IR	IRON ROD (GENERIC)	EP	POWER POLE
IP	IRON ROD (3/4" DIA)	E	UNDERGROUND ELECTRIC
IP	IRON ROD (1 1/4" DIA)	ES	GAS CURB STOP
NAIL	MONUMENT	EG	GAS MANHOLE
NAIL	NAIL	EG	GAS METER
PM	PAINT MARK	EG	GAS TEST STATION
PK	PK NAIL	EG	GAS VALVE
RX	RAILROAD SPIKE	EG	GAS VALVE TEST
RTIE	REFERENCE TIE	GV	GAS VENT
SIXT	SECTION CORNER	GV	UNDERGROUND GAS MAIN
TCP	SECTION CORNER MONUMENT	G	TELEPHONE BOX
TCP	TEMPORARY CONTROL POINT	GM	TELEPHONE MANHOLE
USGS	USGS MONUMENT	T	UNDERGROUND TELEPHONE
WZ	GROUND	FO	UNDERGROUND FIBER OPTIC
000 00	WATER ELEVATION		
	WETLANDS (SURVEYED LOCATION)		
	CROPPFIELD		
	DITCH		
	GUARD RAIL		
	TOE OF SLOPE		
	TOP OF BANK		
	WETLAND BOUNDARY		
	EROSION CONTROL		
	PROPOSED DITCH CHECK		
	PROPOSED EROSION LOGS/EROSION WADDLES		
	PROPOSED INLET PROTECTION TYPE A		
	PROPOSED INLET PROTECTION TYPE B		
	PROPOSED INLET PROTECTION TYPE C		
	PROPOSED INLET PROTECTION TYPE D		
	PROPOSED BARRIER FENCE		
	PROPOSED SILT FENCE		
	PROPOSED EROSION MAT		
	PROPOSED RIP RAP		
	PROPOSED TRACKING PAD		
	GENERAL		
A/C	AIR CONDITIONER		
CO	CLEAN OUT		
DP	DELINEATOR POST		
FP	FLAG POLE		
HANDHOLE	GENERIC HAND HOLE		
	GENERIC MANHOLE		
	GENERIC METER		
	GENERIC PEDESTAL		
	GENERIC VALVE		
	GENERIC VENT		
	GUY POLE		
	GUY WIRE		
	LIGHT POLE		
	MAIL BOX		
	MARKER POST		
	MONITORING WELL		
	PIILING		
	POST		
	REVISION LABEL		
	SOIL BORING		
	UTILITY POLE		
	YARD LIGHT		
	LANDSCAPE		
	CONIFEROUS MULTIPLE TRUNK TREE		
	CONIFEROUS TREE		
	DECIDUOUS TREE		
	DECIDUOUS MULTIPLE TRUNK TREE		
	DECORATIVE ROCK		
	STUMP		
	EDGE OF PLANTER/LANDSCAPE BED		
	EDGE OF TREES & BRUSH		
	FENCE		
	RAILROAD		
	RAILROAD SIGNAL BOX		
	RAILROAD SIGNAL FLASHER		
	MAIL BOX		
	RAILROAD TRACKS		
	TRAFFIC SIGNAL		
	CONTROL BOX/LIGHTING CABINET		
	PULL BOX		
	TRAFFIC SIGNAL		
	UNDERGROUND LOOP DETECTOR		
	WATER MAIN		
	EXISTING HYDRANT		
	EXISTING LOCATOR BOX		
	EXISTING SPRINKLER HEAD		
	EXISTING WATER CURB STOP		
	EXISTING WATER MAIN BEND		
	EXISTING WATER MAIN CROSS		
	EXISTING WATER MAIN OFFSET		
	EXISTING WATER MAIN PLUG		
	EXISTING WATER MAIN PLUG W/ AIR RELEASE		
	EXISTING WATER MAIN REDUCER		
	EXISTING WATER VALVE		
	EXISTING WATER VALVE MANHOLE		
	EXISTING WELL		
	EXISTING YARD HYDRANT		
	EXISTING WATER MAIN		
	EXISTING WATER SERVICE		
	PROPOSED CURB STOP		
	PROPOSED HYDRANT		
	PROPOSED LOCATOR BOX		
	PROPOSED WATER MAIN BEND (ANGLE NOTED)		
	PROPOSED WATER MAIN CROSS		
	PROPOSED WATER MAIN OFFSET		
	PROPOSED WATER MAIN PLUG		
	PROPOSED WATER MAIN PLUG W/AIR RELEASE		
	PROPOSED WATER MAIN REDUCER		
	PROPOSED WATER MAIN TEE		
	PROPOSED WATER VALVE		
	PROPOSED WATER VALVE MANHOLE		
	PROPOSED YARD HYDRANT		
	PROPOSED WATER MAIN		
	PROPOSED WATER SERVICE		
	PAVEMENT		
	EXISTING SIGN		
	EDGE OF ASPHALT PAVEMENT		
	EDGE OF GRAVEL PAVEMENT		
	EDGE OF CONCRETE PAVEMENT		
	PROPOSED DETECTABLE WARNING FIELD		
	PROPOSED SIGN		
	PROPOSED EDGE OF ASPHALT PAVEMENT		
	PROPOSED EDGE OF CONCRETE PAVEMENT		
	PROPOSED EDGE OF GRAVEL PAVEMENT		
	PROPOSED SLOPE INTERCEPT		



RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO.) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.



GENERAL NOTES C2.0

"ISSUED NOT FOR CONSTRUCTION"

PROPOSED FOR:

NICOLET REAL ESTATE

WISCONSIN

DE PERE,

"COPYRIGHT NOTICE" This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the expressed written consent of KELLER, INC.

REVISIONS table with columns for description and date.

PROJECT MANAGER: D. HULCE

DESIGNER: C. MEISEL

DRAWN BY: G. DEPNEY

EXPEDITOR: _____

SUPERVISOR: _____

PRELIMINARY NO: _____

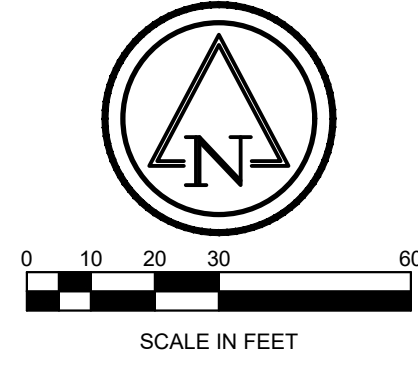
CONTRACT NO: _____

DATE: 9/25/2023

SHEET: C2.0



www.kellerbuilds.com



Keller
 PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
 N216 State Road 55
 P.O. Box 520
 Kaukauna, WI 54130
 Phone (920)766-5795
 1-800-236-2534
 Fax (920)766-5004

MADISON
 3308 Nursery Drive
 Middleton, WI 53562
 Phone (608)445-2245

MILWAUKEE
 W204 N11509
 Goldendale Rd
 Germantown, WI 53022
 Phone (262)250-9710
 1-800-236-2534
 Fax (262)250-9740

WAUSAU
 5605 Lilac Ave
 Wausau, WI 54401
 Phone (715)849-3141
 Fax (715)849-3181

www.kellerbuilds.com

PROPOSED FOR:
NICOLET REAL ESTATE
 DE PERE,
 WISCONSIN

"COPYRIGHT NOTICE"
 This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the express written consent of KELLER, INC.

REVISIONS

PROJECT MANAGER: D. HULCE
 DESIGNER: C. MEISEL
 DRAWN BY: G. DEPREY
 EXPEDITOR: -----
 SUPERVISOR: -----
 PRELIMINARY NO: -----
 CONTRACT NO: -----

DATE: 9/25/2023
 SHEET: C3.0

Point Table

Point #	Raw Description	Elevation	Northing	Easting
11	CP 11 MAG NAIL TOP BOC	635.021	529549.2250	74594.0630
12	CP 12 MAG NAIL TOP BOC	634.152	529457.4300	74442.3080
13	CP 13 MAG NAIL TOP BOC	634.668	529359.6580	74310.0700
14	CP 14 ORANGE CAP	634.710	529280.8770	74787.8470
15	CP 15 ORANGE CAP	634.486	529123.3420	74647.2740
16	CP 16 ORANGE CAP	634.671	529393.7630	74709.9640
17	TCP 17	643.373	529283.0330	74532.2810
100	HYD BM 100	636.603	529526.8280	74384.8490

CURVE TABLE

CURVE #	RADIUS	DELTA	CHORD	CHORD BRG.	ARC	TANGENT	TANGENT BRG. IN	TANGENT BRG. OUT
C1	1850.00'	16° 30' 49"	531.36'	N51° 31' 34"E	533.20'	268.46'	N43° 16' 09"E	N59° 46' 58" E

Ruekert • Mielke
 Waukesha • Kenosha • Madison
 Global Water Center • Fox Valley
 www.ruekertmielke.com

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

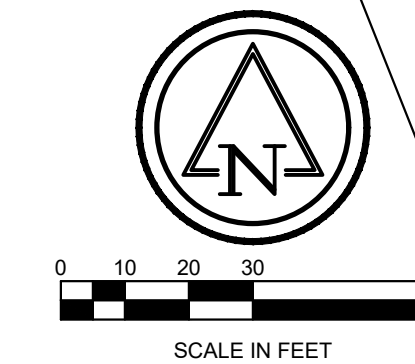
PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO.) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

EXISTING CONDITIONS C3.0

"ISSUED NOT FOR CONSTRUCTION"

MAFLEX AMERICA INC
2218 AMERICAN BLVD
TAX KEY: WD-1136

FRIGO ENTERPRISES LLC
2201 AMERICAN BLVD
TAX KEY: WD-1378



FOX CITIES
N216 State Road 55
P.O. Box 520
Kaukauna, WI 54130
Phone (920)766-5795
1-800-236-2534
Fax (920)766-5004

MADISON
3308 Nursery Drive
Middleton, WI 53562
Phone (608)445-2245

MILWAUKEE
W204 N11509
Goldendale Rd
Germantown, WI 53022
Phone (262)250-9710
1-800-236-2534
Fax (262)250-9740

WAUSAU
5605 Lilac Ave
Wausau, WI 54401
Phone (715)849-3141
Fax (715)849-3181

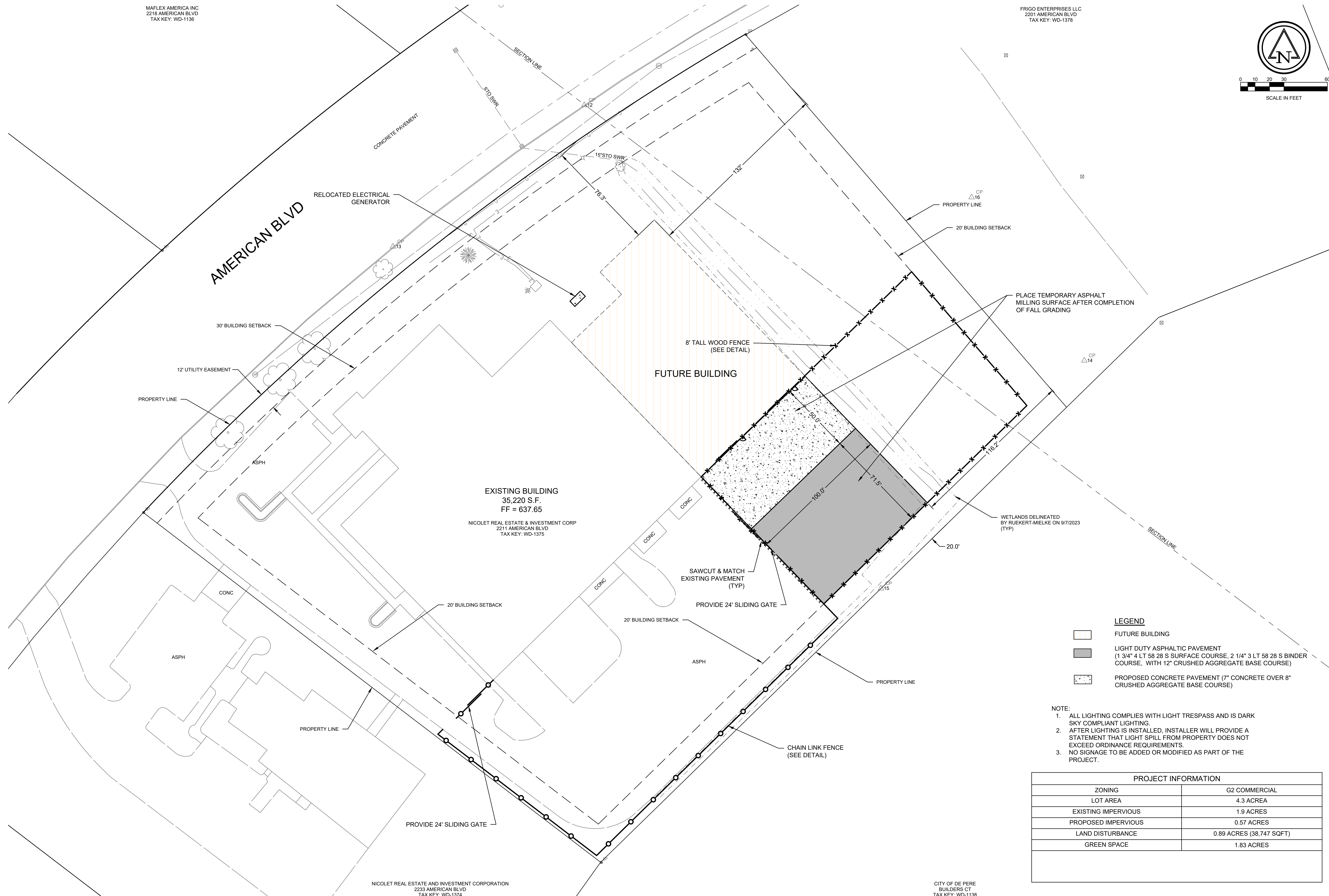
www.kellerbuilds.com

PROPOSED FOR:
NICOLET REAL ESTATE
 WISCONSIN
 DE PERE,

"COPYRIGHT NOTICE"
This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the expressed written consent of KELLER, INC.

REVISIONS

PROJECT MANAGER: D. HULCE
DESIGNER: C. MEISEL
DRAWN BY: G. DEPREY
EXPEDITOR: _____
SUPERVISOR: _____
PRELIMINARY NO: _____
CONTRACT NO: _____
DATE: 9/25/2023
SHEET: C4.0



LEGEND

[Hatched Box]	FUTURE BUILDING
[Dotted Box]	LIGHT DUTY ASPHALTIC PAVEMENT (1 3/4" 4 LT 58 28 S SURFACE COURSE, 2 1/4" 3 LT 58 28 S BINDER COURSE, WITH 12" CRUSHED AGGREGATE BASE COURSE)
[Stippled Box]	PROPOSED CONCRETE PAVEMENT (7" CONCRETE OVER 8" CRUSHED AGGREGATE BASE COURSE)

- NOTE:**
- ALL LIGHTING COMPLIES WITH LIGHT TRESPASS AND IS DARK SKY COMPLIANT LIGHTING.
 - AFTER LIGHTING IS INSTALLED, INSTALLER WILL PROVIDE A STATEMENT THAT LIGHT SPILL FROM PROPERTY DOES NOT EXCEED ORDINANCE REQUIREMENTS.
 - NO SIGNAGE TO BE ADDED OR MODIFIED AS PART OF THE PROJECT.

PROJECT INFORMATION	
ZONING	G2 COMMERCIAL
LOT AREA	4.3 ACREA
EXISTING IMPERVIOUS	1.9 ACRES
PROPOSED IMPERVIOUS	0.57 ACRES
LAND DISTURBANCE	0.89 ACRES (38,747 SQFT)
GREEN SPACE	1.83 ACRES

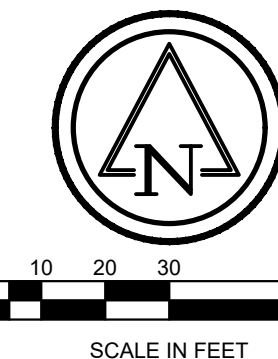
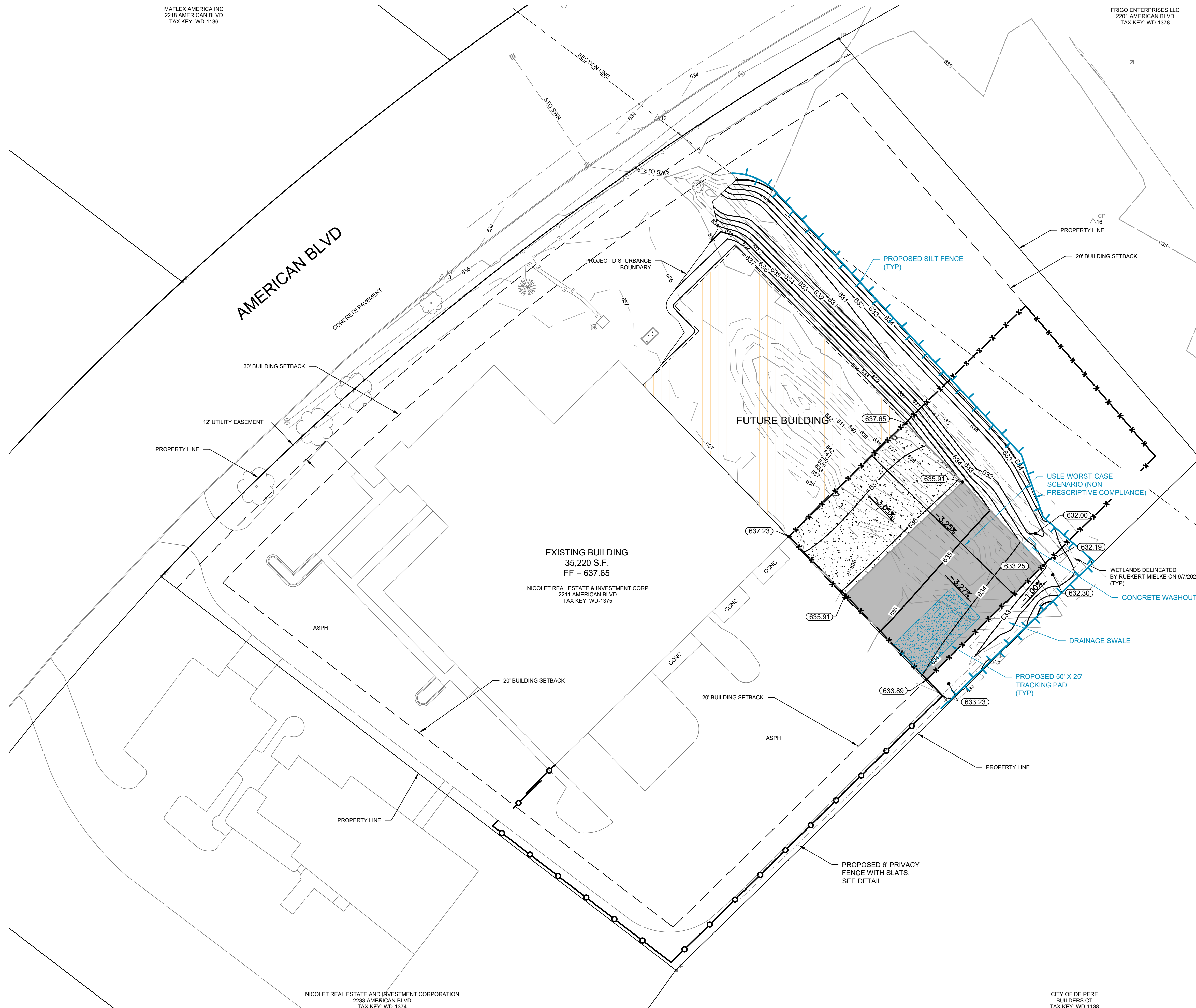


RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO.) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

CITY OF DE PERE
BUILDERS CT
TAX KEY: WD-1138

SITE PLAN **C4.0**
"ISSUED NOT FOR CONSTRUCTION"



EROSION CONTROL

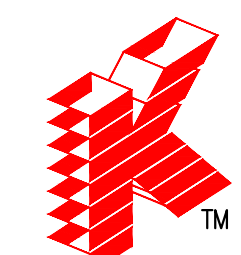
- PROPOSED STONE DITCH CHECK
- PROPOSED INLET PROTECTION TYPE B
- PROPOSED SILT FENCE
- PROPOSED SEDIMENT LOG OR GEOTEXTILE SOCK
- PROPOSED TRACKING PAD

NOTES:

1. TOTAL SITE AREA: 4.26 ACRES.
2. TOTAL ESTIMATED AREA OF DISTURBANCE: 0.89 ACRES
3. MAINTAIN EXISTING VEGETATION IN STREET RIGHT OF WAY.
4. SNOW STORAGE IS NOT TO BLOCK SWALES.
5. THE SWALES SHALL BE STABILIZED WITHIN 14 DAYS OF BEING GRADED.
6. CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE. CONCRETE WASHOUT RECEPTACLE SHALL BE POLY LINED. LEAK PROOF CONTAINER. SIGNS MUST BE PLACED TO CLEARLY INDICATE WASHOUT AREA TO TRUCK OPERATORS.

CONSTRUCTION SEQUENCE

1. INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY LAND DISTURBING ACTIVITIES, AS SHOWN ON DRAWINGS AND DIRECTED BY ENGINEER.
2. CLEAR AND GRUB VEGETATION AS SHOWN ON DRAWINGS OR AS DIRECTED BY ENGINEER.
3. STRIP TOPSOIL AND STOCKPILE IN LOCATION AS SHOWN ON DRAWINGS AND AS DIRECTED BY OWNER. INSTALL PERIMETER SILT FENCE AROUND DOWN SLOPE SIDE OF STOCKPILE. STABILIZE STOCKPILE IMMEDIATELY UPON LAYUP.
4. INSTALL, ADJUST AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES NECESSARY FOR EACH ACTIVE STAGE. MAINTAIN MEASURES AT THE END OF EACH DAY.
5. STAGE CONSTRUCTION BY WORK LOCATION. SUBSEQUENT STEPS MAY BE COMPLETED IN ALTERNATE SEQUENCE DEPENDING UPON CONTRACTOR OPERATIONS.
6. EXCAVATE NEW DRAINAGE DITCH.
7. COMPLETE ROUGH GRADING.
8. COMPLETE SWALE GRADING.
9. PREPARE PAVEMENT SUBGRADE.
10. PLACE TEMPORARY ASPHALT MILLING SURFACE FOR WINTER USE.
11. INSTALL NEW STRUCTURE BEGINNING LATE WINTER/SPRING OF 2024.
12. INSTALL NEW CURB CONCRETE PAVEMENT, AND ASPHALT PAVEMENT.
13. INSTALL PAVEMENT MARKINGS.
14. INSTALL LAWN LANDSCAPING.
15. AREAS PLANNED TO BE INACTIVE FOR 7 DAYS OR LONGER SHALL BE TEMPORARILY STABILIZED FOLLOWING DNR TECHNICAL STANDARD 1059 SEEDING. THESE AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF BEING INACTIVE.
16. AREAS BROUGHT TO FINAL GRADE SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS.
17. COMPLETE FINAL RESTORATIONS INCLUDING BUT NOT LIMITED TO: TOPSOIL, TURF GRASS SEED, AND CLASS I TYPE B URBAN EROSION MATTING FOR ALL LAWN RESTORATION AND TOPSOIL, TURF GRASS SEED, AND CLASS II TYPE B EROSION MATTING FOR THE DRAINAGE SWALES AND SLOPES OF 4:1 OR MORE.
18. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER 80% GROWTH DENSITY HAS OCCURRED IN 100% OF RESTORATION AREAS. CONTRACTOR SHALL OBTAIN OWNER AND ENGINEER APPROVAL PRIOR TO REMOVING THE MEASURE(S). RESTORE DISTURBED AREAS AROUND REMOVED DEVICES AND CLEAN SITE.



Keller
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
N216 State Road 55
P.O. Box 520
Kaukauna, WI 54130
Phone (920)766-5795
1-800-236-2534
Fax (920)766-5004

MADISON
3308 Nursery Drive
Madison, WI 53562
Phone (608)445-2245

MILWAUKEE
W204 N11509
Goldendale Rd
Germantown, WI 53022
Phone (262)250-9710
1-800-236-2534
Fax (262)250-9740

WAUSAU
5605 Lilac Ave
Wausau, WI 54401
Phone (715)849-3141
Fax (715)849-3181

www.kellerbuilds.com

PROPOSED FOR:
NICOLET REAL ESTATE
DE PERE, WISCONSIN

"COPYRIGHT NOTICE"
This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the expressed written consent of KELLER, INC.

REVISIONS

PROJECT MANAGER: D. HULCE

DESIGNER: C. MEISEL

DRAWN BY: G. DEPREY

EXPEDITOR: -----

SUPERVISOR: -----

PRELIMINARY NO: -----

CONTRACT NO: -----

DATE: 9/25/2023

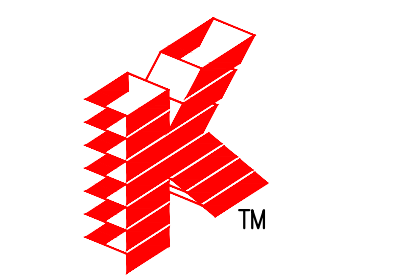
SHEET: C5.0

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO.) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

EROSION CONTROL AND GRADING PLAN C5.0

"ISSUED NOT FOR CONSTRUCTION"



Keller
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
N216 State Road 55
P.O. Box 520
Kaukauna, WI 54130
Phone (920)766-5795
1-800-236-2534
Fax (920)766-5004

MADISON
3308 Nursery Drive
Middleton, WI 53562
Phone (608)445-2245

MILWAUKEE
W204 N11509
Goldendale Rd
Germantown, WI 53022
Phone (262)250-9710
1-800-236-2534
Fax (262)250-9740

WAUSAU
5605 Lilac Ave
Wausau, WI 54401
Phone (715)849-3141
Fax (715)849-3181

www.kellerbuilds.com

NICOLET REAL ESTATE

WISCONSIN

DE PERE,

PROPOSED FOR:

"COPYRIGHT NOTICE"
This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the expressed written consent of KELLER, INC.

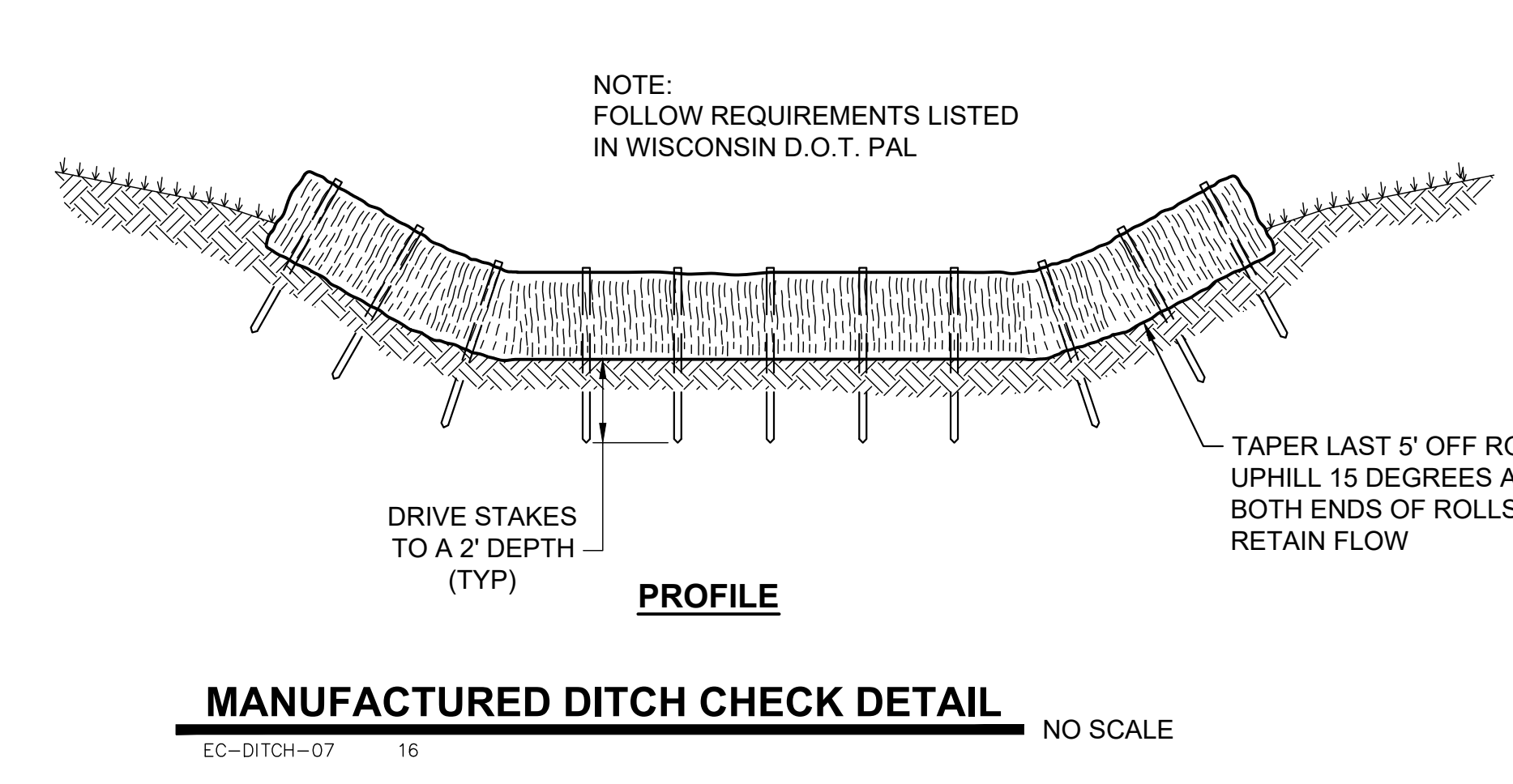
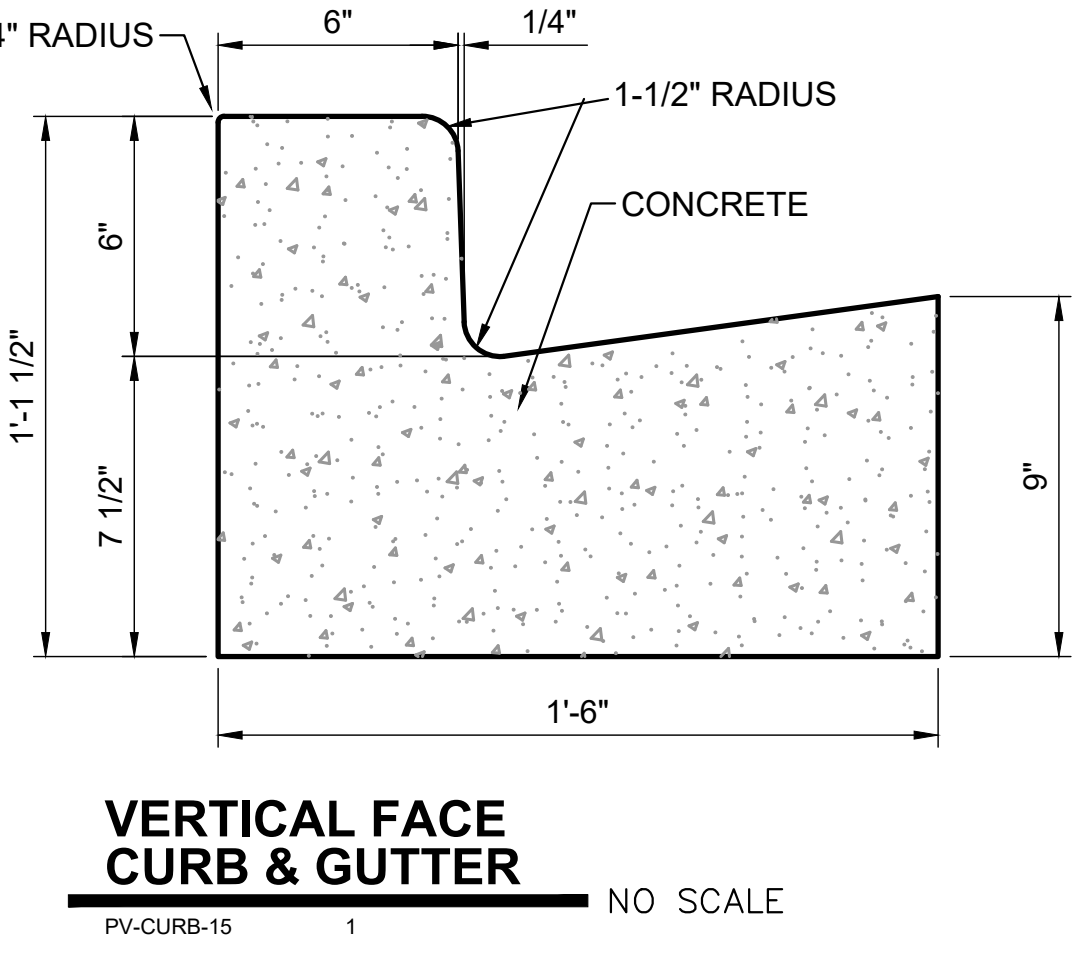
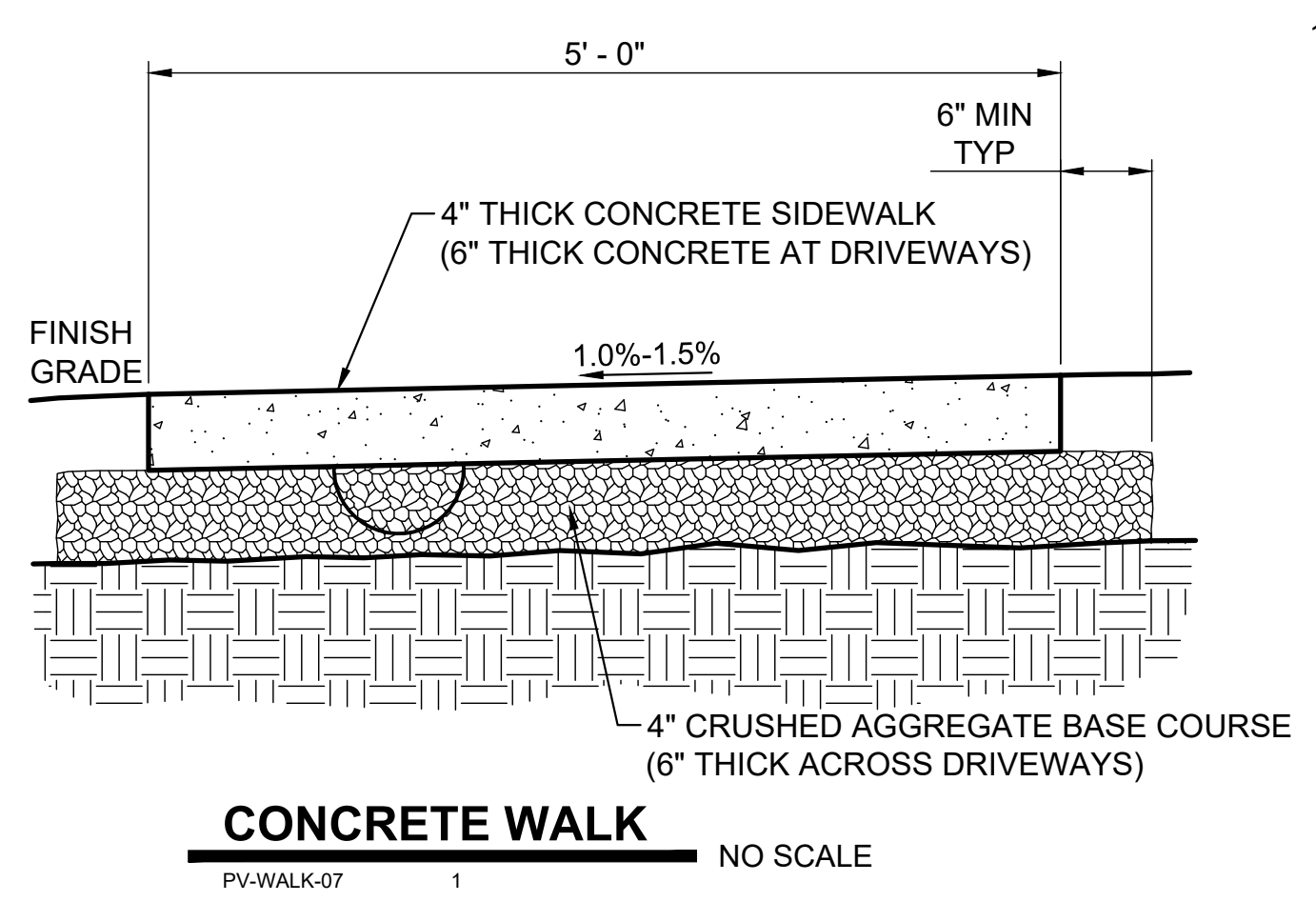
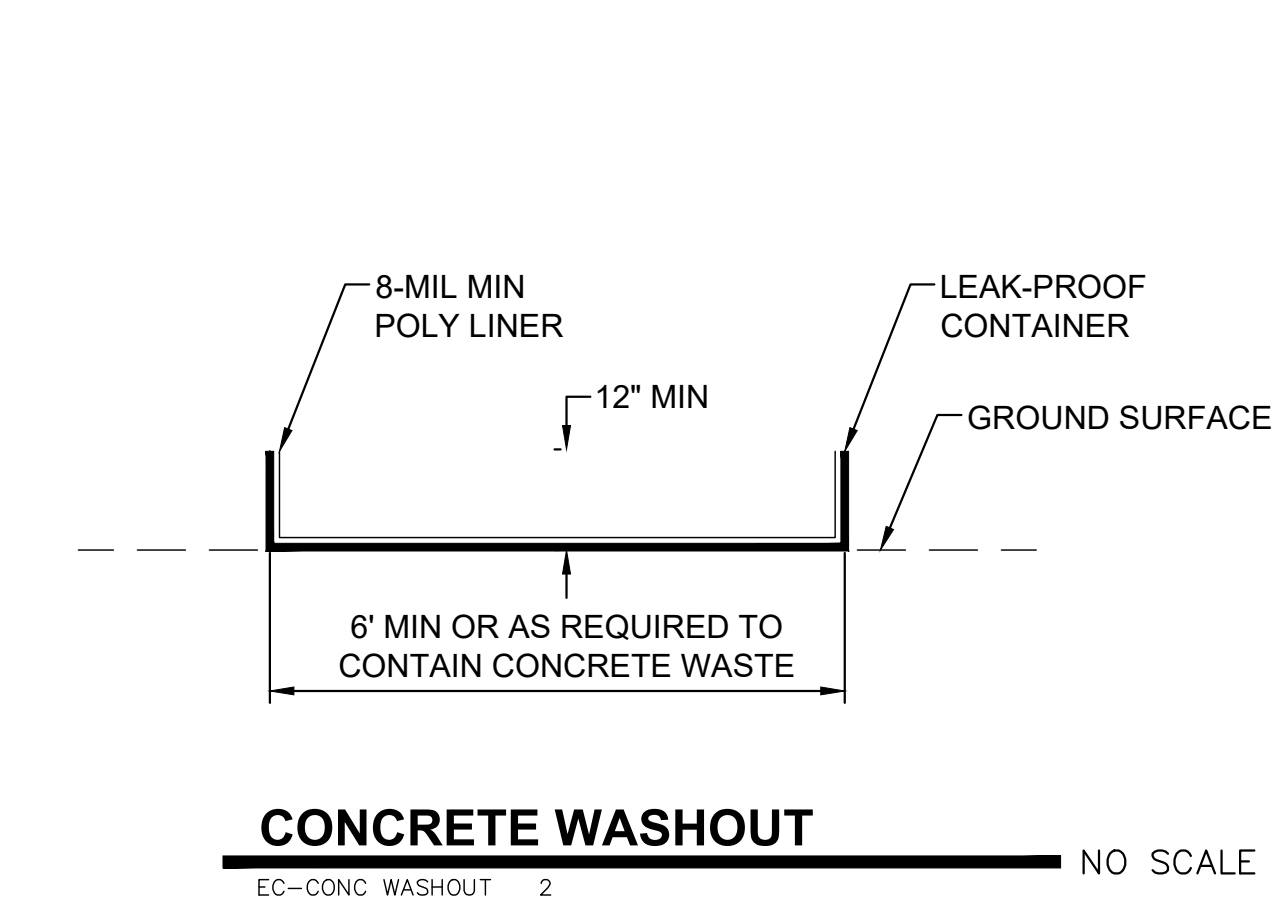
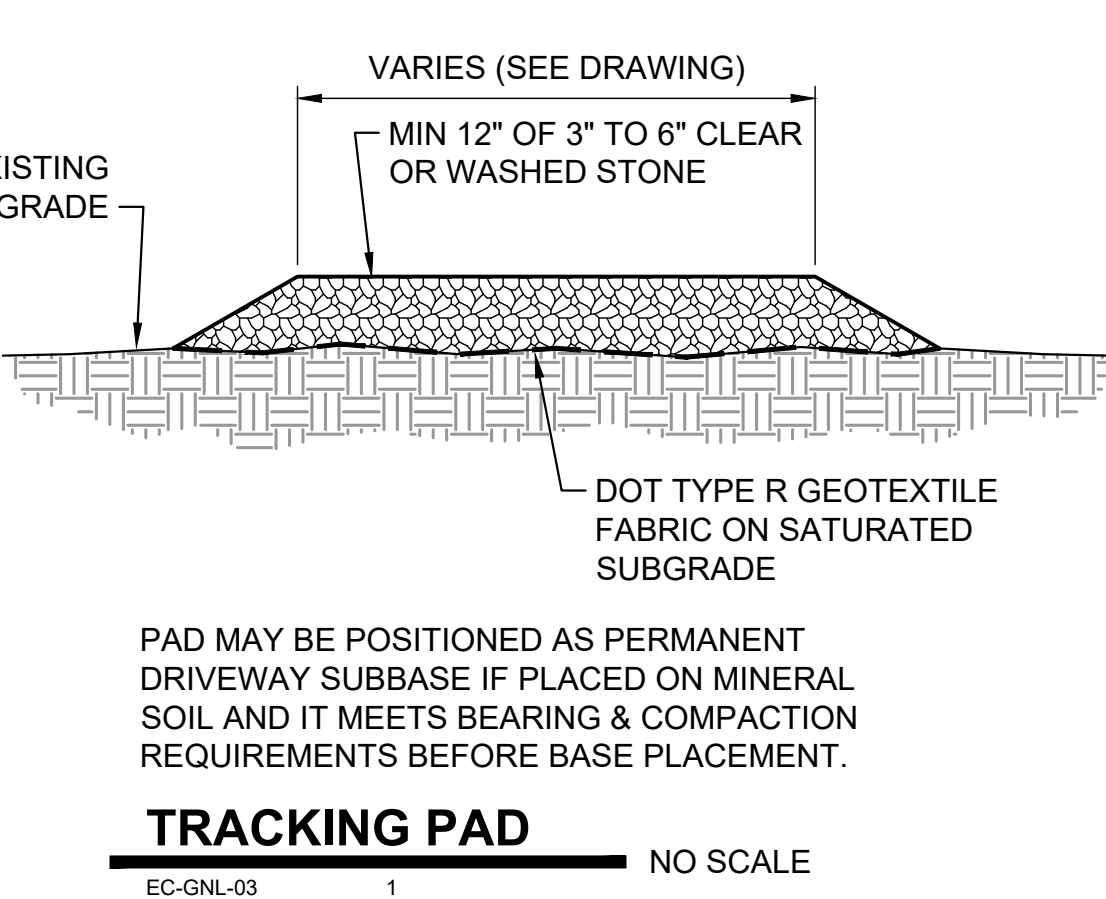
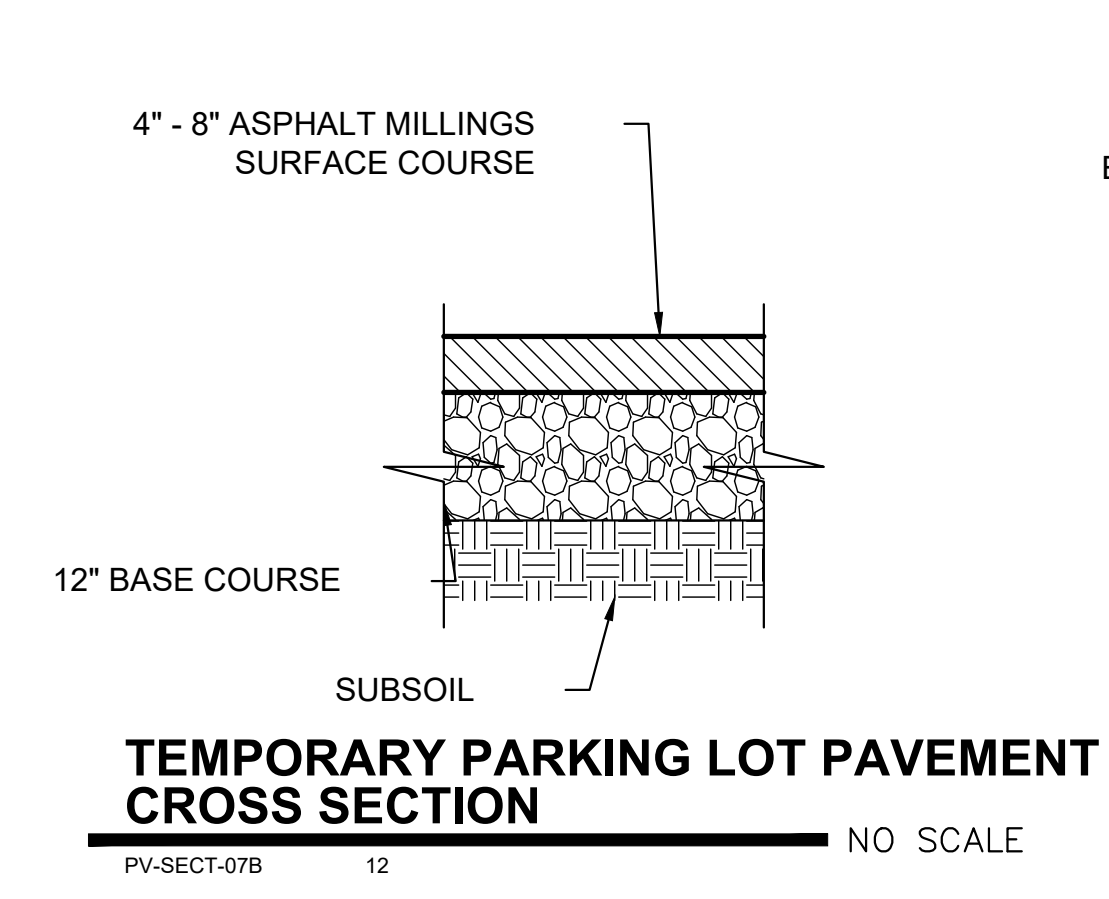
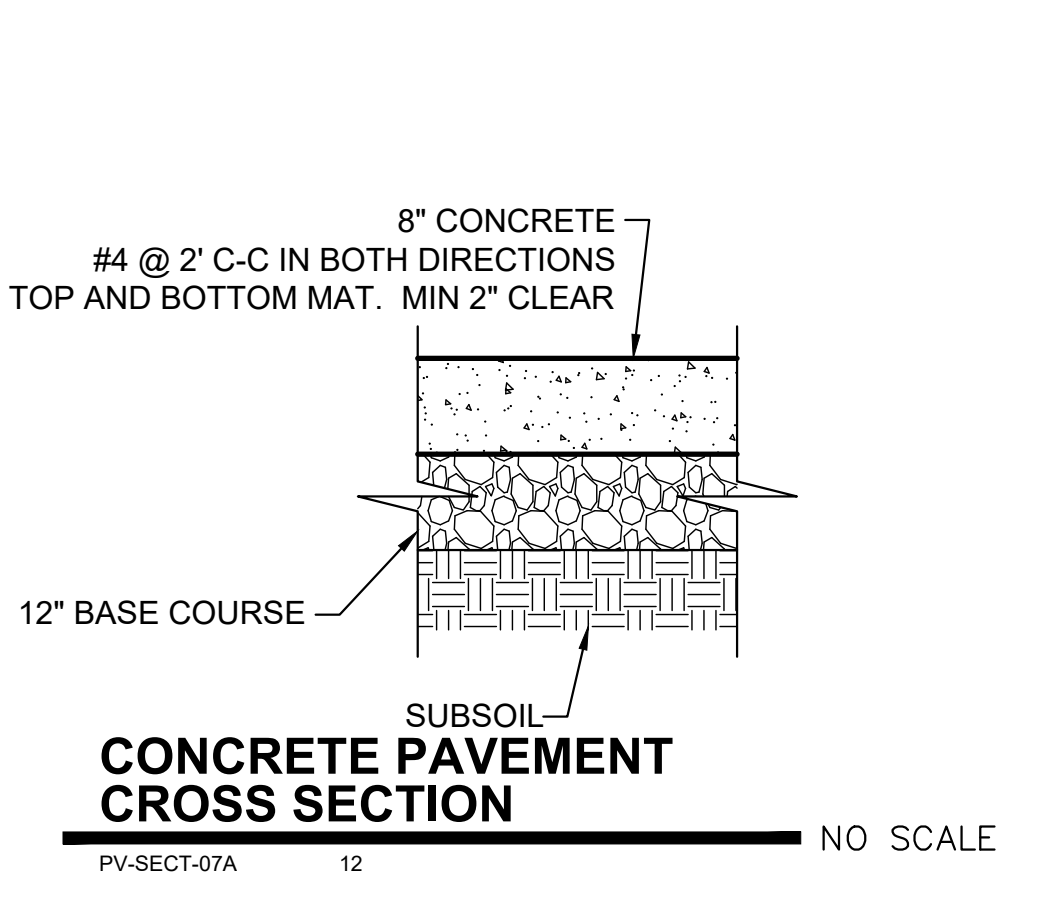
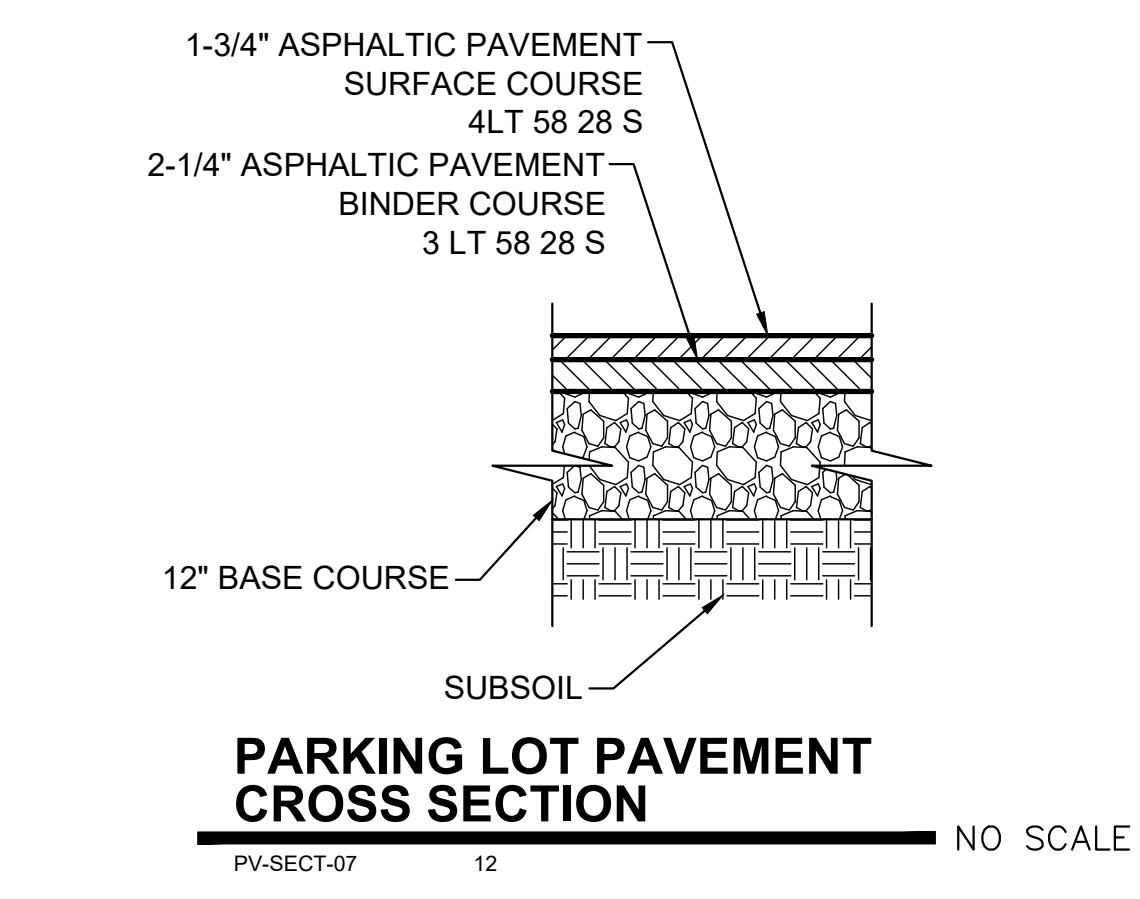
REVISIONS

PROJECT MANAGER: D. HULCE
DESIGNER: C. MEISEL
DRAWN BY: G. DEPREY
EXPEDITOR: _____
SUPERVISOR: _____
PRELIMINARY NO: _____
CONTRACT NO: _____

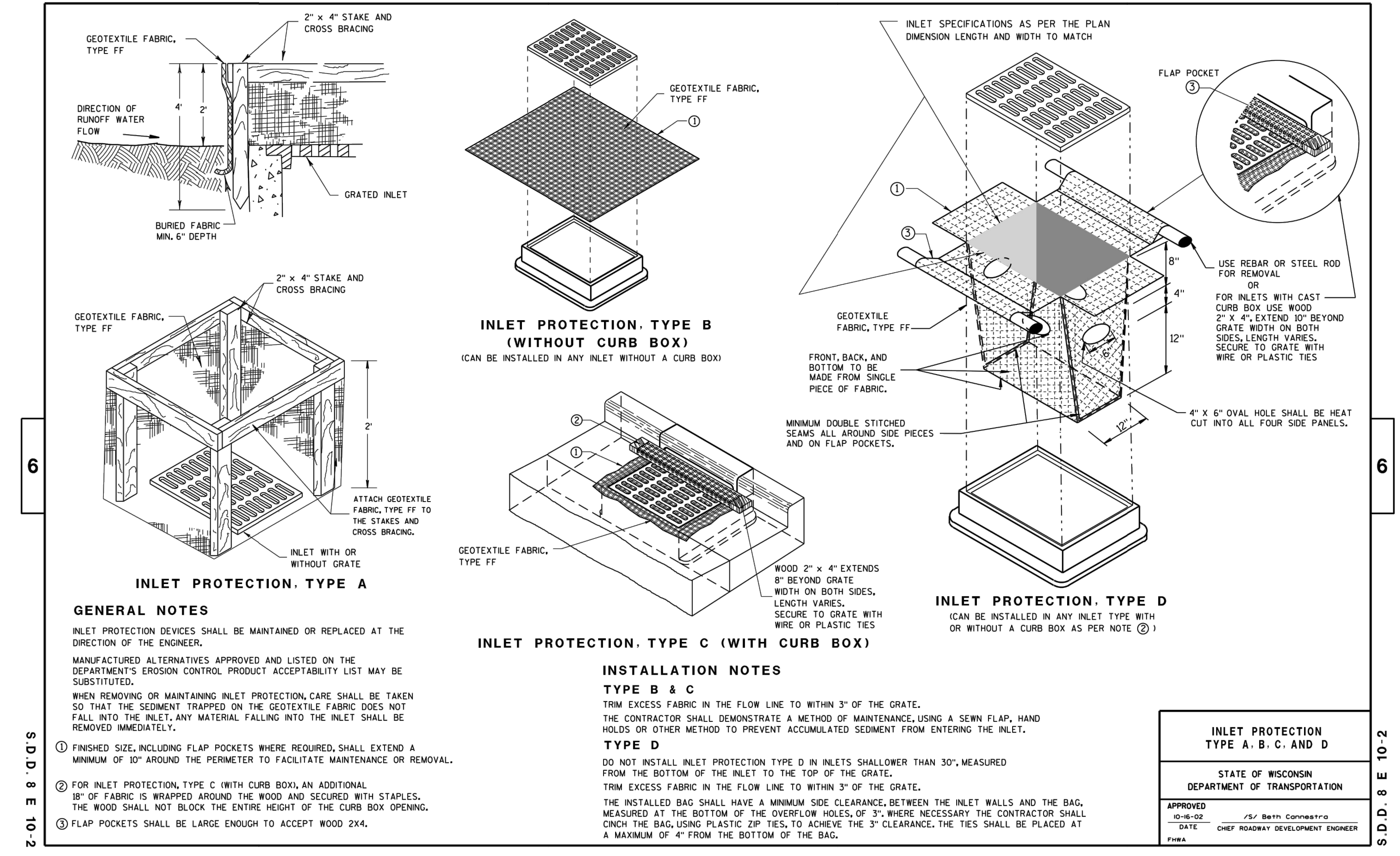
DATE: 9/25/2023
SHEET: C7.0

CONSTRUCTION DETAILS

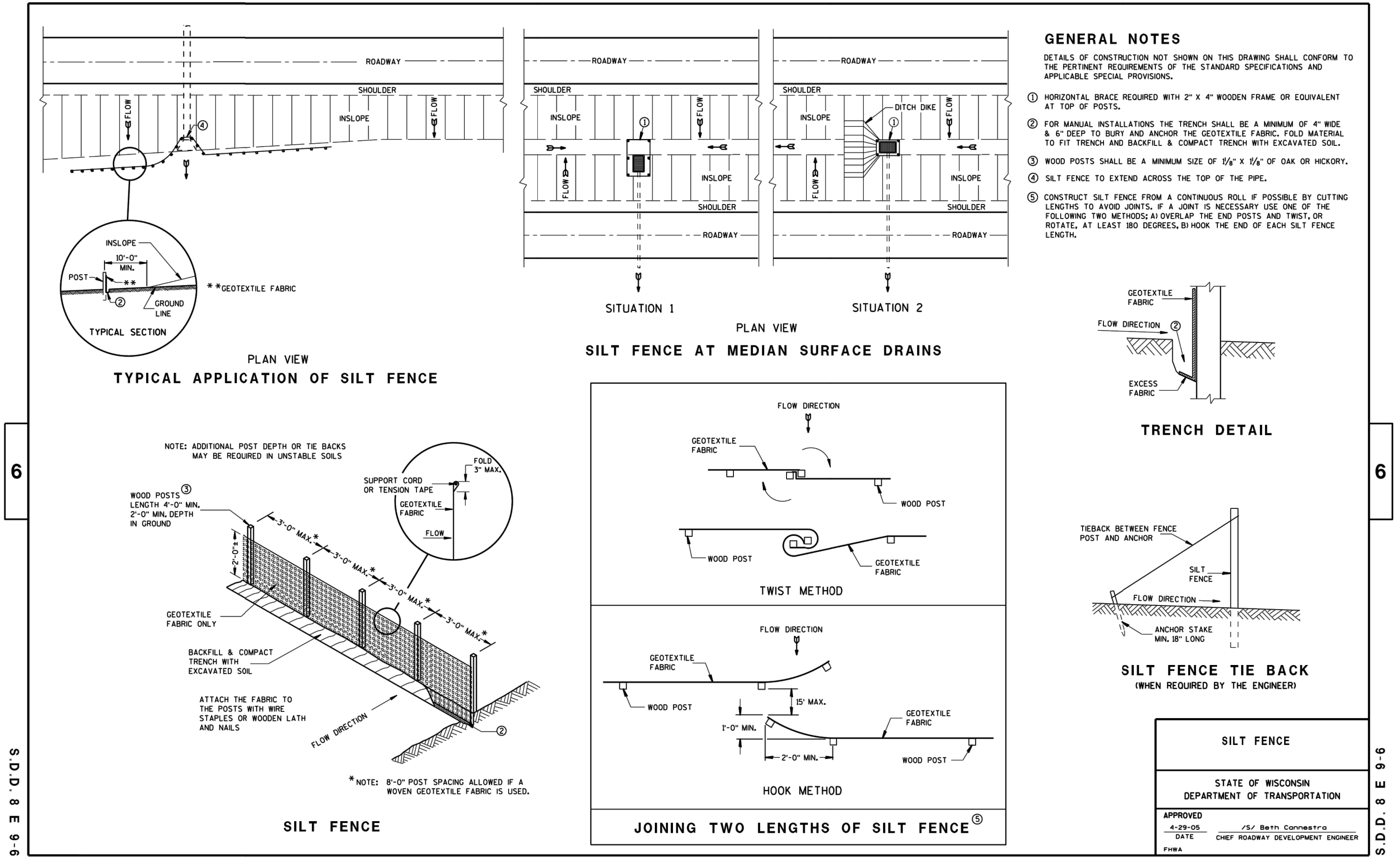
"ISSUED NOT FOR CONSTRUCTION"



SDD 8e10 Inlet Protection Type A, B, C and D

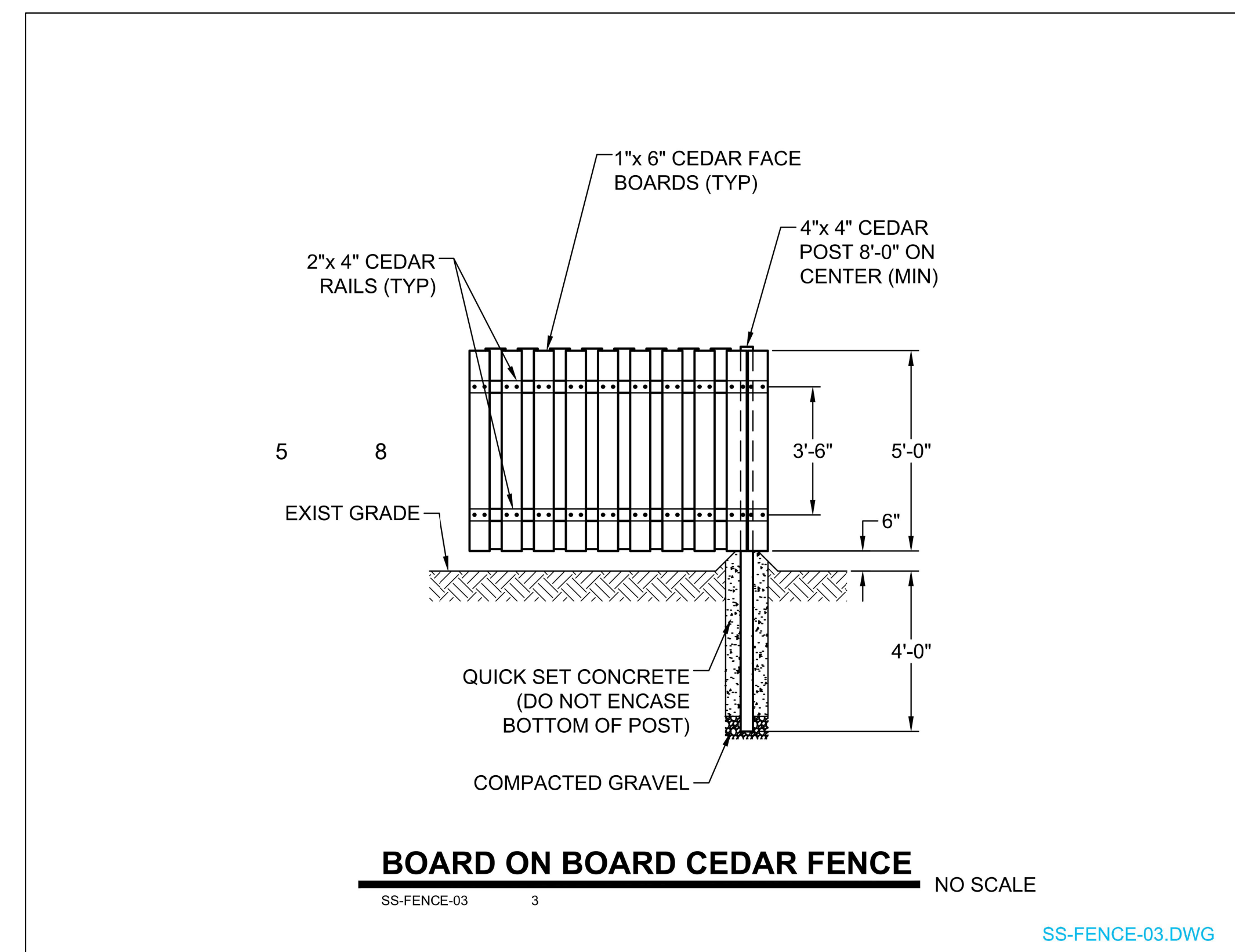
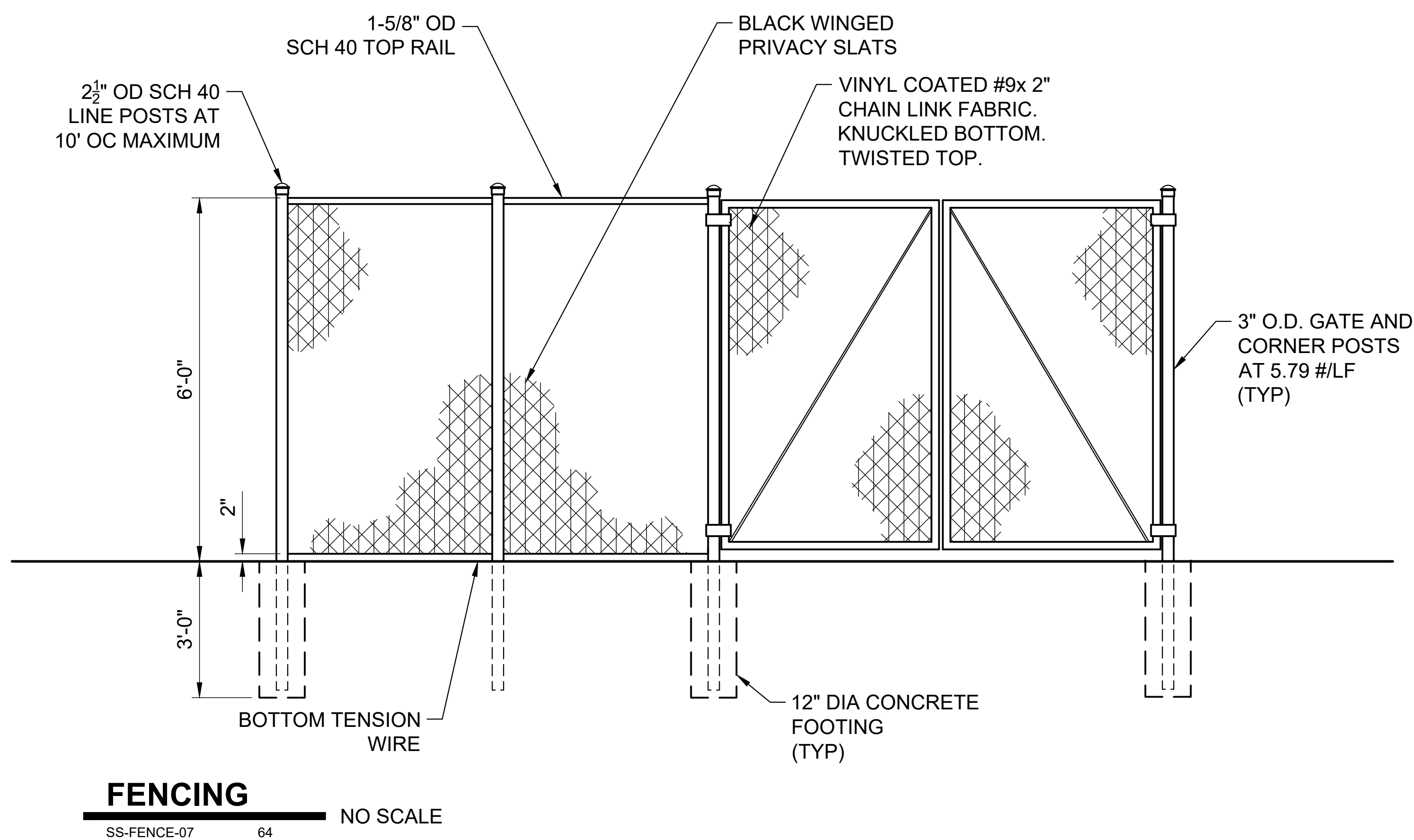
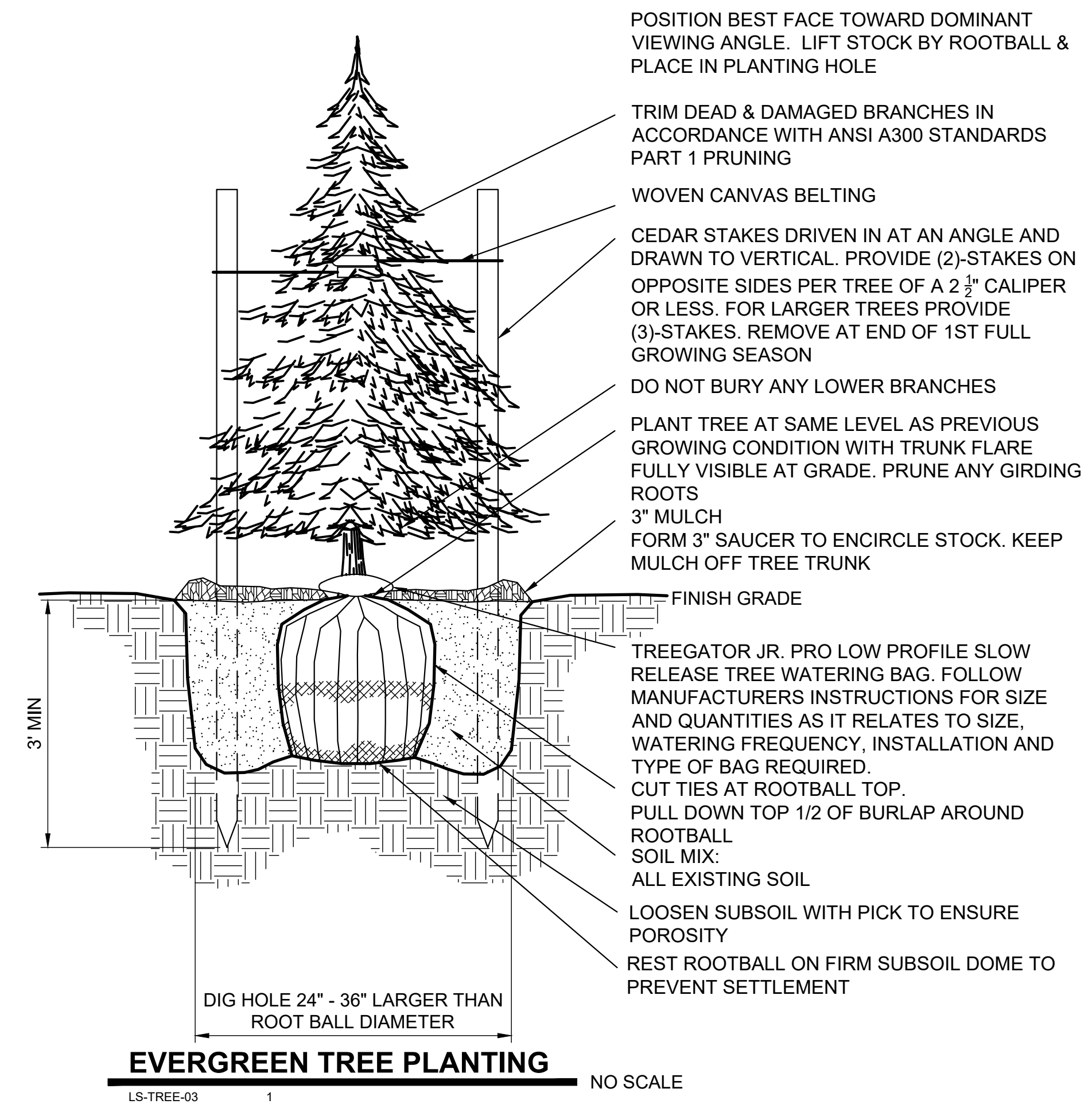
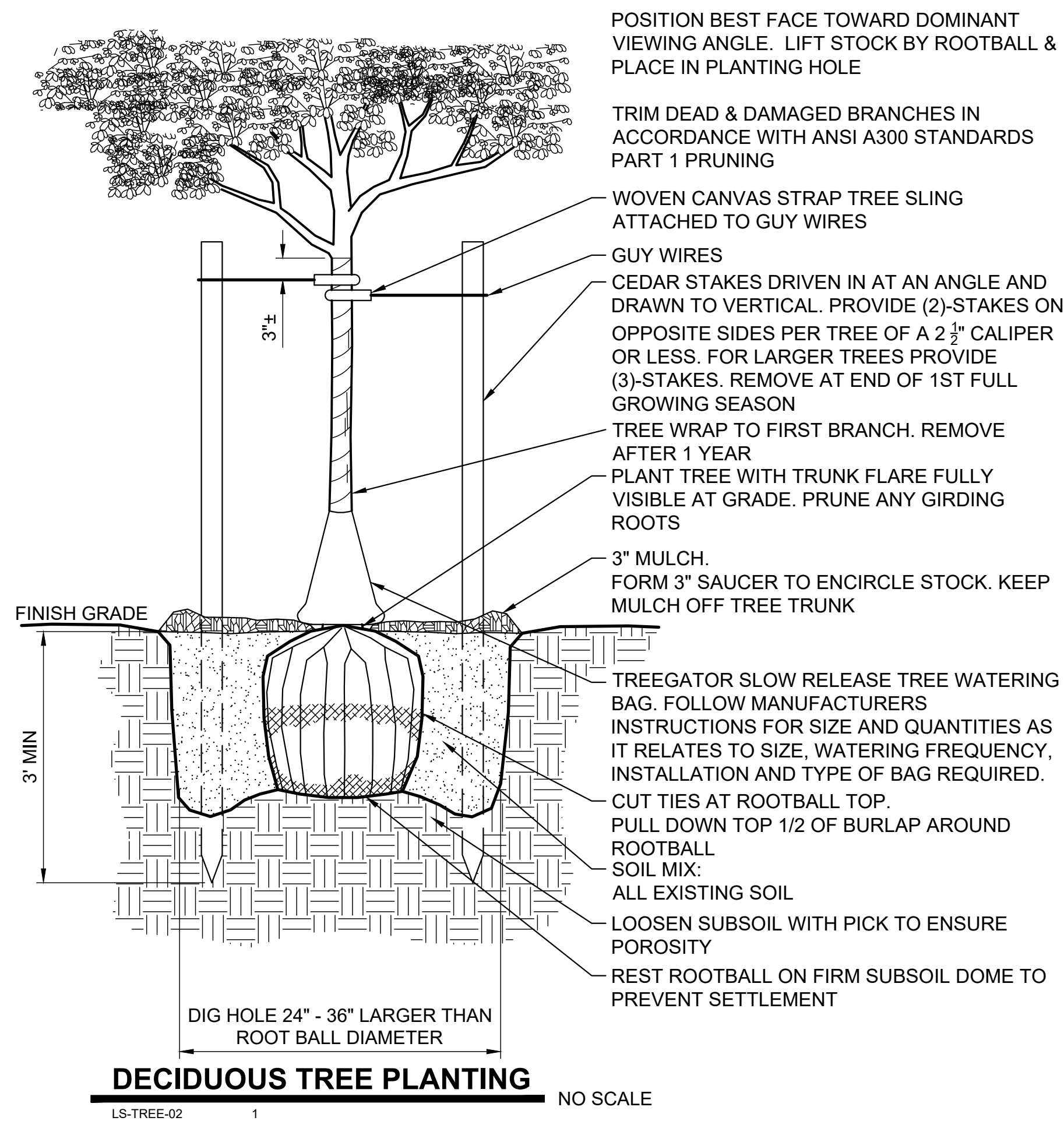


SDD 8e9 Silt Fence



RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO.) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.



Keller
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES N216 State Road 55 P.O. Box 520 Kaukauna, WI 54130 Phone (920)766-5795 1-800-236-2534 Fax (920)766-5004	MADISON 3308 Nursery Drive Middleton, WI 53562 Phone (608)445-2245
MILWAUKEE W204 N11509 Goldendale Rd Germantown, WI 53022 Phone (262)250-9710 1-800-236-2534 Fax (262)250-9740	WAUSAU 5605 Lilac Ave Wausau, WI 54401 Phone (715)849-3141 Fax (715)849-3181

www.kellerbuilds.com

PROPOSED FOR:

NICOLET REAL ESTATE

DE PERE, WISCONSIN

"COPYRIGHT NOTICE"
This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the expressed written consent of KELLER, INC.

REVISIONS	
PROJECT MANAGER:	D. HULCE
DESIGNER:	C. MEISEL
DRAWN BY:	G. DEPREY
EXPEDITOR:	-----
SUPERVISOR:	-----
PRELIMINARY NO.:	-----
CONTRACT NO.:	-----
DATE:	9/25/2023
SHEET:	C7.1

Ruekert • Mielke
Waukesha • Kenosha • Madison
Global Water Center • Fox Valley
www.ruekertmielke.com

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

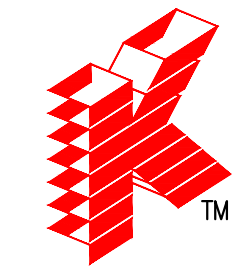
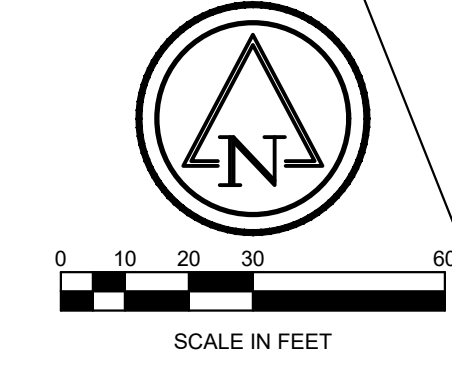
PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO.) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

CONSTRUCTION DETAILS

"ISSUED FOR CONSTRUCTION"

MAFLEX AMERICA INC
2218 AMERICAN BLVD
TAX KEY: WD-1136

FRIGO ENTERPRISES LLC
2201 AMERICAN BLVD
TAX KEY: WD-1378



Keller
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
N216 State Road 55
P.O. Box 520
Kaukauna, WI 54130
Phone (920)766-5795
1-800-236-2534
Fax (920)766-5004

MADISON
3308 Nursery Drive
Madison, WI 53562
Phone (608)445-2245

MILWAUKEE
W204 N11509
Goldendale Rd
Germantown, WI 53022
Phone (262)250-9710
1-800-236-2534
Fax (262)250-9740

WAUSAU
5605 Lilac Ave
Wausau, WI 54401
Phone (715)849-3141
Fax (715)849-3181

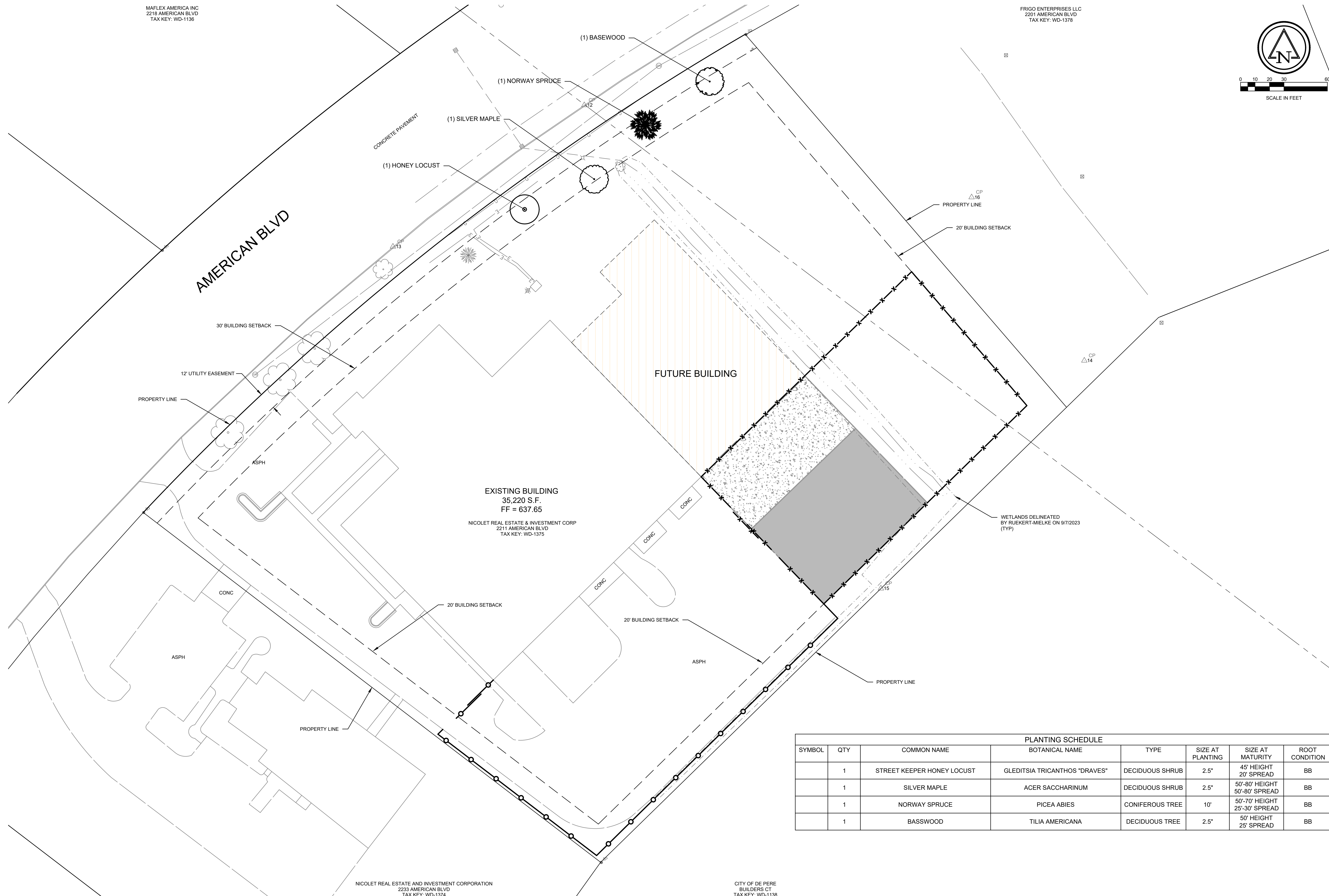
www.kellerbuilds.com

PROPOSED FOR:
NICOLET REAL ESTATE
DE PERE,
WISCONSIN

"COPYRIGHT NOTICE"
This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the expressed written consent of KELLER, INC.

REVISIONS

PROJECT MANAGER: D. HULCE
DESIGNER: C. MEISEL
DRAWN BY: G. DEPREY
EXPEDITOR:
SUPERVISOR:
PRELIMINARY NO:
CONTRACT NO:
DATE: 9/25/2023
SHEET: L1.0



PLANTING SCHEDULE							
SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	TYPE	SIZE AT PLANTING	SIZE AT MATURITY	ROOT CONDITION
	1	STREET KEEPER HONEY LOCUST	GLEDITSIA TRICANTHOS "DRAVES"	DECIDUOUS SHRUB	2.5"	45' HEIGHT 20' SPREAD	BB
	1	SILVER MAPLE	ACER SACCHARINUM	DECIDUOUS SHRUB	2.5"	50'-80' HEIGHT 50'-80' SPREAD	BB
	1	NORWAY SPRUCE	PICEA ABIES	CONIFEROUS TREE	10'	50'-70' HEIGHT 25'-30' SPREAD	BB
	1	BASSWOOD	TILIA AMERICANA	DECIDUOUS TREE	2.5"	50' HEIGHT 25' SPREAD	BB

Ruekert • Mielke
Waukesha • Kenosha • Madison
Global Water Center • Fox Valley
www.ruekertmielke.com

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO.) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

LANDSCAPE PLAN L1.0

"ISSUED FOR CONSTRUCTION"