



Planning/Zoning Application

Planning & Zoning Department

Submitted On:

Jun 4, 2024, 10:07AM EDT

Parcel Number: (Include ALL parcels)	WD-L281-1
Nearest property address to the project site:	Street Address: 2118 Lawrence Drive City: De Pere State: W Zip: 54115
Check each project type that is being applied for:	Site Plan
Current De Pere Zoning Districts:	C
Existing Site Land Uses:	Residential Commercial
Proposed Site Land Uses:	Residential Commercial
Does the project comply with the Comprehensive Plan?	Yes
Has City Staff been contacted for a preapplication meeting?	Yes
Property Owner:	First Name: Crosspoint Last Name: Church Inc
Is the property owner's address the same as the nearest property address?	Yes
Property Owner's Phone Number:	920-366-7113
Property Owner's Email Address:	jerry@greenbaynursery.com
Is someone processing the project for the property owner as their authorized representative?	Yes
Authorized Representative's Name:	First Name: Tanner Last Name: Wbjcik
Authorized Representative's Business Name:	Vierbicher
Authorized Representative's Phone Number:	920-329-5592

Authorized Representative's Email Address:	twoj@vierbicher.com
Please attach a PDF copy of the site plan.	GBN RETAIL _ GREENHOUSE.pdf 240171 Eng 042324 060324.pdf S-3886_SWMP.pdf
Would you like a basic checklist of information to include in the site plan?	No
How do you plan on paying for your application?	Online with a credit card
Total Due:	\$350.00
Signature Data	First Name: Tanner Last Name: Wbjcik Email Address: twoj@vierbicher.com  Signed at: June 4, 2024 10:00am America/New_York
User's Session Information	IP Address: 74.87.124.242 Referrer URL:

CITY OF DE PERE

335 South Broadway, De Pere, WI 54115 | www.de-pere.org



October 7, 2024

Tanner Wojcik, PE
Vierbicher
400 Security BL
Green Bay, WI 54313

RE: Site Plan Review for the New Green Bay Nursery 2108-2118 Lawrence DR
(Parcel WD-L281-1)

Dear Tanner:

Thank you for the site plan for the New Green Bay Nursery 2108-2118 Lawrence DR. The City of De Pere staff reviewed the site plan on October 7, 2024, and recommended denial unless the conditions that are attached to this letter can be addressed.

- No permits will be issued until all the conditions have been satisfied and the City has issued a final site plan approval letter.

Please prepare a site plan resubmittal that addresses the attached conditions with a summary that itemizes each revision with a site plan page number. The resubmittal should be emailed to me and must include digital PDF files of all drawings.

Should you have any questions regarding the decision or require further information, feel free to contact me at 339-4043 or pschleinz@deperewi.gov.

Sincerely,

A handwritten signature in black ink that reads "Peter Schleinz". The signature is written in a cursive style with a long, sweeping underline.

Peter Schleinz
Senior Planner | Zoning Administrator

cc: Daniel J. Lindstrom, AICP, Development Services Director
Dennis Jensen, Senior Building Inspector

ATTACHMENT

Conditions to address prior to any site plan approval recommendation.

Engineering Related

1. General:
 - a. Provide photometric plan for the site.
 - b. Identify how refuse and recyclable materials storage (garbage collection) is handled on the site. Show location and scaled details, with colors and materials, for the refuse and recyclable materials storage. Dumpsters will need to be kept in enclosures.
2. Sheet C4.0
 - a. Call out stall widths, or 10 stalls at 9' wide in the 90.0' dimension. New Sanitary lateral call out is blocking the stall dimensions that were added.
3. SWMP (prior to requesting occupancy permits):
 - a. Site needs to enter into a storm water maintenance agreement with the City. City to draft and send to the developer to fill out, sign, and return to the City for final signature and recording.
 - b. A post construction walkthrough of the infiltration basin is required with the De Pere Engineering Division to ensure compliance with the plans.
 - c. Post construction record drawings of the infiltration basin are required to be submitted to De Pere Engineering to ensure compliance with the plans.

Planning Related

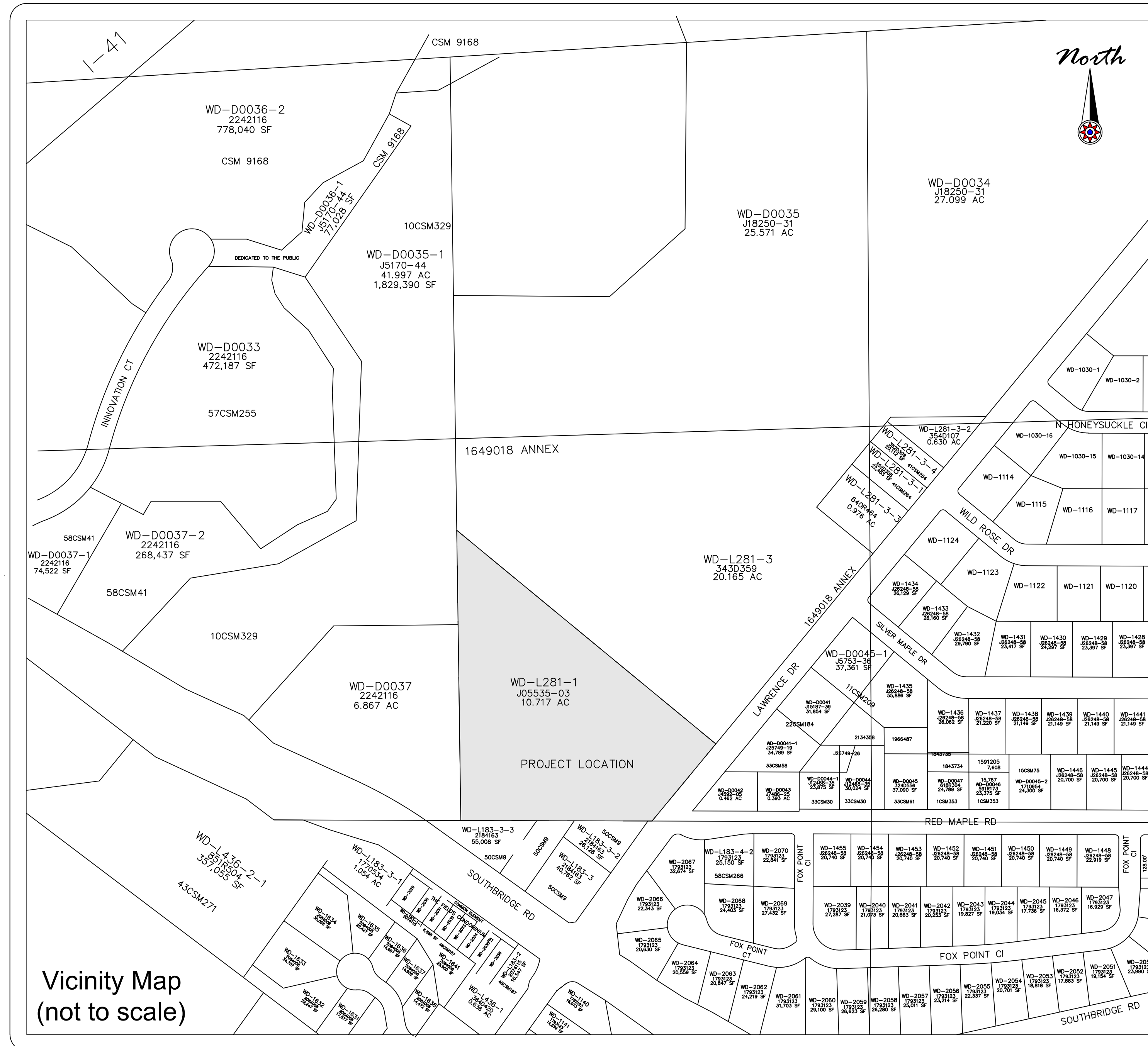
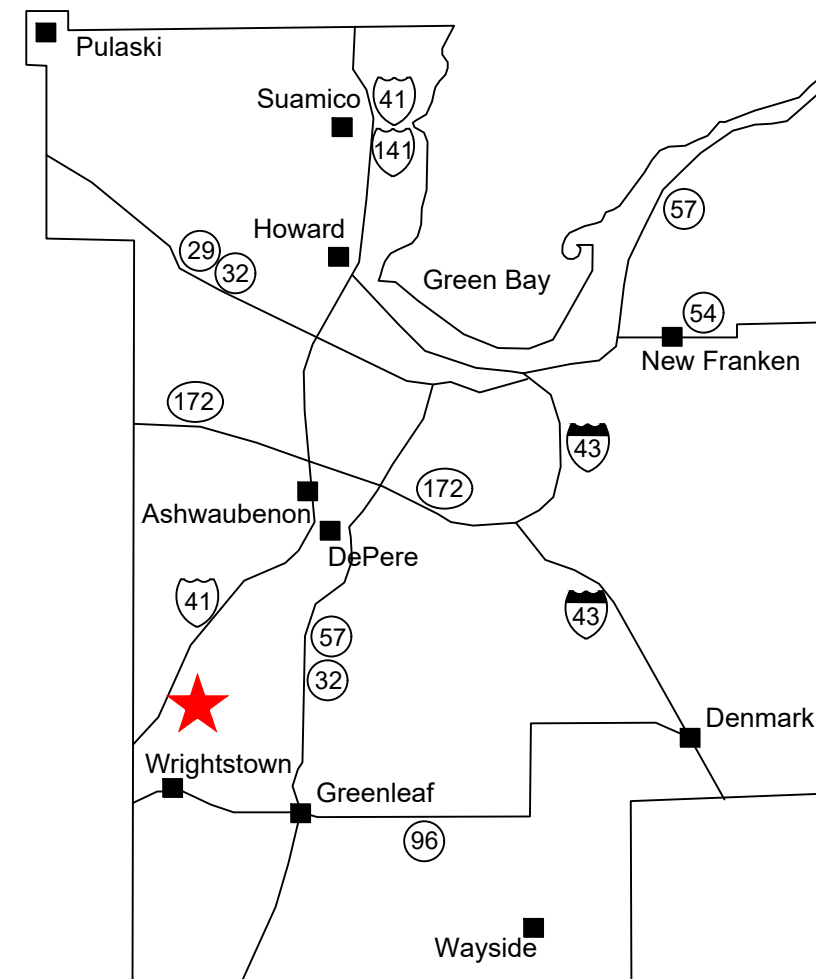
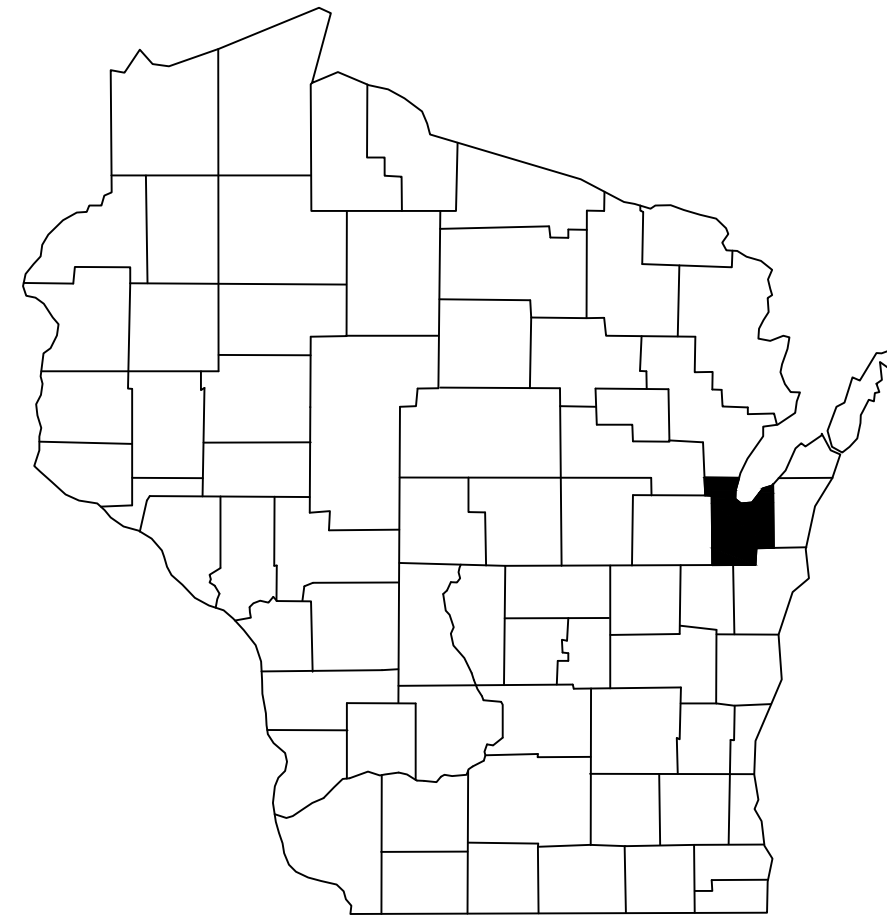
1. Sheet C4.0:
 - a. The transitional yard is labelled as 60-feet. Correct to be 50-feet.
 - b. The site plan labels the sign as, "proposed lit road sign." Properly identify the 'backlit monument sign' to comply with option A, with the closest part of the sign being at least 5-feet away from the property line.
2. Sheet C4.0 & Creative Sign Option A:
 - a. Option A is only permitted if the base is reduced to 18-inches. Correct to reflect a 4'6" sign with an 18-inch base. Remove the unused sign option.
3. Sheet E1.0 & A2:
 - a. Identify the colors and materials for the utilities on the building facades. The fans and meter ped must be colorized to match the building to limit visibility, screened from view. Also, identify the color for the brick and the doors.
4. Provide a Landscape Plan.
5. Items to address for a smoother site plan review:
 - a. Staff was informed that the non-conforming residential use has discontinued on the property when existing tenants moved out in 2024. Provide information that confirms that no new residents/tenants have moved in, and the non-conforming use no longer exists. Residential household living uses are prohibited in the C District.
 - b. Staff is aware of several signage placement violations that have occurred on the property in 2024. Ensure that all prohibited signs, and signs that are potentially in violation, are resolved prior to submitting a revised site plan.
6. Prior to requesting occupancy permits:
 - a. After the exterior lighting is installed, provide a statement from the installer that the light spill from the property does not exceed the approved photometric plan.
 - b. After the exterior lighting is installed, provide a statement from the installer that the light spill from the property does not exceed the approved photometric plan.
7. Provide a list that summarizes how each revision in the site plan was addressed. Include a page number and description for each revision. Revisions that are not included in the summary are not reviewed and are not part of any site plan approvals.

-end-

Green Bay Nursery

Site Plans

City of De Pere, Brown County, Wisconsin



Vicinity Map
(not to scale)

Owner(s):	Crosspoint Church Inc
Project Name:	Green Bay Nursery
Project Description:	Site plans with stormwater
Project Location:	2118 Lawrence Drive
Parcel Number(s):	WD-L281-1

Contact Information

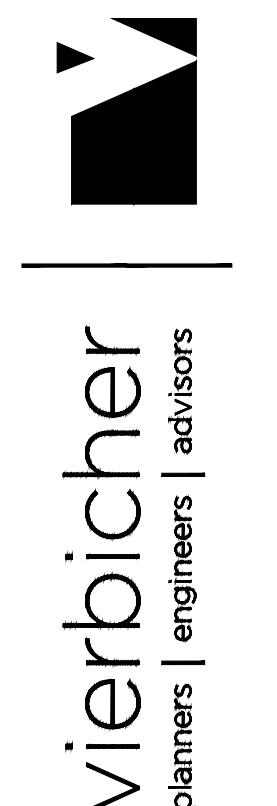
Owner(s):	Jerry Lewin 2118 Lawrence Drive De Pere, WI 54115 920-366-7113
Engineer:	Vierbicher Tanner Wojcik PE 400 Security Blvd. Green Bay, WI 54313 920-329-5592

- Sheet Index:**
- C1.0 Title Sheet
 - C2.0 Notes
 - C3.0 Demolition Plan
 - C4.0 Site Layout Plan
 - C5.0 Grading and Erosion Control Plan
 - C6.0 Biofilter Details
 - C6.1 Construction Details



DATE:
09/10/2024
PROJECT NO.
240171
SHEET NO.
C1.0
DRAWING NO.
S-3886

Number	Date	Comments



Green Bay Nursery Notes

RESPONSE ACTIONS IN THE EVENT OF A SPILL OR RELEASE

IMMEDIATELY TAKE THE FOLLOWING MEASURES TO KEEP THE SPILL FROM ENTERING SEWER OR STORM DRAINS, SPREADING OFF SITE, OR AFFECTING HUMAN HEALTH.

- STOP, CONTAIN, AND CLEAN UP CHEMICAL SPILL IF:
- THE SPILLED CHEMICAL AND ITS HAZARDOUS PROPERTIES HAVE BEEN IDENTIFIED
 - THE SPILL IS SMALL AND EASILY CONTAINED
 - RESPONDER IS AWARE OF THE CHEMICALS' HAZARDOUS PROPERTIES

IF SPILL OR RELEASE CANNOT BE CONTROLLED OR INJURIES HAVE OCCURRED DUE TO THE RELEASE THE FOLLOWING PROCEDURES SHOULD BE IMPLEMENTED:

- SUMMON HELP OR ALERT OTHERS OF THE RELEASE
- EVACUATE IMMEDIATE AREA, PROVIDE CARE TO INJURED, CALL 911
- IF POTENTIAL FOR FIRE OR EXPLOSION - CALL 911
- RESPOND DEFENSIVELY TO ANY UNCONTROLLED SPILLS
 - USE PROTECTIVE EQUIPMENT
 - ATTEMPT TO STOP SOURCE OF RELEASE (IF SAFE TO DO SO)
 - PROTECT DRAINS BY USE OF ABSORBENT, BOOMS OR DRAIN COVERS (IF SAFE TO DO SO)
- NOTIFY ONSITE EMERGENCY CONTACT(S)
- COORDINATE RESPONSE ACTIVITIES WITH LOCAL EMERGENCY PERSONNEL
- BE PREPARED TO PROVIDE MSDS INFORMATION TO EMERGENCY PERSONNEL
- NOTIFY APPROPRIATE AGENCY IF RELEASE HAS ENTERED THE ENVIRONMENT.

SPILL PREVENTION AND EMERGENCY RESPONSE PLAN:

EMERGENCY RESPONSE CONTACTS
FIRE/PARAMEDICS/POLICE 911
FIRE NON-EMERGENCY LINE (920) 434-4666
COUNTY HEALTH DEPARTMENT(920) 448-6400
DNR SPILL HOTLINE 1-800-943-0003

LOCAL EMERGENCY MEDICAL FACILITY
ST. VINCENT HOSPITAL
835 S. VAN BUREN ST
GREEN BAY, WI 54301
(920) 433-0111

SPILL PREVENTION
HAZARDOUS SUBSTANCE MANAGEMENT:
ALL HAZARDOUS SUBSTANCES, INCLUDING CHEMICAL WASTES, ARE TO BE MANAGED IN A WAY THAT PREVENTS RELEASE.

SITE STATISTICS

BEFORE CONSTRUCTION (Acres)
SITE AREA - 10.69 Acres
PAVEMENT 0.18 Acres (1.68%)
BUILDINGS 0.17 Acres (1.59%)
PERVIOUS 10.34 Acres (96.73%)

AFTER CONSTRUCTION (Acres)
SITE AREA - 10.69 Acres
PAVEMENT 1.0 Acres (9.35%)
BUILDINGS 0.21 Acres (1.96%)
PERVIOUS 9.48 Acres (88.68%)

BEFORE CONSTRUCTION (SF)
SITE AREA - 465,656 SF
PAVEMENT 7,841 SF (1.68%)
BUILDINGS 7,405 SF (1.59%)
PERVIOUS 450,410 SF (96.73%)

AFTER CONSTRUCTION (SF)
SITE AREA - 465,656 SF
PAVEMENT 43,560 SF (9.35%)
BUILDINGS 9,148 SF (1.96%)
PERVIOUS 412,948.8 SF (88.68%)

PARKING RATIO

- 20 STALLS PROPOSED
- 1 PER EMPLOYEES (5) = 5 STALLS
 - 1 PER 800 SF (BUILDING MATERIALS AND SUPPLIES) (1600 SF) = 2 STALLS
 - 1 ADA VAN ACCESSIBLE
- 8 STALLS REQUIRED

CONSTRUCTION SITE EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

- SEDIMENT TRACKING FROM CONSTRUCTION SITE:
- STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057
STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
 - WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
 - STREET SWEEPING/CLEANING
SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

- SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:
- SILT FENCE - TECHNICAL STANDARD 1056
SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
 - SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058
DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
 - NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052
EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.
 - CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066
WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

- SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:
- DEWATERING - TECHNICAL STANDARD 1061
DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

- SEDIMENT ENTERING STORM DRAIN INLETS:
- STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060
ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

- SEDIMENT BEING CARRIED OFF-SITE BY WIND:
- DUST CONTROL - TECHNICAL STANDARD 1068
WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

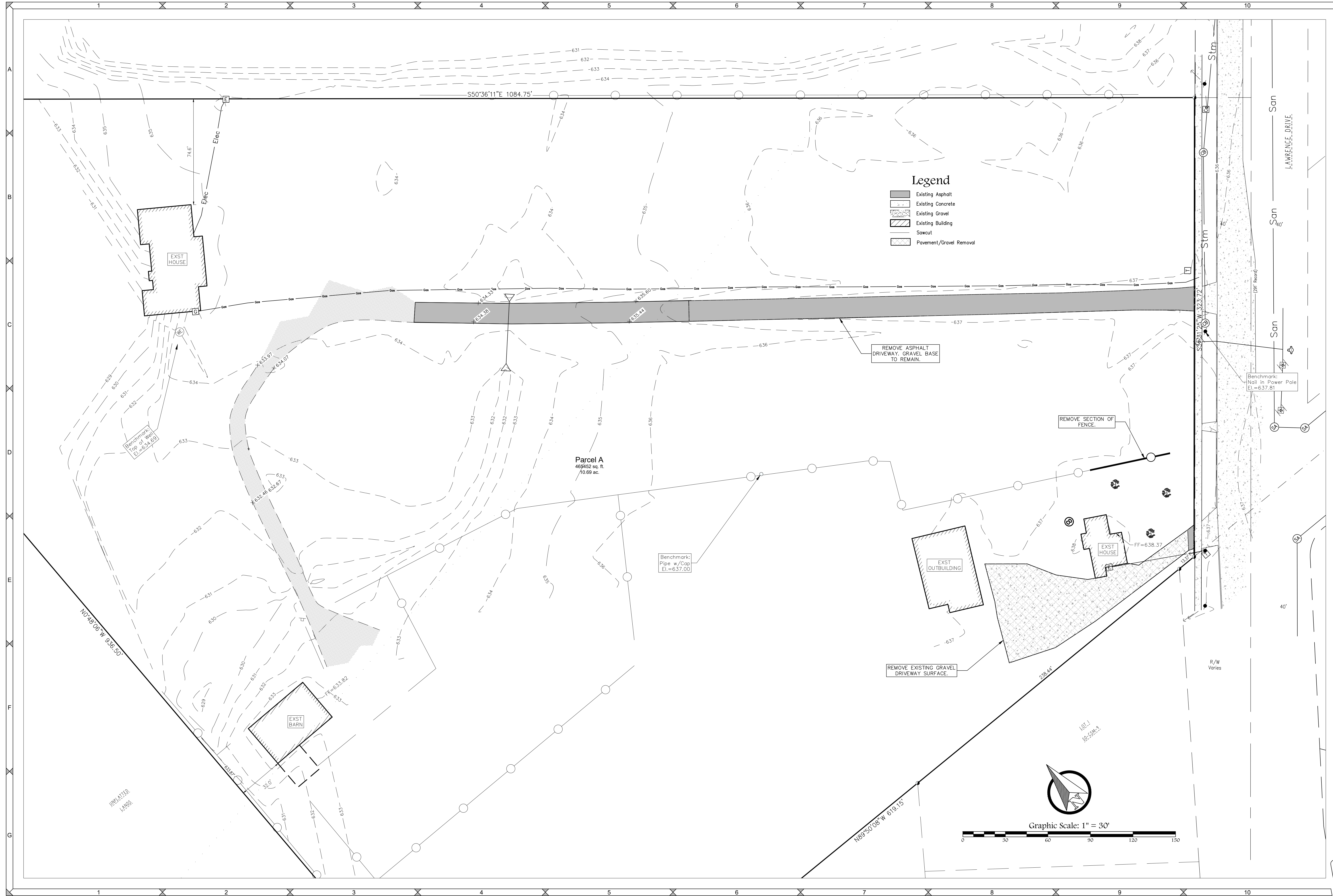
- CONCRETE WASHOUT
- CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.epa.gov/polwaste/mpdes/swbmp/upload/concretewashout.pdf> FOR DETAILS.

GENERAL NOTES:

- ALL CLEARING, GRADING, GRAVELING, PAVING, AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION.
- A COPY OF THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES.
- EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION, AND SILTATION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN TECHNICAL STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL STUMPS.
- EXCESS TOPSOIL SHALL BE STOCKPILED ON THE SITE WITH THE PROPER EROSION CONTROL AT A LOCATION ACCEPTABLE TO THE OWNER.
- CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.
- CONTRACTOR SHALL PROTECT ALL PROPERTY IRONS. A LICENSED LAND SURVEYOR, AT THE CONTRACTORS EXPENSE, SHALL REPLACE ANY PROPERTY IRONS REMOVED DURING CONSTRUCTION.

Legend

○ 1.32" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 1.68 LBS/LIN FT SET	● 1" IRON PIPE FOUND	● COMPUTED POINT	○ PK NAIL FOUND	◁ PK NAIL SET	⊗ CUT + FOUND	○ 3/4" IRON PIPE FOUND	● 2" IRON PIPE FOUND	● BROWN COUNTY MONUMENT - TYPE NOTED	() RECORDED AS BEARING / DISTANCE	NO ACCESS	⊙ ROUND CATCH BASIN	⊙ STORM SEWER MANHOLE	▭ CURB INLET	▭ STORM SEWER LINE	⊙ SANITARY CLEANOUT	⊙ SA SANITARY SEWER MANHOLE	▭ SANITARY SEWER LINE	⊙ W WATER MANHOLE	⊙ HYDRANT	▭ WATERMAIN	⊙ WATER VALVE	⊙ WATER VALVE - CURB STOP	⊙ GAS VALVE	▭ UNDERGROUND GAS LINE	⊙ GAS METER	▭ UNDERGROUND TELEPHONE LINE	⊙ TELEPHONE PEDESTAL	⊙ TELEPHONE MANHOLE	▭ UNDERGROUND ELECTRIC LINE	⊙ AIR CONDITIONER	⊙ TR ELECTRIC TRANSFORMER	⊙ E ELECTRIC PEDESTAL	⊙ E ELECTRIC MANHOLE	▭ UNDERGROUND CABLE TV LINE	⊙ H HANDHOLE BOX	⊙ CA CABLE TV PEDESTAL	▭ UNDERGROUND FIBER OPTIC LINE	⊙ F FIBER OPTIC PEDESTAL	⊙ F FIBER OPTIC MANHOLE	⊙ GROUND LIGHT	⊙ LIGHT POLE	▭ CONSTRUCTION LIMITS	● POWER POLE	→ ANCHOR WIRE	▭ OVERHEAD WIRES	▭ CONCRETE CURB & GUTTER LINE	▭ EXISTING ASPHALT	▭ PROPOSED ASPHALT	▭ EXISTING BUILDING	▭ PROPOSED BUILDING	▭ CONCRETE	▭ GRAVEL	▭ WETLAND AREA	▭ FLOODPLAIN LIMITS	▭ FLOODWAY	▭ SILT FENCE	▭ INLET PROTECTION	▭ SLOPE EROSION MAT WSDOT CLASS 1 TYPE A	▭ CHANNEL EROSION MAT WSDOT CLASS 1 TYPE B	▭ RIP RAP SIZE AND QUANTITY PER PLAN	▭ TRACKING PAD	▭ EXISTING CONTOUR LINE	▭ PROPOSED CONTOUR LINE	▭ 176.41 EXISTING GROUND GRADE	▭ ×174.88 PROPOSED GROUND GRADE	▭ 2.33% DRAINAGE ARROW	▭ FENCE LINE	▭ GUARD RAIL	▭ GUARD POST	▭ FLAG POLE	▭ SIGN	▭ DECIDUOUS TREE	▭ CONIFEROUS TREE	▭ TRAFFIC LIGHT	▭ MAILBOX	▭ HANDICAP PARKING SPACE	▭ MW MONITORING WELL	▭ RW ROCK WALL	▭ W WELL	▭ SHRUB
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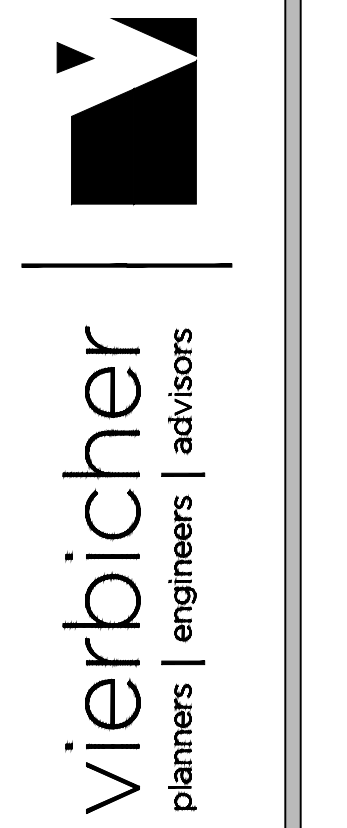
- Legend**
- Existing Asphalt
 - Existing Concrete
 - Existing Gravel
 - Existing Building
 - Sawcut
 - Pavement/Gravel Removal

DESIGNED BY
TTW

DATA FILE
240171.tbt

DATE
09/10/2024

Number	Date	Comments



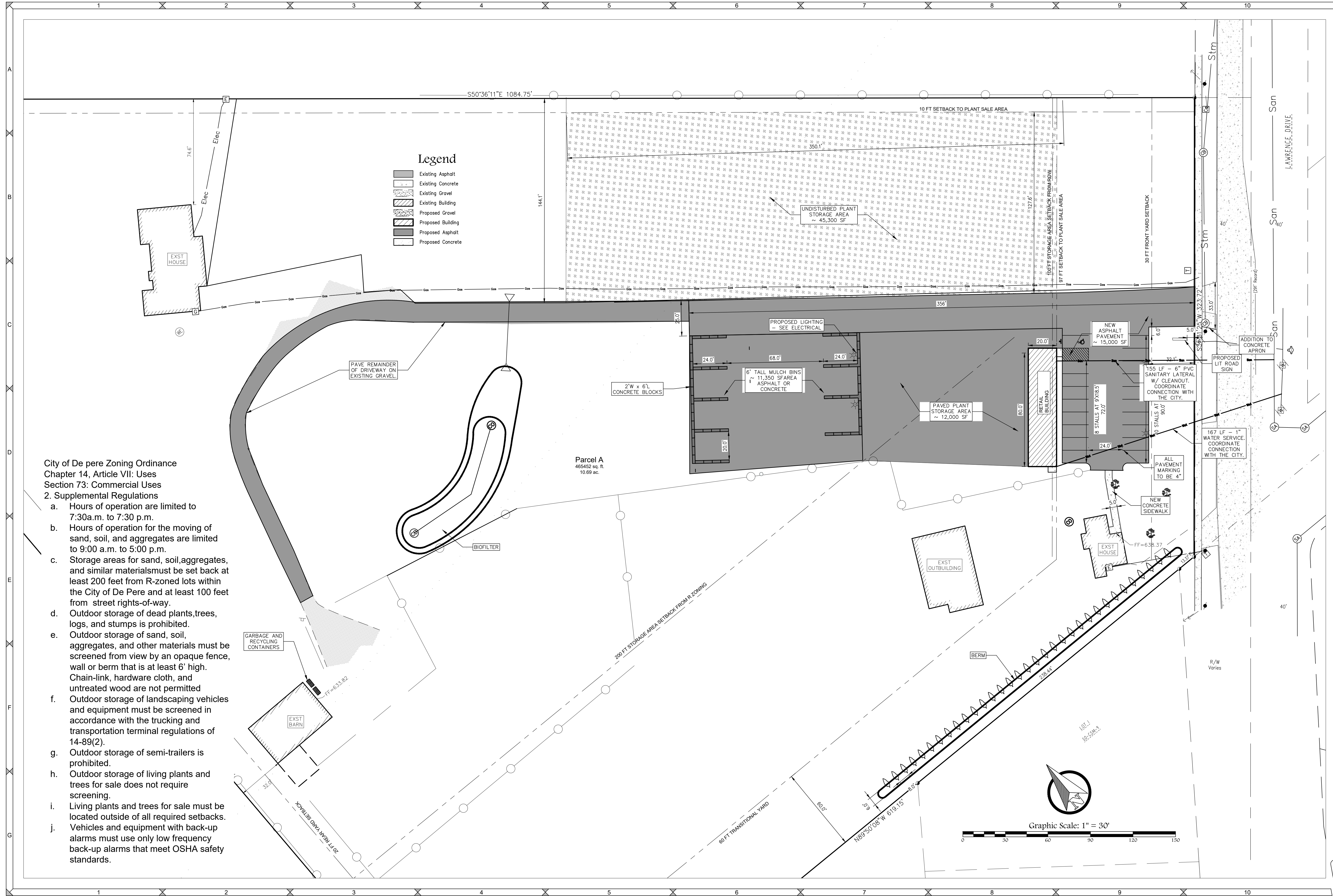
**Green Bay Nursery
Demolition Plan**

PROJECT NO.
240171

SHEET NO.
C3.0

DRAWING NO.
S-3886

File: 240171_Eng_080924.dwg



Legend

- Existing Asphalt
- Existing Concrete
- Existing Gravel
- Existing Building
- Proposed Gravel
- Proposed Building
- Proposed Asphalt
- Proposed Concrete

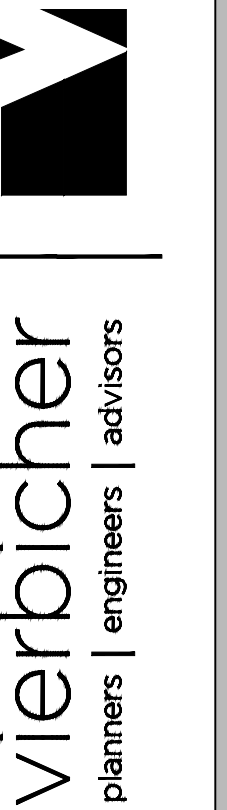
City of De Pere Zoning Ordinance
Chapter 14, Article VII: Uses
Section 73: Commercial Uses

2. Supplemental Regulations

- a. Hours of operation are limited to 7:30 a.m. to 7:30 p.m.
- b. Hours of operation for the moving of sand, soil, and aggregates are limited to 9:00 a.m. to 5:00 p.m.
- c. Storage areas for sand, soil, aggregates, and similar materials must be set back at least 200 feet from R-zoned lots within the City of De Pere and at least 100 feet from street rights-of-way.
- d. Outdoor storage of dead plants, trees, logs, and stumps is prohibited.
- e. Outdoor storage of sand, soil, aggregates, and other materials must be screened from view by an opaque fence, wall or berm that is at least 6' high. Chain-link, hardware cloth, and untreated wood are not permitted.
- f. Outdoor storage of landscaping vehicles and equipment must be screened in accordance with the trucking and transportation terminal regulations of 14-89(2).
- g. Outdoor storage of semi-trailers is prohibited.
- h. Outdoor storage of living plants and trees for sale does not require screening.
- i. Living plants and trees for sale must be located outside of all required setbacks. Vehicles and equipment with back-up alarms must use only low frequency back-up alarms that meet OSHA safety standards.

DESIGNED BY
TTW
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DATE
09/10/2024

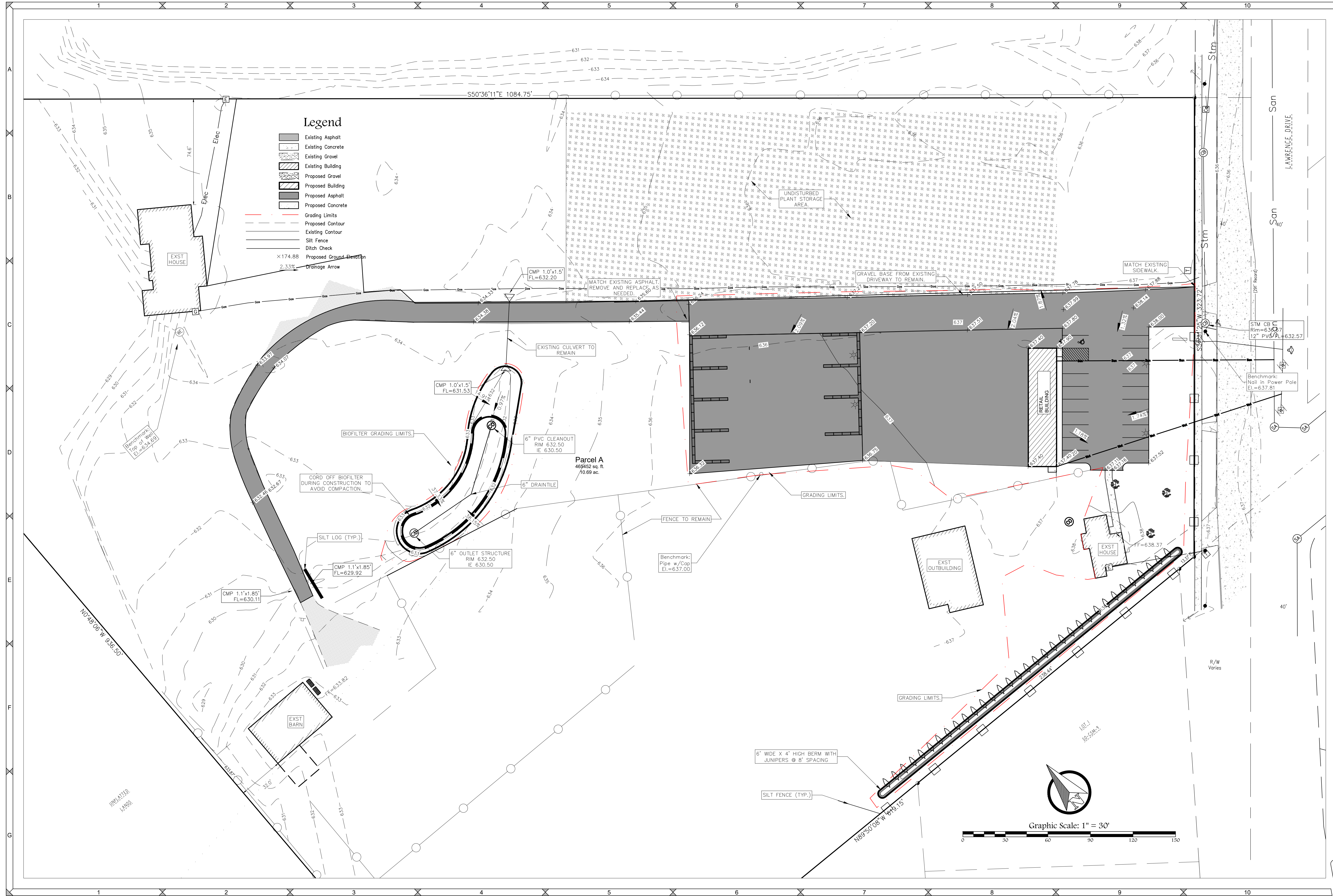
Number	Date	Comments



**Green Bay Nursery
Site Layout Plan**

PROJECT NO.
240171
SHEET NO.
C4.0
DRAWING NO.
S-3886

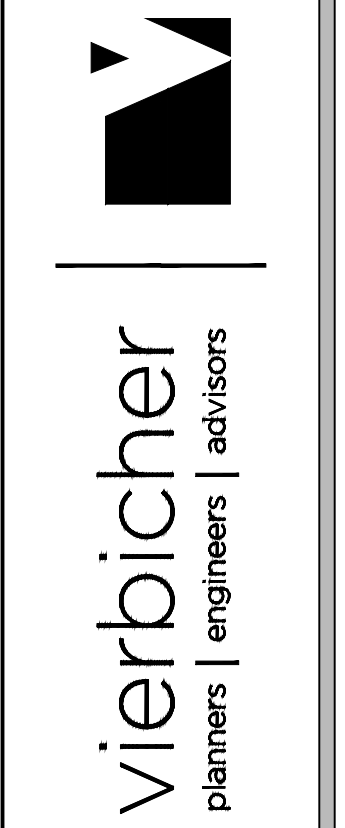
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Legend

- Existing Asphalt
- Existing Concrete
- Existing Gravel
- Existing Building
- Proposed Gravel
- Proposed Building
- Proposed Asphalt
- Proposed Concrete
- Grading Limits
- Proposed Contour
- Existing Contour
- Silt Fence
- Ditch Check
- Proposed Ground Elevation
- Drainage Arrow

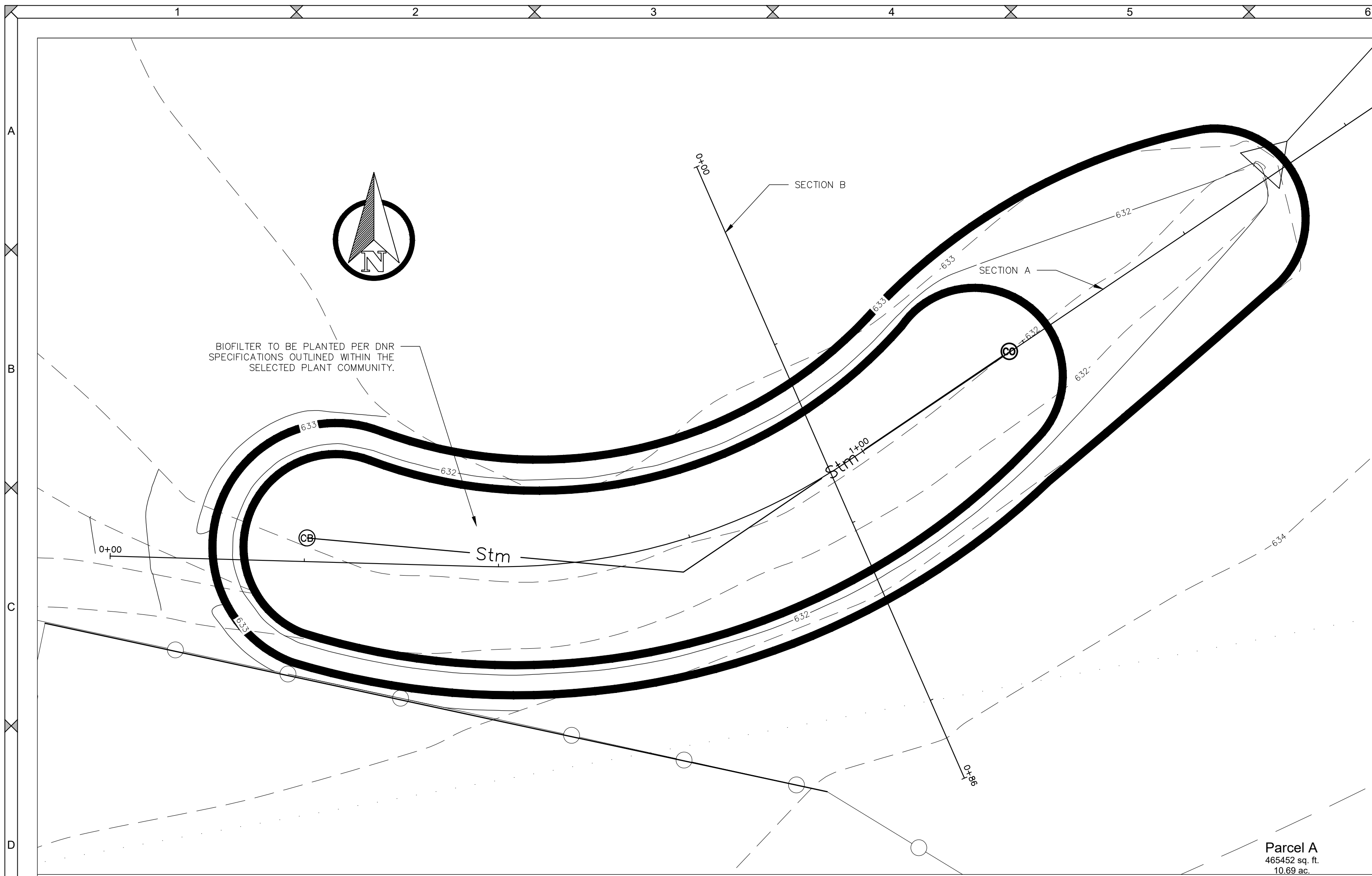
DESIGNED BY TTW	
DATA FILE 240171.tbt	
DATE 09/10/2024	
Number	Comments



Green Bay Nursery
Grading and Erosion Control Plan

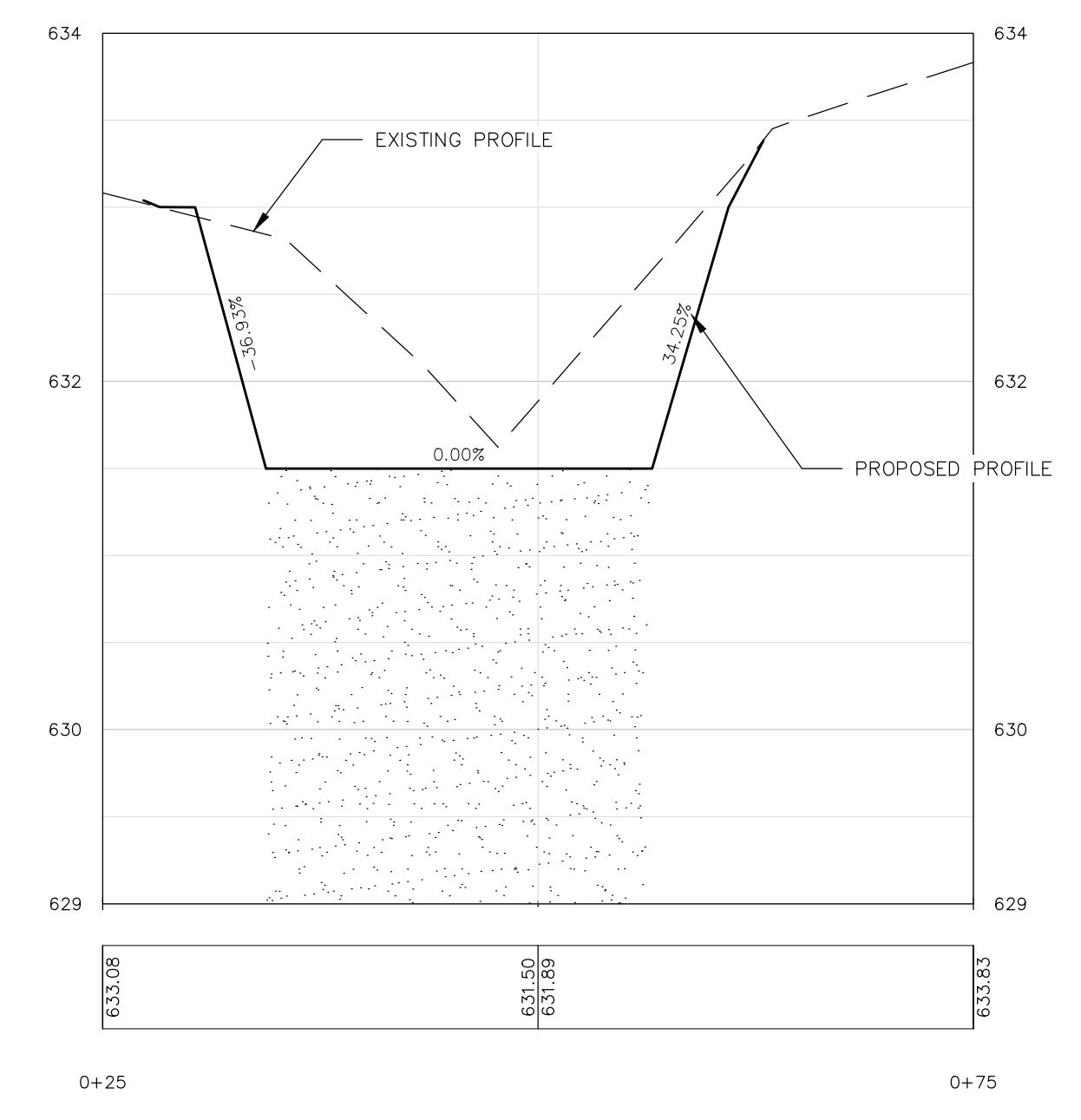
PROJECT NO.
240171
SHEET NO.
C5.0
DRAWING NO.
S-3886

File: 240171_Eng_080524.dwg



Parcel A
46542 sq. ft.
10.69 ac.

PROFILE VIEW OF B



BIOFILTER DETAILS		
ELEVATION	AREAS (SF)	MATERIAL
631.50	2240	SAND 629.00-631.50
631.83	2440	MULCH 631.50-631.83
633.00	4450	
634.00	7500	

BIORETENTION FOR INFILTRATION (1004)

V.B.12. CONSTRUCTION SEQUENCING AND OVERSIGHT- A PERSON TRAINED AND EXPERIENCED IN THE CONSTRUCTION, OPERATION AND MAINTENANCE OF INFILTRATION DEVICES SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE DEVICE. THE FOLLOWING APPLY:

TECHNICAL STANDARD 1004.V.B.6.D.(2)

6. ENGINEERED SOIL PLANTING BED

d. ENGINEERED SOIL COMPOSITION- THE SOIL SHALL BE ENGINEERED TO THE FOLLOWING SPECIFICATIONS:

(2) THE SAND SHALL MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:

USDA Coarse SAND (0.2-.04 INCHES)

ASTM C33 (FINE AGGREGATE CONCRETE SAND)

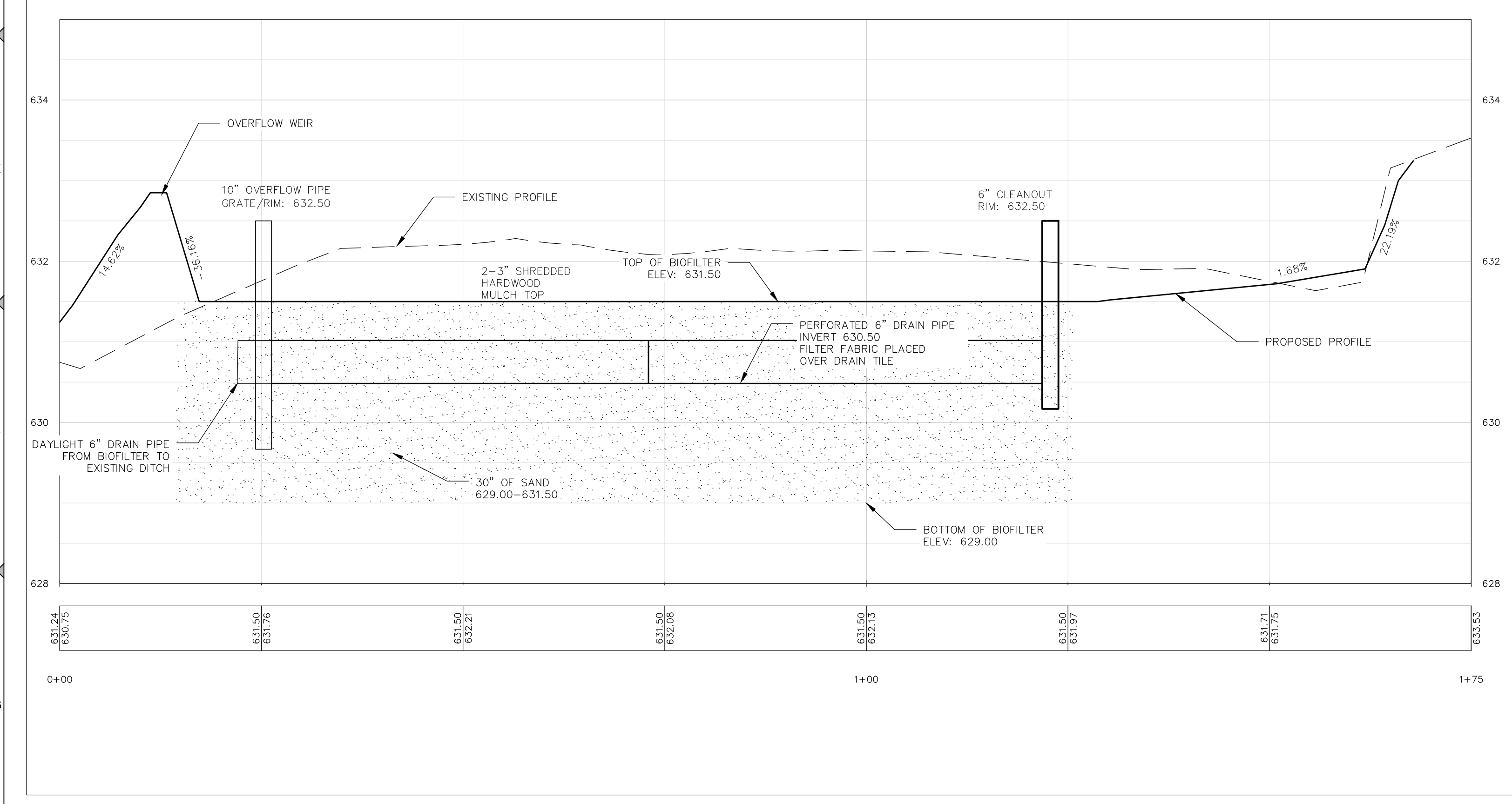
WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION SECTION 501.2.5.3.4. (FINE AGGREGATE CONCRETE SAND) 2005 EDITION, OR AN EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY.

THE PREFERRED SAND COMPONENT CONSISTS OF MOSTLY SiO₂, BUT SAND CONSISTING OF DOLOMITE OR CALCIUM CARBONATE MAY ALSO BE USED. MANUFACTURED SAND OR STONE DUST IS NOT ALLOWED. THE SAND SHALL BE WASHED AND DRAINED TO REMOVE CLAY AND SILT PARTICLES PRIOR TO MIXING.

TECHNICAL STANDARD 1044.V.B.6.D.(3)

(3) THE COMPOST COMPONENT SHALL MEET THE REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATION S100, COMPOST.

PROFILE VIEW OF A



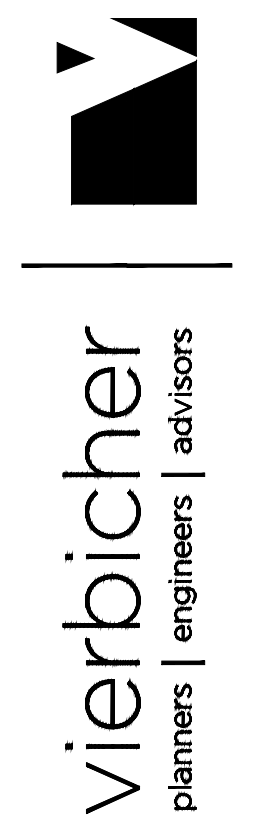
- CONSTRUCTION SITE STABILIZATION- CONSTRUCTION SITE RUNOFF FROM THE DISTURBED AREAS SHALL NOT BE ALLOWED TO ENTER THE BIORETENTION DEVICE. RUNOFF FROM PERVIOUS AREAS SHALL BE DIVERTED FROM THE DEVICE UNTIL THE PERVIOUS AREAS HAVE UNDERGONE FINAL STABILIZATION.
- SUITABLE WEATHER-CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDING WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR SOIL SMEARING, CLUMPING OR OTHER FORMS OF COMPACTION.
- COMPACTION AVOIDANCE- COMPACTION AND SMEARING OF THE SOIL BENEATH THE FLOOR AND SIDE SLOPS OF THE BIORETENTION AREA, AND COMPACTION OF THE SOILS USED FOR BACKFILLING IN THE SOIL PLANTING BED, SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE BIORETENTION DEVICE SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE BIORETENTION DEVICE INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TURF TYPE TIRES, MARSH
- COMPACTION REMEDIATION-IF COMPACTION OCCURS AT THE BASE OF THE BIORETENTION DEVICE, THE SOIL SHALL BE REFRRACTURED TO A DEPTH OF AT LEAST 12 INCHES. IF SMEARING OCCURS, THE SMEARED AREA OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.
- PLACEMENT AND SETTLING OF ENGINEERED SOILS- THE FOLLOWING APPLY:
 - PRIOR TO PLACEMENT IN THE BIORETENTION DEVICE, THE ENGINEERED SOILS SHALL BE PRE-MIXED AND THE MOISTURE CONTENT SHALL BE LOW ENOUGH TO PREVENT CLUMPING AND COMPACTION DURING PLACEMENT.
 - THE ENGINEERED SOIL SHALL BE PLACED IN MULTIPLE LIFTS, EACH APPROXIMATELY 12 INCHES IN DEPTH.
 - STEPS MAY BE TAKEN TO INDUCE MILD SETTLING OF THE ENGINEERED SOIL BED AS NEEDED TO PREPARE A STABLE PLANTING MEDIUM AND TO STABILIZE THE PONDING DEPTH. VIBRATING PLATE-STYLE COMPACTORS SHALL NOT BE USED TO INDUCE SETTLING
- PLANTING- THE ENTIRE SOIL PLANTING BED SHALL BE MULCHED PRIOR TO PLANTING VEGETATION TO HELP PREVENT COMPACTION OF THE PLANTING SOIL DURING THE PLANTING PROCESS. MULCH SHALL BE PUSHED ASIDE FOR THE PLACEMENT OF EACH PLANT.

DESIGNED BY
TTW

DATA FILE
240171.tbt

DATE
09/10/2024

Number	Date	Comments



Green Bay Nursery
Biofilter Details

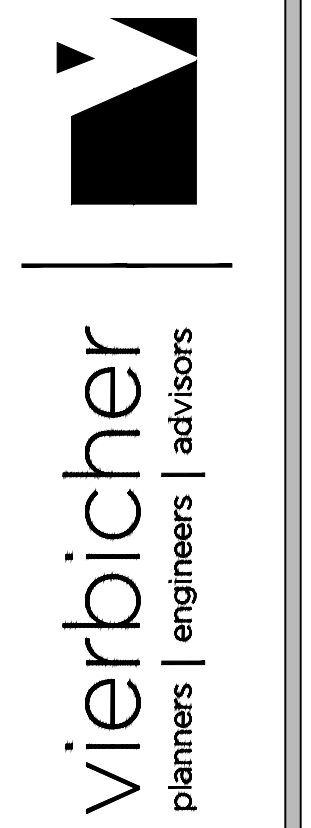
PROJECT NO.
240171

SHEET NO.
C6.0

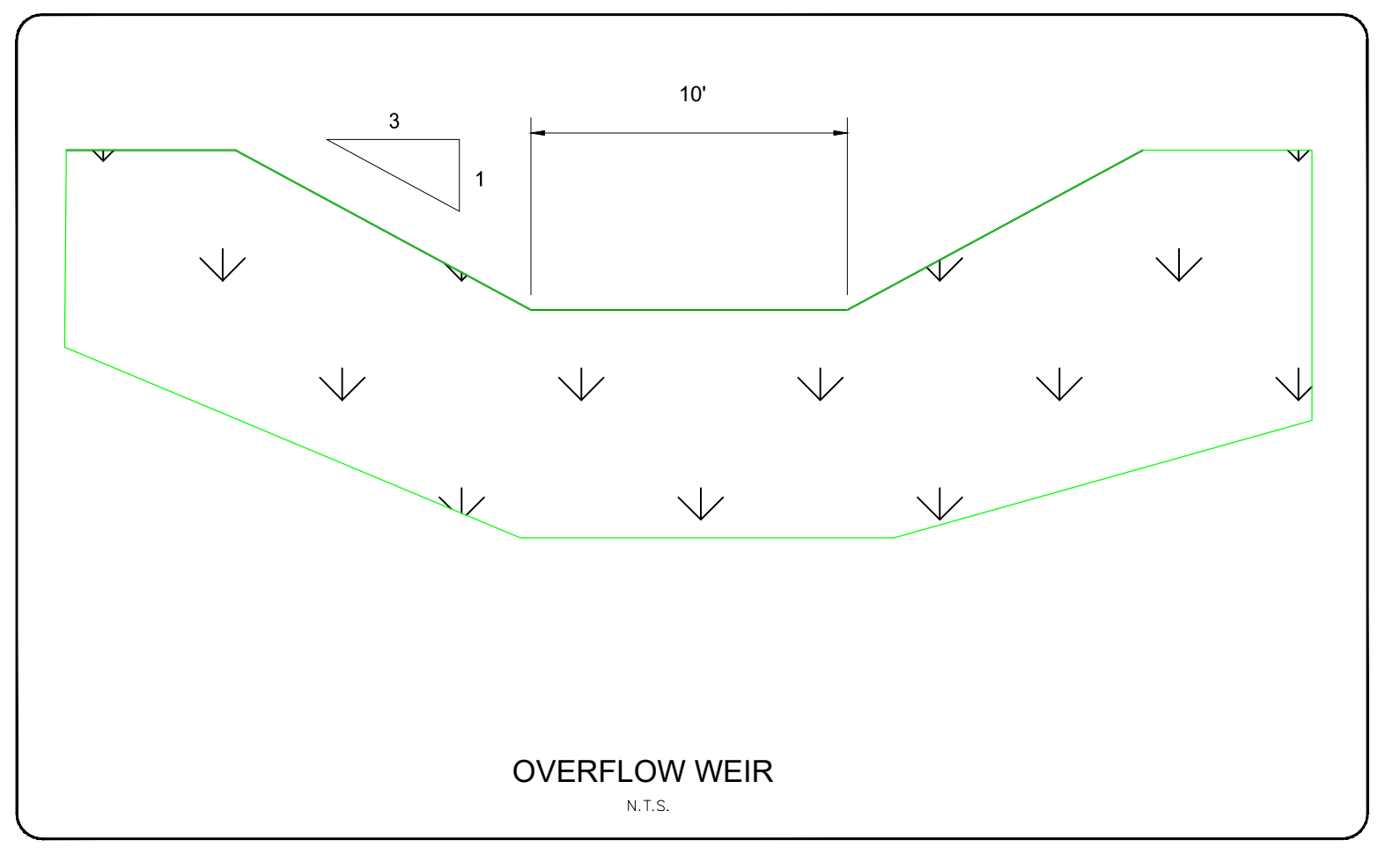
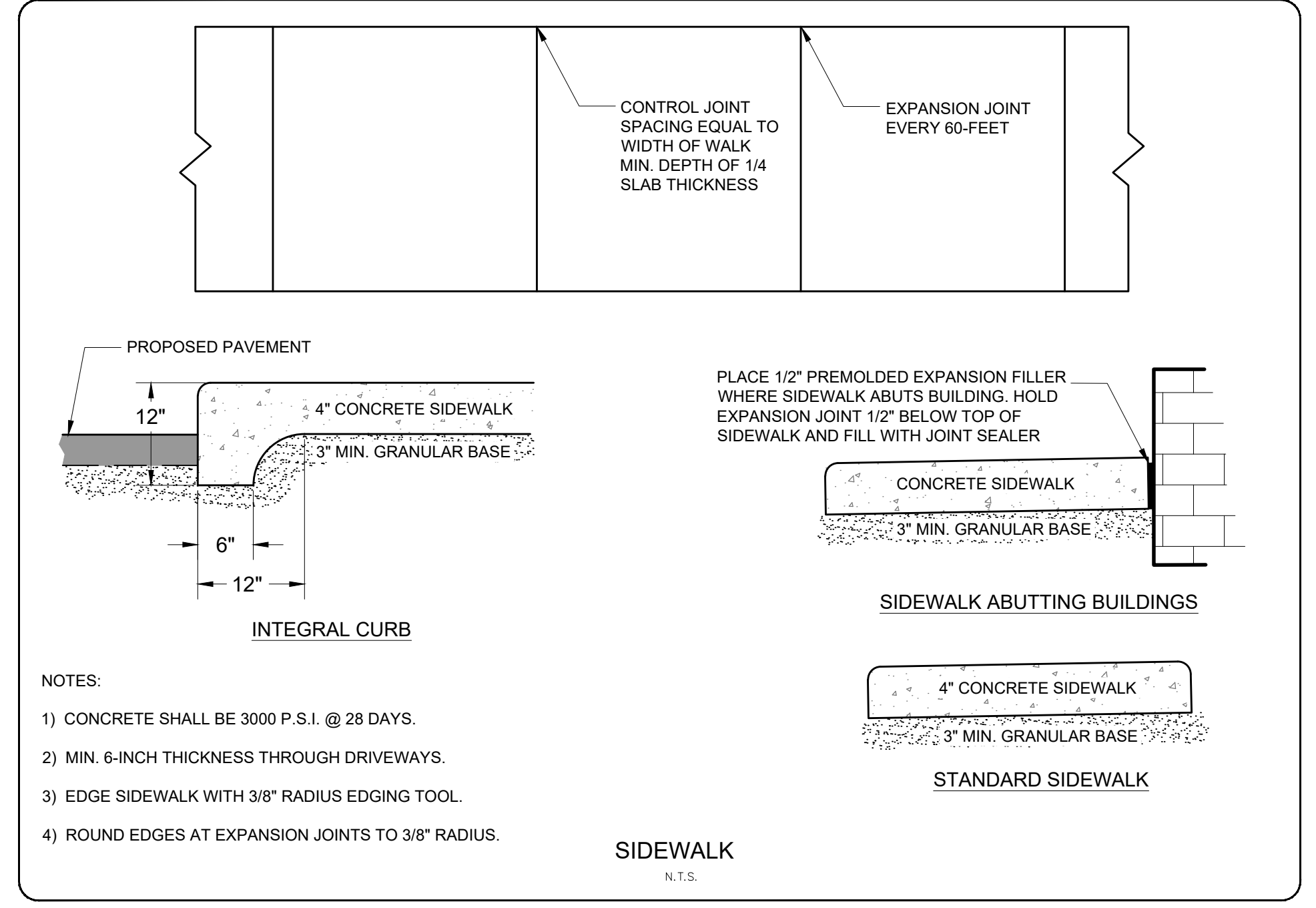
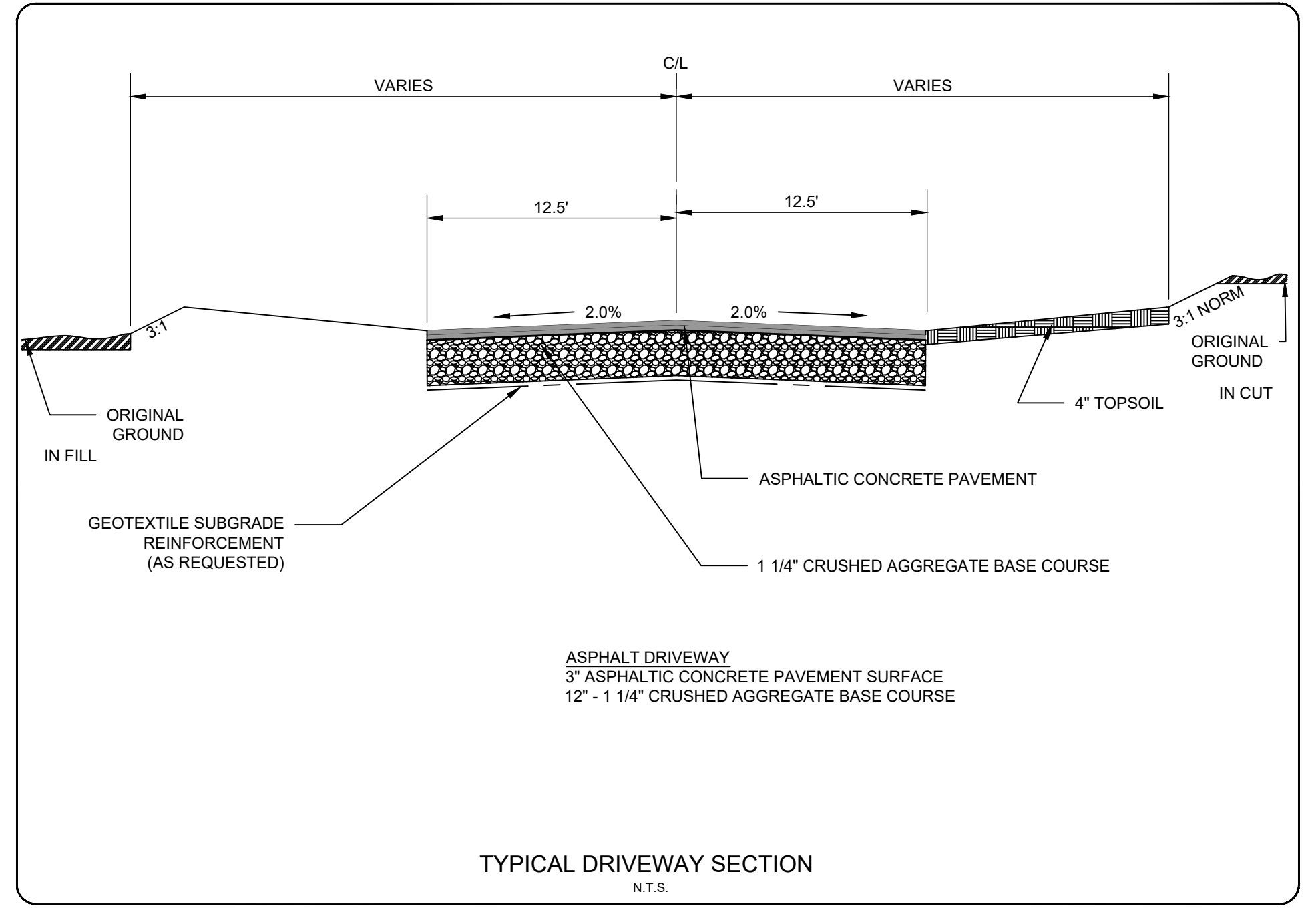
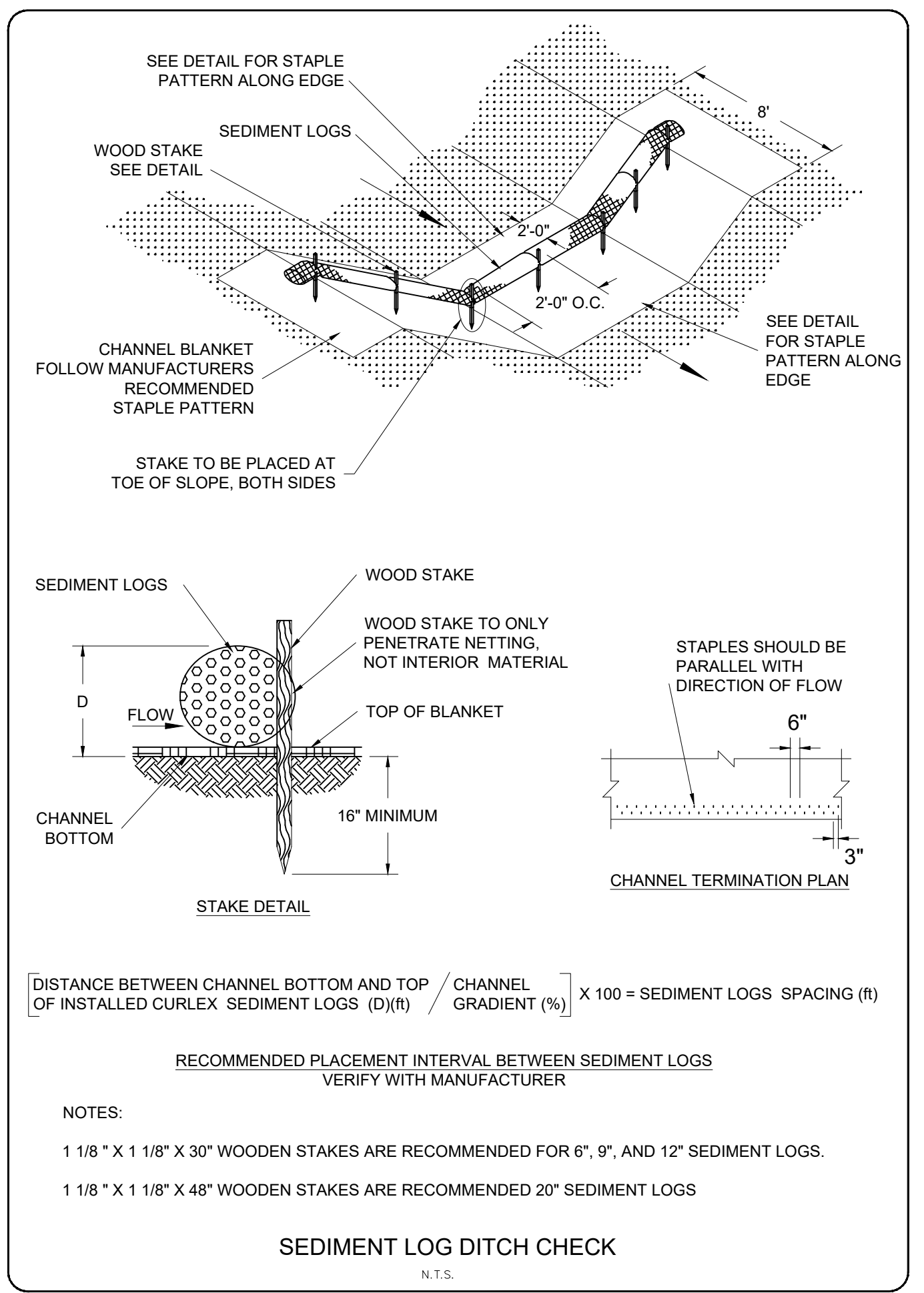
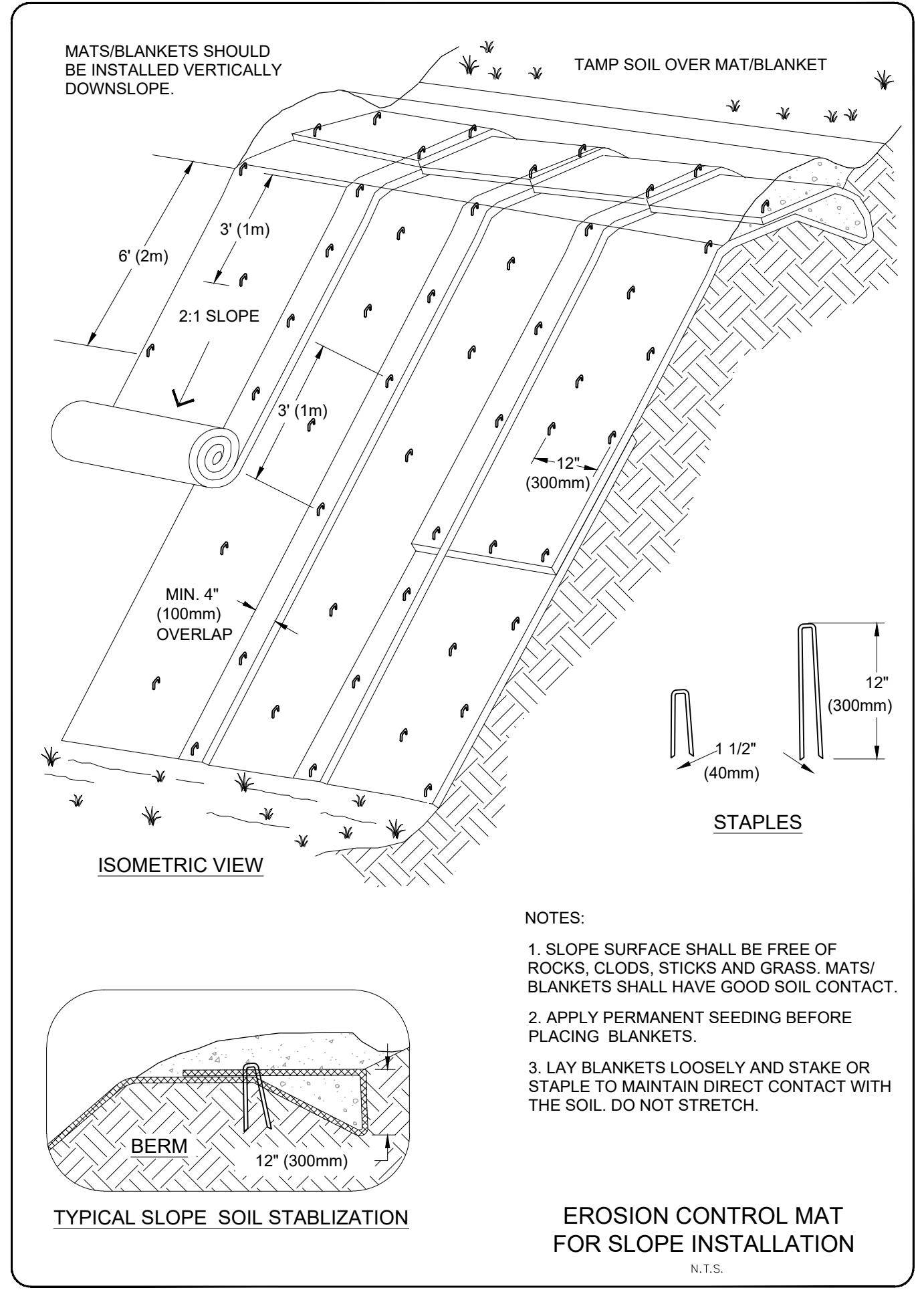
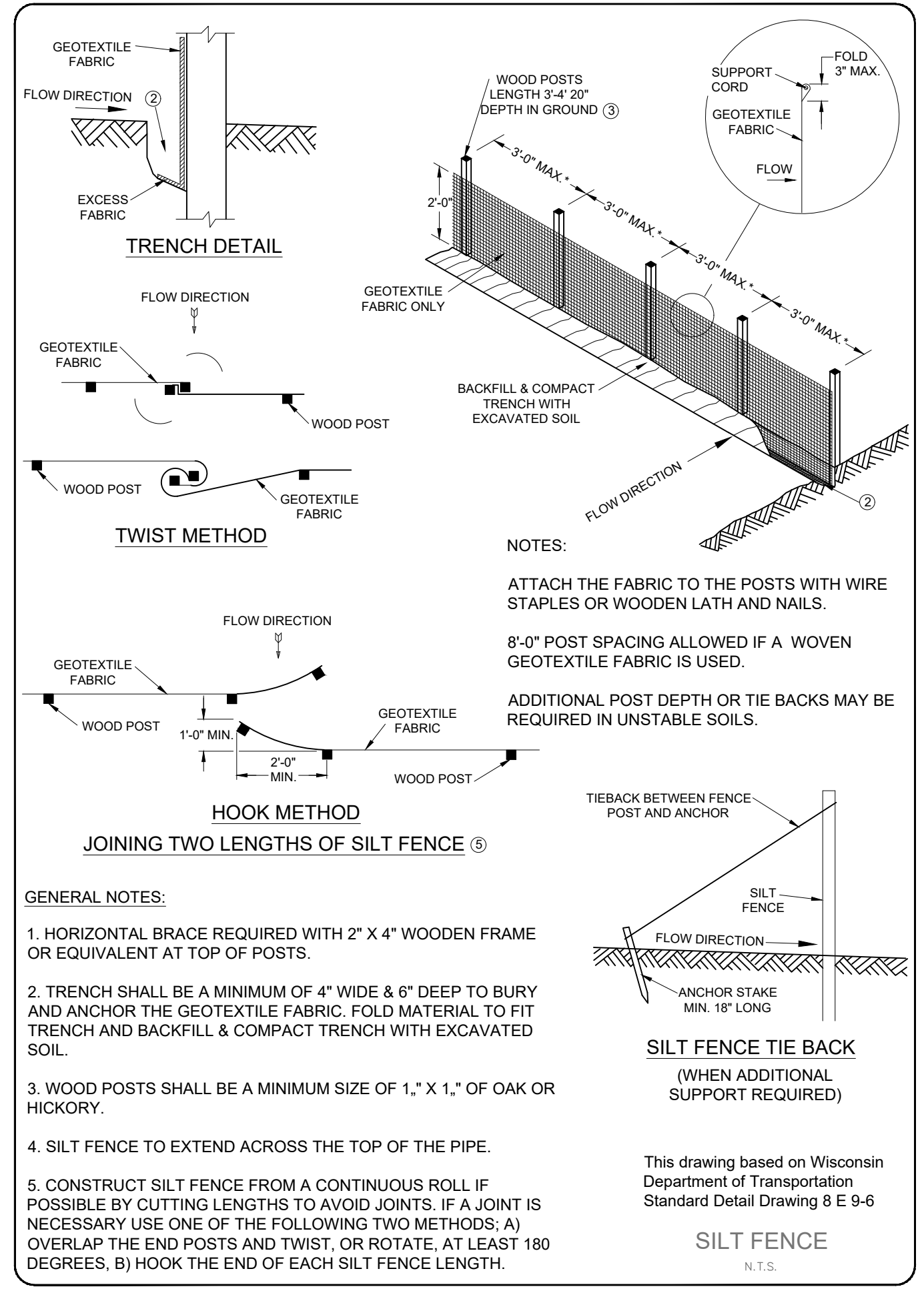
DRAWING NO.
S-3886

File: 240171_Eng_090924.dwg

Number	Date	Comments



**Green Bay Nursery
Construction Details**



CLIENT: GREEN BAY NURSERY

LOCATION: GREEN BAY, WI
DRAWN BY: NICOLE M
SALESPERSON: KELSY H
DATE: 12/27/2023
QUOTE #: 100181
PAGE: 1

REVISION LOG:	INTL	DATE	DESCRIPTION
	NM	12/29/2023	"& LANDSCAPING"

MONUMENT

QUANTITY: 1
SIDES: D/F

DETAILS: SEE PAGE

PHOTO EYE/TIMER: BY ELECTRICIAN
MOUNTING: DIRECT EMBEDMENT

INSTRUCTION: REMOVE & DISPOSE OF EXISTING SIGN.
PRODUCE & INSTALL NEW IN NEW
LOCATION AS SHOWN.

COLORS:

- P-1/C-1 TBD
- P-2 TBD
- P-3 WHITE

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

SIGNATURE _____ DATE _____



LOCATION VIEW (AFTER)
SCALE: 1/4" = 1'



EXISTING VIEW
N.T.S.

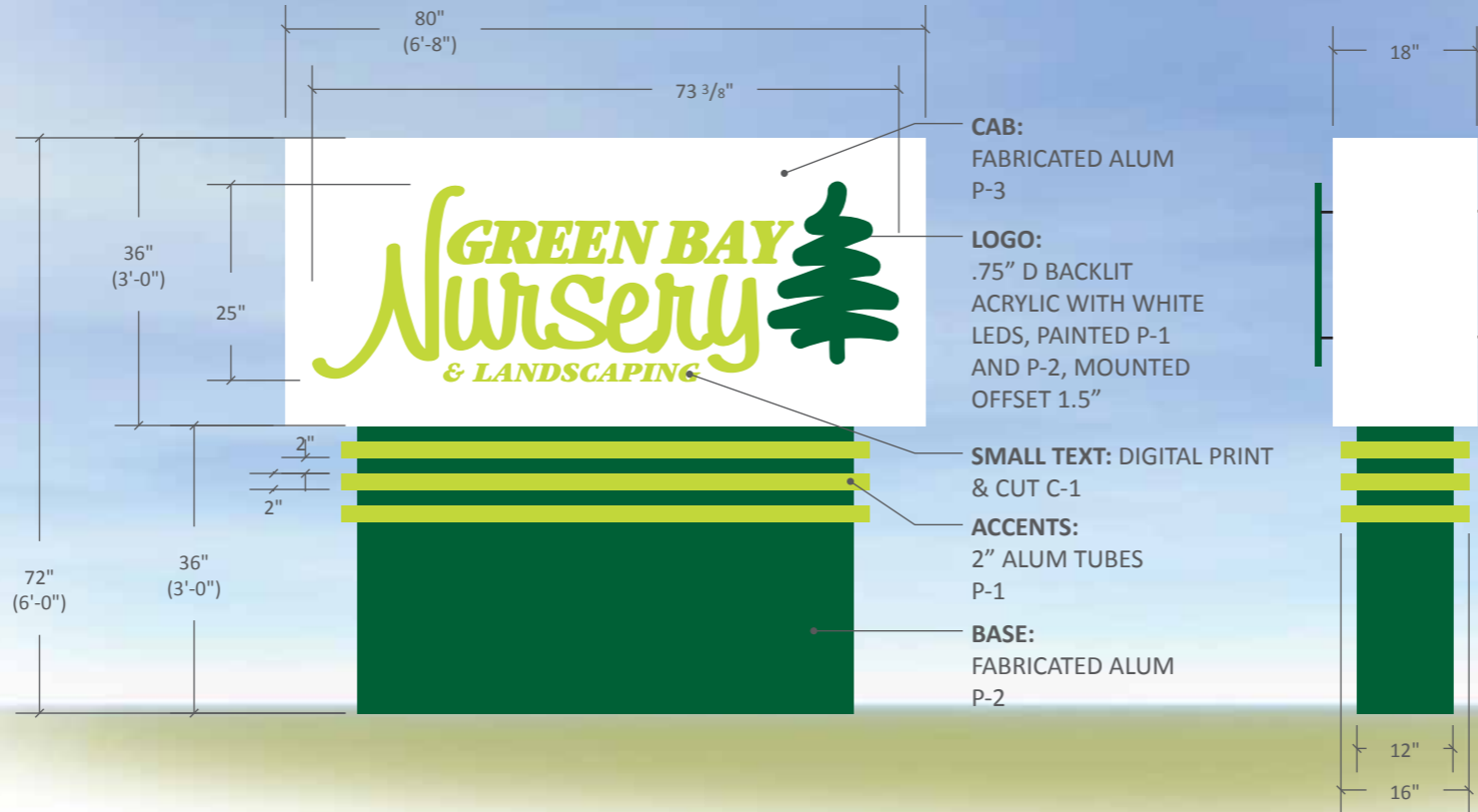


EXISTING SIGN AT OLD SITE - NOT TO BE REUSED AT NEW SITE.

SETBACK REQUIREMENT: 5'



NIGHT VIEW
N.T.S.



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LIT SIGN

THIS SIGN WILL REQUIRE ELECTRICAL HOOK UP. CUSTOMER IS REQUIRED TO SCHEDULE A LICENSED ELECTRICIAN TO RUN POWER TO THE SIGN AND DO FINAL HOOK UP. TALK TO YOUR SIGN CONSULTANT IF:

- YOU WOULD LIKE CREATIVE SIGN TO COORDINATE YOUR ELECTRICAL
- YOU HAVE ANY QUESTIONS REGARDING THE POWER REQUIREMENTS FOR YOUR SIGNAGE.



LOGO COLORS

505 LAWRENCE DR, DE PERE, WI 54115
920.336.8900 CREATIVESIGNCOMPANY.COM

CLIENT: GREEN BAY NURSERY

LOCATION: GREEN BAY, WI
DRAWN BY: NICOLE M
SALESPERSON: KELSY H
DATE: 12/27/2023
QUOTE #: 100181
PAGE: 2

REVISION LOG:	INTL	DATE	DESCRIPTION
	NM	12/29/2023	"& LANDSCAPING"

MONUMENT

QUANTITY: 1
SIDES: D/F

DETAILS: SEE PAGE

PHOTO EYE/TIMER: BY ELECTRICIAN
MOUNTING: DIRECT EMBEDMENT

INSTRUCTION: REMOVE & DISPOSE OF EXISTING SIGN.
PRODUCE & INSTALL NEW IN NEW
LOCATION AS SHOWN.

COLORS:

- C-1 TBD
- P-2/C-2 TBD
- P-3 WHITE

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

SIGNATURE _____ DATE _____



LOCATION VIEW (AFTER)
SCALE: 1/4" = 1'

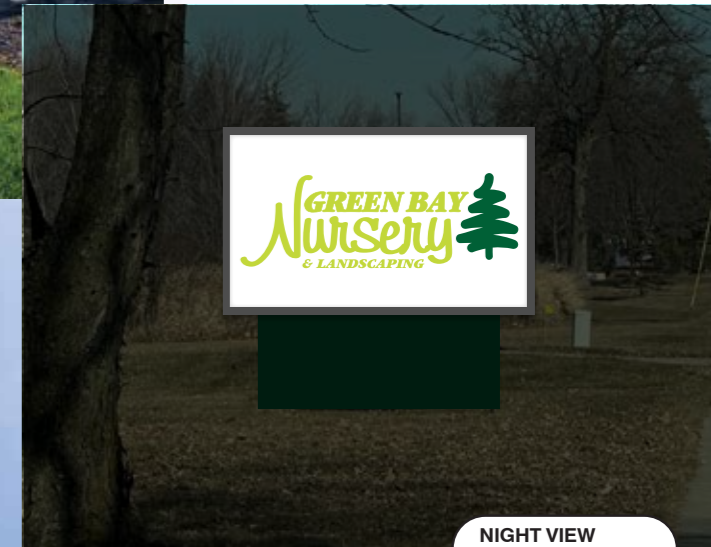


EXISTING VIEW
N.T.S.



EXISTING SIGN AT OLD SITE - NOT TO BE REUSED AT NEW SITE.

SETBACK REQUIREMENT: 5'



NIGHT VIEW
N.T.S.

DETAIL VIEW
SCALE: 1/2" = 1'



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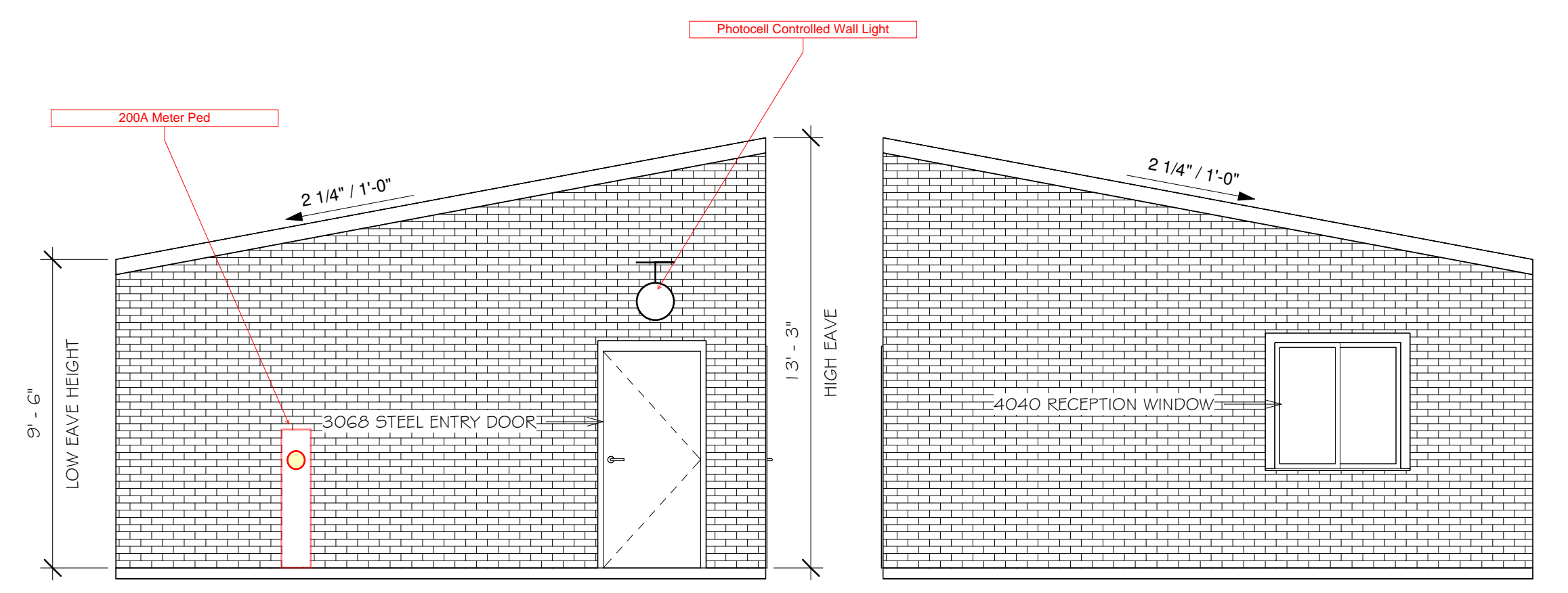
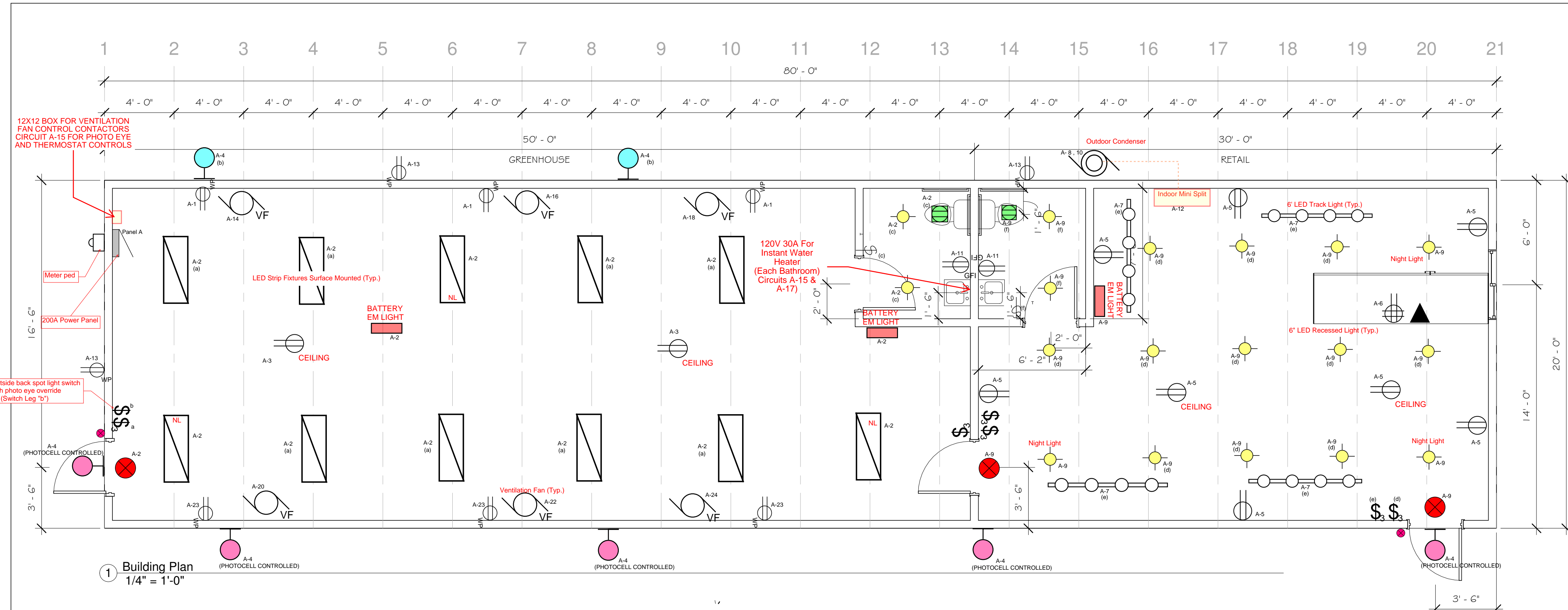
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- YOU WOULD LIKE CREATIVE SIGN TO COORDINATE YOUR ELECTRICAL
- YOU HAVE ANY QUESTIONS REGARDING THE POWER REQUIREMENTS FOR YOUR SIGNAGE.



LOGO COLORS



Light Fixtures

Description	Quantity	Unit
Battery EM Light	3	Count
Exhaust Fan	2	Count
Exit Light With Egress Heads	3	Count
Exterior Egress Light	2	Count
Recessed LED Can Light	18	Count
Standard Wallpack Photo Cell Controlled	5	Count
Track light	4	Count
Wall Pack Flood Light (Switch Controlled)	2	Count

Devices & Equipment

Description	Quantity	Unit
Ceiling Outlet	4	Count
Data outlet Location	1	Count
Duplex Outlet, GFI	2	Count
Duplex Outlet	6	Count
Duplex Outlet, WP	9	Count
Mini Split Indoor Unit	1	Count
Outdoor Condenser Unit	1	Count
Power Vent Fan	6	Count
Quadplex Outlet	1	Count
Single Pole Switch	1	Count
Switch, timer	2	Count
Three Way Switch	6	Count

OWNER/ SALESMAN SIGNATURE _____

OWNER: _____

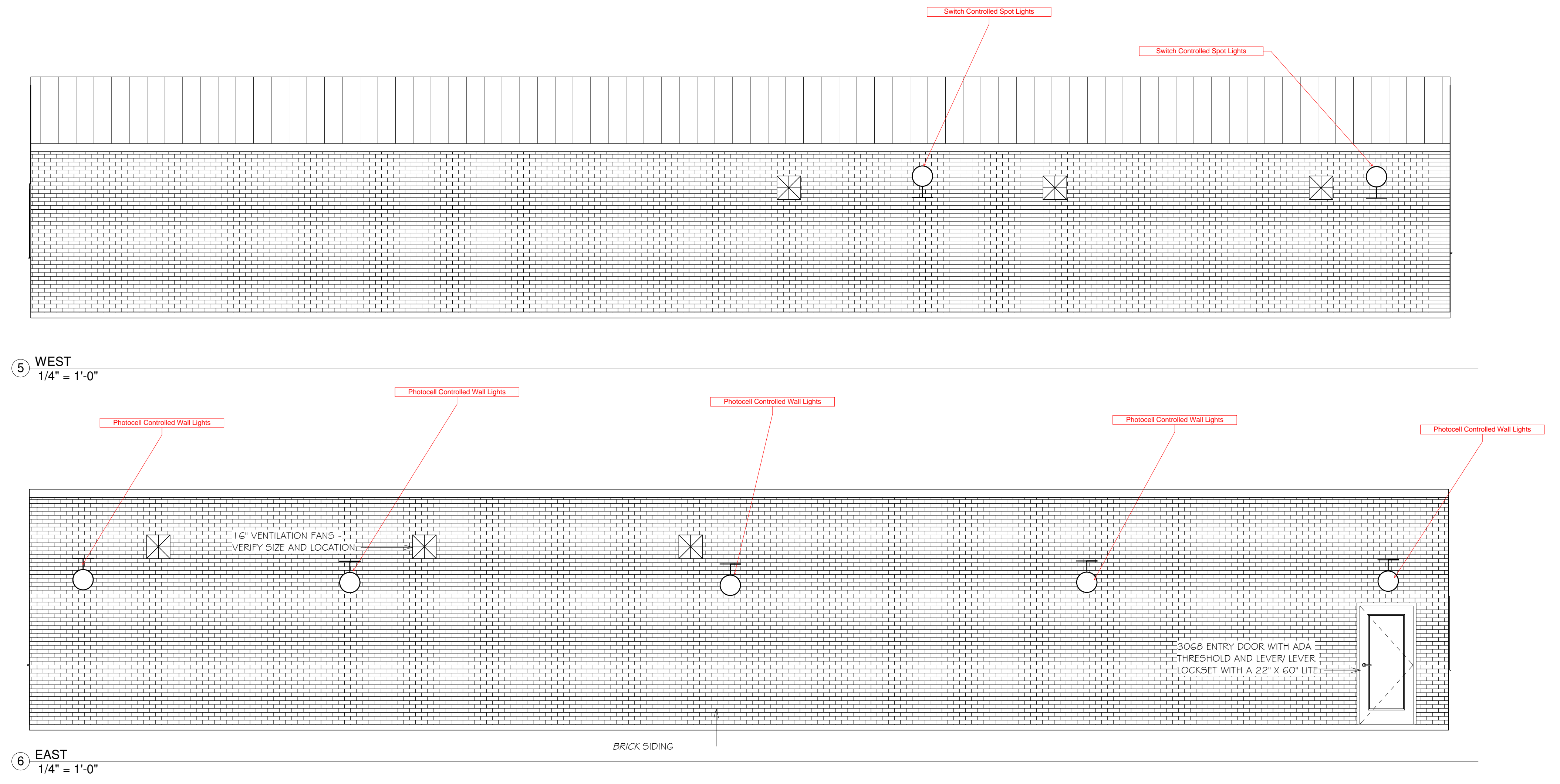
SALESMAN: _____

DATE: _____

PROPOSED ELECTRICAL LAYOUT

PRELIMINARY PLAN

NOT FOR CONSTRUCTION

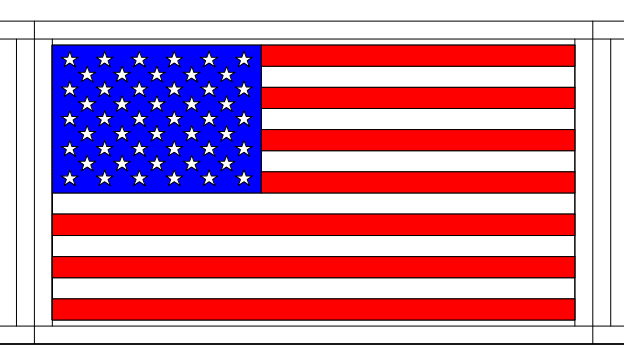


DRAWN BY: JVL	REVISED ON - AMC	NAME: GBN GREENHOUSE
DATE: 9-4-24	REVISED ON:	PROJECT LOCATION: DE PERE, WI
SCALE: As indicated	REVISED ON:	SHEET DESCRIPTION: ELECTRICAL LAYOUT

ADDITIONAL NOTES:

VDH ELECTRIC, Inc.
3080 Holmgren Way · Green Bay, WI 54304

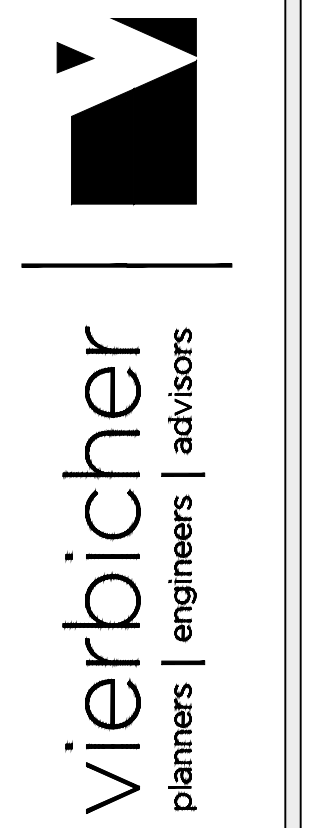
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FOREST CONSTRUCTION CO., INC.
106 PRAIRIE LANE
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LUXEMBURG, WI 54217
TOLL FREE: 800-242-8085
OFFICE: 920-845-2382
FAX: 920-845-5002
EMAIL: INFO@FORESTBUILDINGS.COM
WEB: WWW.FORESTBUILDINGS.COM

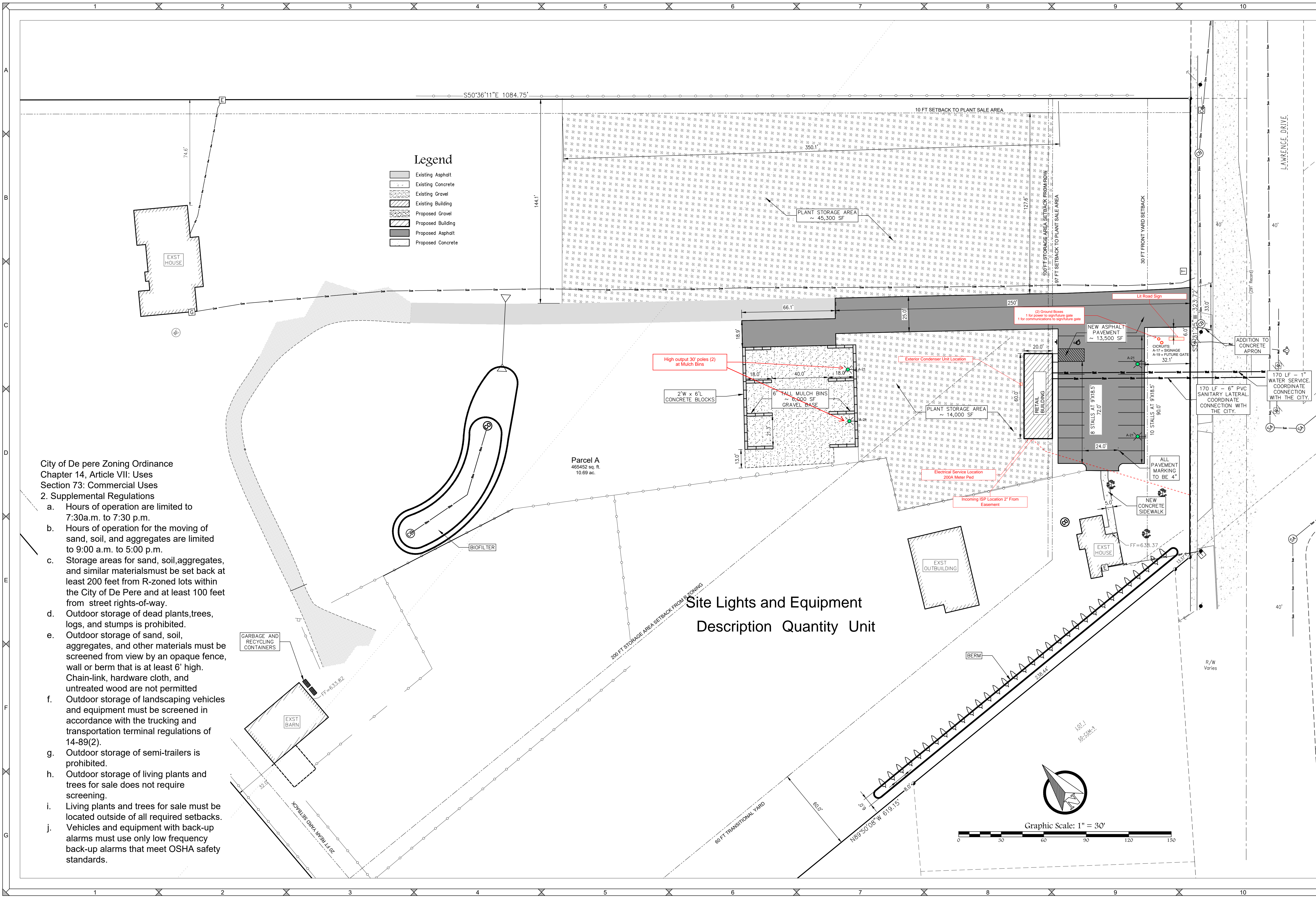
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Number	Date	Comments



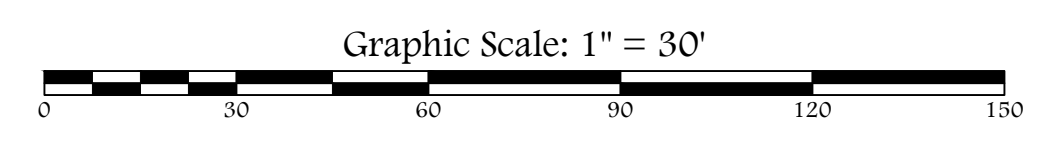
Green Bay Nursery Site Layout Plan

PROJECT NO.
240171
SHEET NO.
C4.0
DRAWING NO.
S-3886



- City of De Pere Zoning Ordinance
Chapter 14, Article VII: Uses
Section 73: Commercial Uses
2. Supplemental Regulations
- Hours of operation are limited to 7:30 a.m. to 7:30 p.m.
 - Hours of operation for the moving of sand, soil, and aggregates are limited to 9:00 a.m. to 5:00 p.m.
 - Storage areas for sand, soil, aggregates, and similar materials must be set back at least 200 feet from R-zoned lots within the City of De Pere and at least 100 feet from street rights-of-way.
 - Outdoor storage of dead plants, trees, logs, and stumps is prohibited.
 - Outdoor storage of sand, soil, aggregates, and other materials must be screened from view by an opaque fence, wall or berm that is at least 6' high. Chain-link, hardware cloth, and untreated wood are not permitted.
 - Outdoor storage of landscaping vehicles and equipment must be screened in accordance with the trucking and transportation terminal regulations of 14-89(2).
 - Outdoor storage of semi-trailers is prohibited.
 - Outdoor storage of living plants and trees for sale does not require screening.
 - Living plants and trees for sale must be located outside of all required setbacks. Vehicles and equipment with back-up alarms must use only low frequency back-up alarms that meet OSHA safety standards.

Site Lights and Equipment Description Quantity Unit

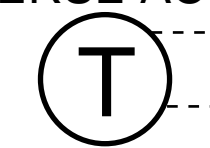


File: 240171_Eng_042324.dwg

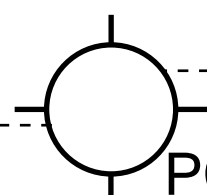
PANEL-A			208/120 VOLTS	
Main Service Panel			200 AMP	
CKT #	Circuit Description	Breaker size/Type	Circuit Description	CKT #
1	EAST GREEN HOUSE RECEPTACLES	20/1 20/1	GREENHOUSE INTERIOR LIGHTS	2
3	CEILING GREENHOUSE RECEPTACLES	20/1 20/1	EXTERIOR LIGHTS	4
5	RETAIL CONVENIENCE OUTLETS	20/1 20/1	RETAIL POS OUTLETS	6
7	RETAIL TRACK LIGHTING	20/1	OUTDOOR CONDENSER UNIT	8
9	RETAIL RECESSED DOWNLIGHTING	20/1		10
11	BATHROOM GFI RECEPTACLES	20/1 20/1	INDOOR FAN UNIT	12
13	EXTERIOR OUTLETS	20/1 20/1	VENTILATION FAN	14
15	PHOTOEYE / THERMOSTAT CONTROL FOR VENTILATION FANS	20/1 20/1	VENTILATION FAN	16
17	ROAD SIGNAGE	20/1 20/1	VENTILATION FAN	18
19	FUTURE GATE CONTROLS	20/1 20/1	VENTILATION FAN	20
21	EXTERIOR POLE LIGHTS	20/1 20/1	VENTILATION FAN	22
23	WEST GREENHOUSE RECEPTACLES	20/1		24
25				26
27				28
29				30
31				32
33				34
35				36
37				38
39				40
41				42

1 E3.0 PANEL SCHEDULE

INTERIOR VENTILATION THERMOSTAT (REVERSE ACTING)



EXTERIOR LIGHTS PHOTOCELL



A-4 (b)

- A-14
- A-16
- A-18
- A-20
- A-22
- A-24

- A-17 Road Signage
- A-21 Pole Lights
- A-4 Exterior Building Light

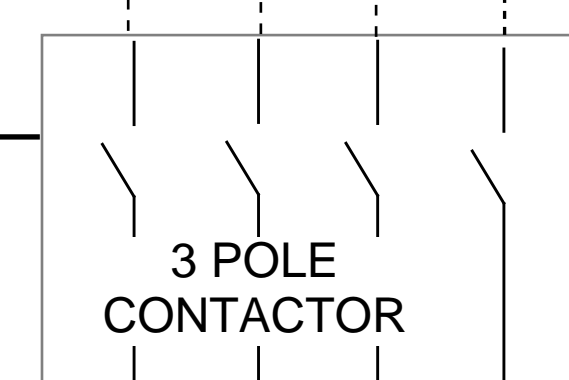
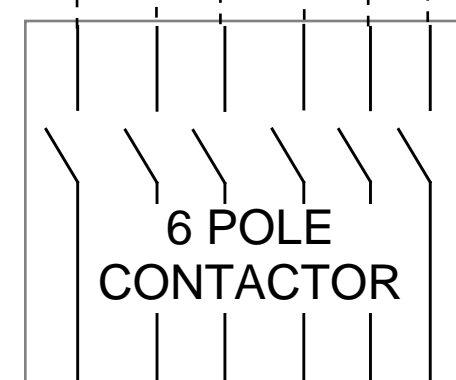
Back spot lights override auto/on switch (b)



Back Spot Lights

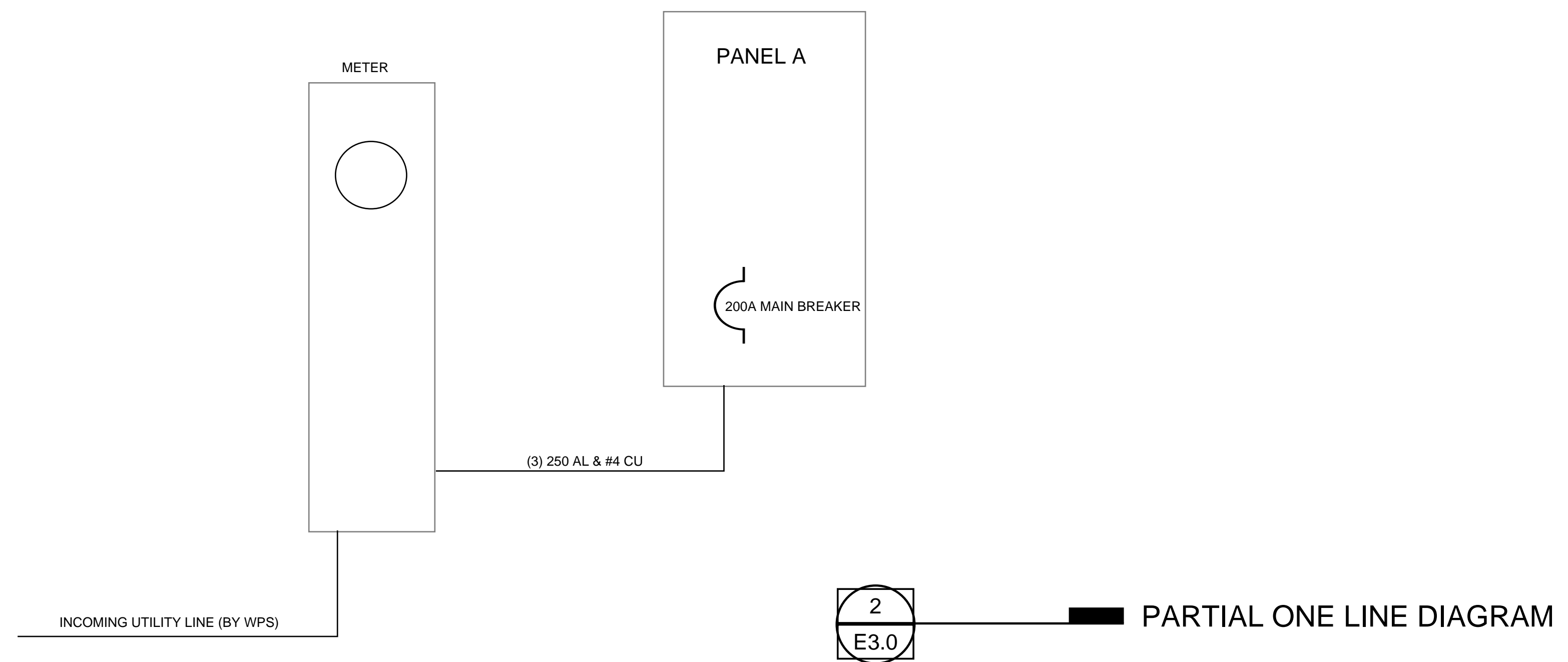
Building Mounted Wallpack Lights

Pole Lights



Road Sign

3 E3.0 Control Details



General Notes
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RECORD DRAWINGS

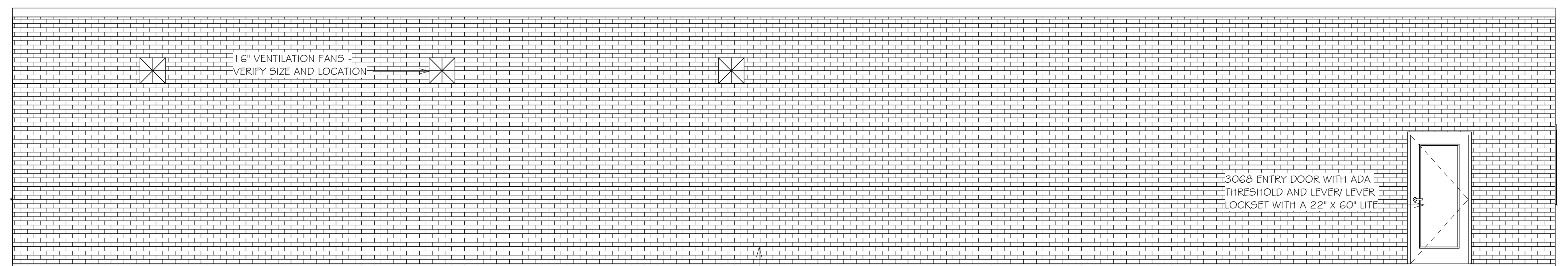
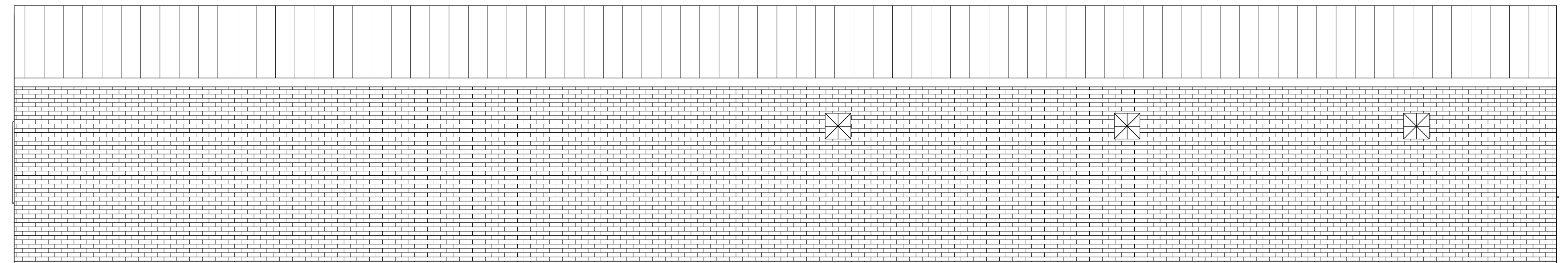
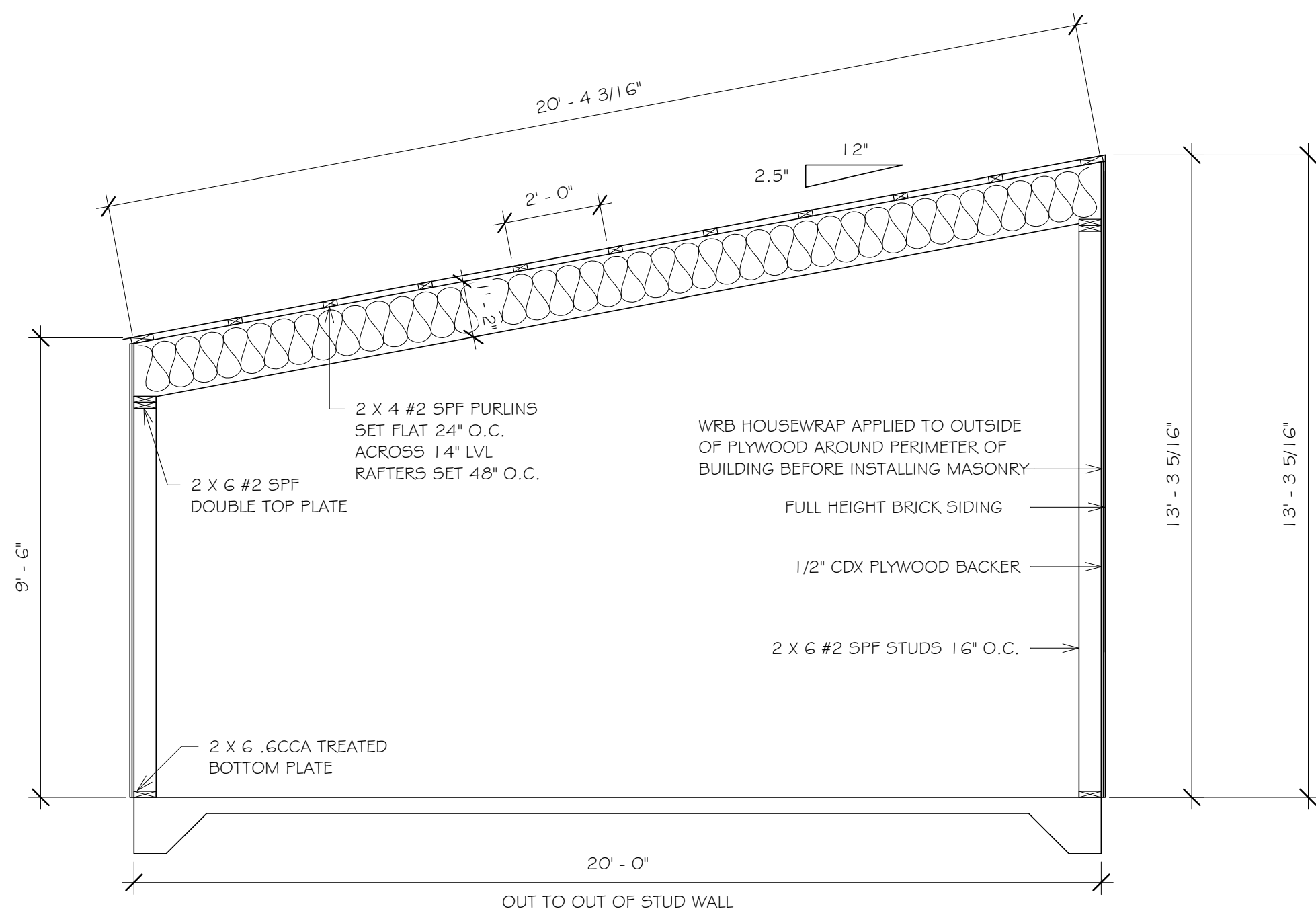
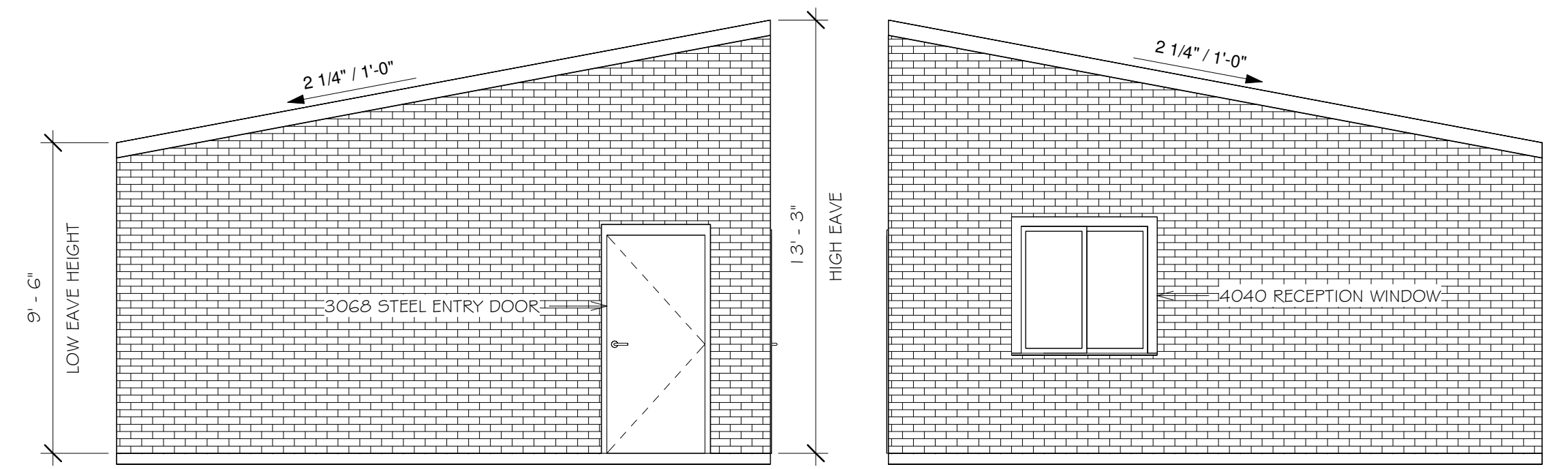
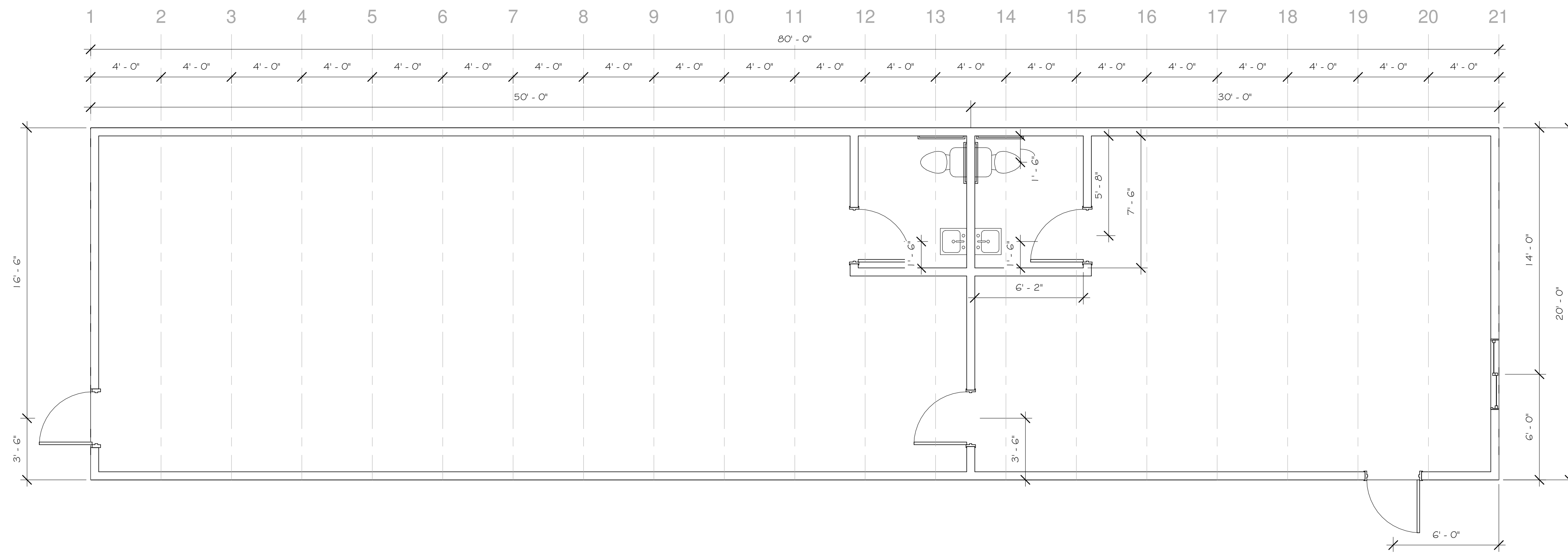
PROGRESS DOCUMENTS
These drawings and documents reflect progress and are subject to change. They shall not be used for final bidding or construction purposes and are for reference only.

No.	Revision/Issue	Date
-----	----------------	------

VDH ELECTRIC, Inc.
3080 Holmgren Way · Green Bay, WI 54304

Project
GREEN BAY NURSERY

Drawn By JACE	Project Manager JACE
Scale N/A	Date 9-5-24
Job Number	Sheet E3.0

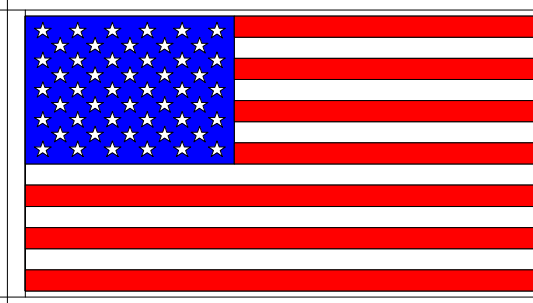


PRELIMINARY PLAN
NOT FOR CONSTRUCTION

DRAWN BY: CJN	REVISED ON: - AMC	NAME: BGN GREENHOUSE
DATE: 8/20/2024	REVISED ON:	PROJECT LOCATION: DE PERE, WI
SCALE: As indicated	REVISED ON:	SHEET DESCRIPTION: Floor Plan - Elevations & Details

ADDITIONAL NOTES:

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FOREST
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