



# Planning/Zoning Application

Planning & Zoning Department

**Submitted On:**

Sep 12, 2024, 10:42AM EDT

<b>Parcel Number: (Include ALL parcels)</b>	ED-F0094-1
<b>Nearest property address to the project site:</b>	<b>Street Address:</b> 675 HERITAGE RD <b>City:</b> De Pere <b>State:</b> W <b>Zip:</b> 54114
<b>Check each project type that is being applied for:</b>	Site Plan
<b>Current De Pere Zoning Districts:</b>	BP-2
<b>Existing Site Land Uses:</b>	Business Park/Industrial
<b>Proposed Site Land Uses:</b>	Business Park/Industrial
<b>Does the project comply with the Comprehensive Plan?</b>	Yes
<b>Has City Staff been contacted for a preapplication meeting?</b>	Yes
<b>Property Owner:</b>	<b>First Name:</b> Karl <b>Last Name:</b> Schmidt
<b>Is the property owner's address the same as the nearest property address?</b>	No
<b>Property Owner's Address:</b>	<b>Street Address:</b> 600 Heritage Road <b>City:</b> De Pere <b>State:</b> W <b>Zip:</b> 54115
<b>Property Owner's Phone Number:</b>	9203300764
<b>Property Owner's Email Address:</b>	karl.schmidt@belmark.com
<b>Is someone processing the project for the property owner as their authorized representative?</b>	Yes
<b>Authorized Representative's Name:</b>	<b>First Name:</b> Carolyn <b>Last Name:</b> Adler
<b>Authorized Representative's Business Name:</b>	McMahon Associates

<b>Authorized Representative's Phone Number:</b>	9207514200
<b>Authorized Representative's Email Address:</b>	cadler@mcmgrp.com
<b>Please attach a PDF copy of the site plan.</b>	2024-09-11 Belmark Plant 5 Parking Lot Addition.pdf 2024-09 Plant 5 Parking Lot Addition SWMP.pdf 2024-09 Plant 5 Parking Lot Addition O_M Plan.pdf
<b>Would you like a basic checklist of information to include in the site plan?</b>	No
<b>How do you plan on paying for your application?</b>	Online with a credit card
<b>Total Due:</b>	\$350.00
<b>Signature Data</b>	First Name: Carolyn Last Name: Adler Email Address: cadler@mcmgrp.com    Signed at: September 12, 2024 9:59am America/New_York
<b>User's Session Information</b>	IP Address: 67.53.157.66 Referrer URL:

# CITY OF DE PERE

335 South Broadway, De Pere, WI 54115 | [www.de-pere.org](http://www.de-pere.org)



October 17, 2024

Carolyn Adler  
McMahon Associates  
1455 McMahon DR  
Neenah, WI 54956

RE: Site Plan Review for the Belmark Plant 5 Parking Lot Addition at 675 Heritage RD  
(Parcel ED-F0094-1)

Dear Carolyn:

Thank you for the revised site plan for the Belmark Plant 5 Parking Lot Addition at 675 Heritage RD. The City of De Pere staff reviewed the site plan on October 17, 2024, and recommended approval with the following condition that must be addressed prior to obtaining occupancy permits.

- After the exterior lighting is installed, provide a statement from the installer that the light spill from the property does not exceed the approved photometric plan.
- After the exterior landscaping is installed, provide a statement from the installer that the landscaping complies with the site plan approved landscaping plan.

You may now proceed to the Inspection Division to begin the process of obtaining permits. Should you have any questions regarding the decision or require further information, feel free to contact me at 339-4043 or [pschleinz@deperewi.gov](mailto:pschleinz@deperewi.gov).

Sincerely,

A handwritten signature in black ink that reads "Peter Schlein". The signature is written in a cursive style with a long, sweeping tail that extends to the right.

Peter Schlein  
Senior Planner | Zoning Administrator

cc: Daniel J. Lindstrom, AICP, Development Services Director  
Dennis Jensen, Senior Building Inspector



# Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin

WDNR Version 2.0 (06-29-2017)



YEAR 1

Developer: BELMARK

Project: BELMARK PLANT 5 PARKING LOT ADDITION

Date: 09/10/24

County: Brown

Version 1.0

Activity (1)	Begin Date (2)	End Date (3)	Period % R (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (t/ac) (15)
Bare Ground	09/30/24	11/15/24	7.1%	100	Silt Loam	0.43	6.9%	138	0.95	1.00	2.9	0.874	Silt Fence	1.5
Mulch or Erosion Mat	11/15/24	11/30/24	0.9%	100	Silt Loam	0.43	13.0%	42	1.34	0.20	0.1	0.682	Silt Fence	0.0
End	11/30/24	----	----	----	-----	----	13.0%	42	1.34	-----	----	0.000		0.0
		----	----	----	-----	----	13.0%	42	1.34	-----	----	0.000		0.0
		----	----	----	-----	----	13.0%	0	----	-----	----	0.000		0.0
		----	----	----	-----	----	0.0%	0	----	-----	----	0.000		0.0
<b>TOTAL</b>											<b>3.0</b>		<b>TOTAL</b>	<b>1.6</b>
													<b>% Reduction Required</b>	<b>NONE</b>

**Notes:**

See Help Page for further descriptions of variables and items in drop-down boxes.  
 The last land disturbing activity on each sheet must be 'End'. This is either 12 months from the start of construction or final stabilization.  
 For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

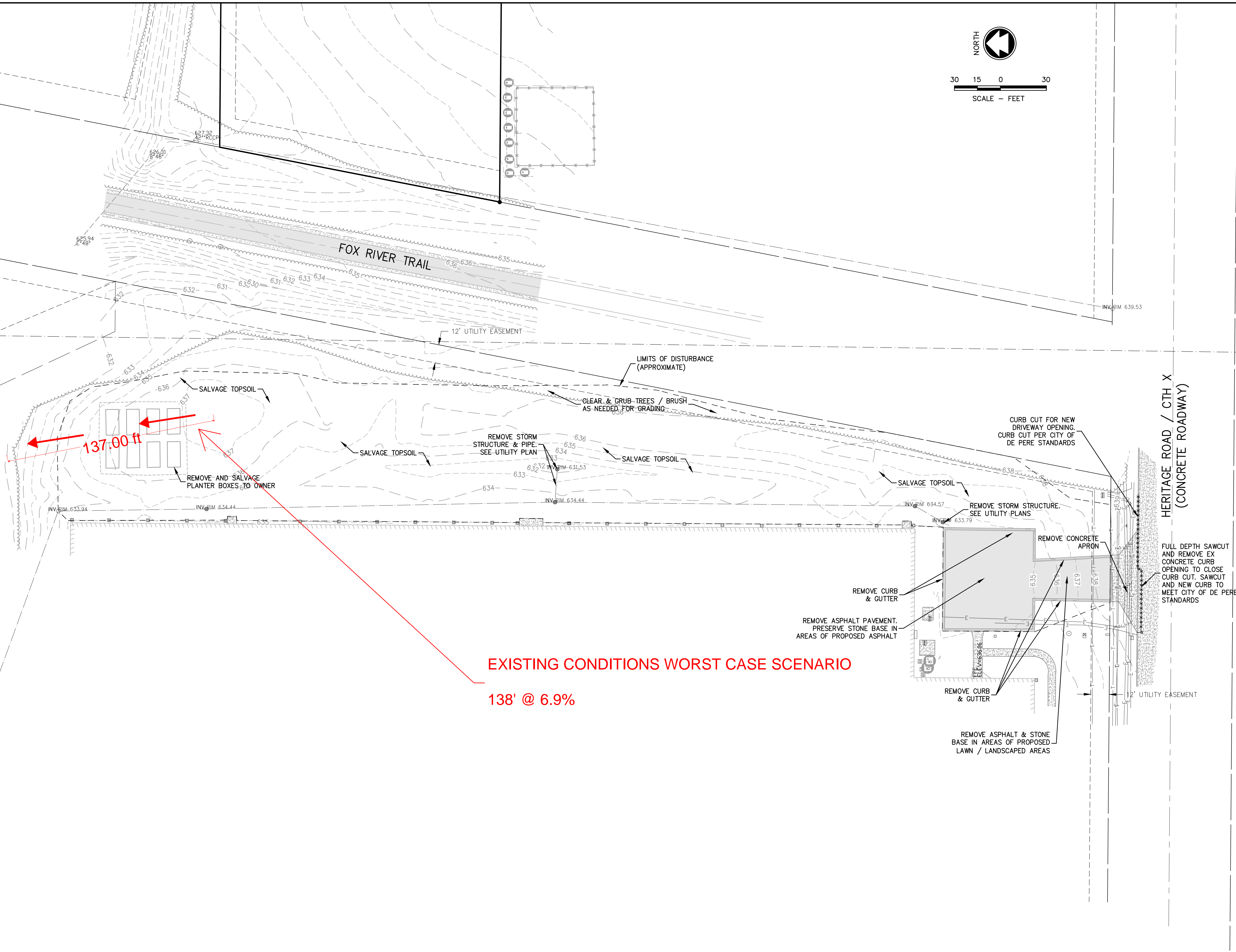
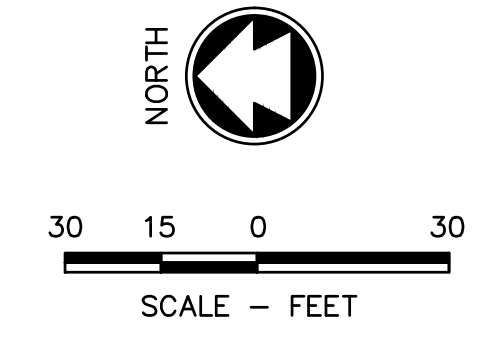
NOTE: THIS TOOL ONLY ADDRESSED SOIL EROSION DUE TO SHEET FLOW. MEASURES TO CONTROL CHANNEL EROSION MAY ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

**Recommended Permanent Seeding Dates:**

4/15-6/1 and 8/1-8/21 Turf, introduced grasses and legumes  
 Thaw-6/30 Native Grasses, forbs, and legumes

Designed By:	Carolyn Adler
Date	9/10/2024

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Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
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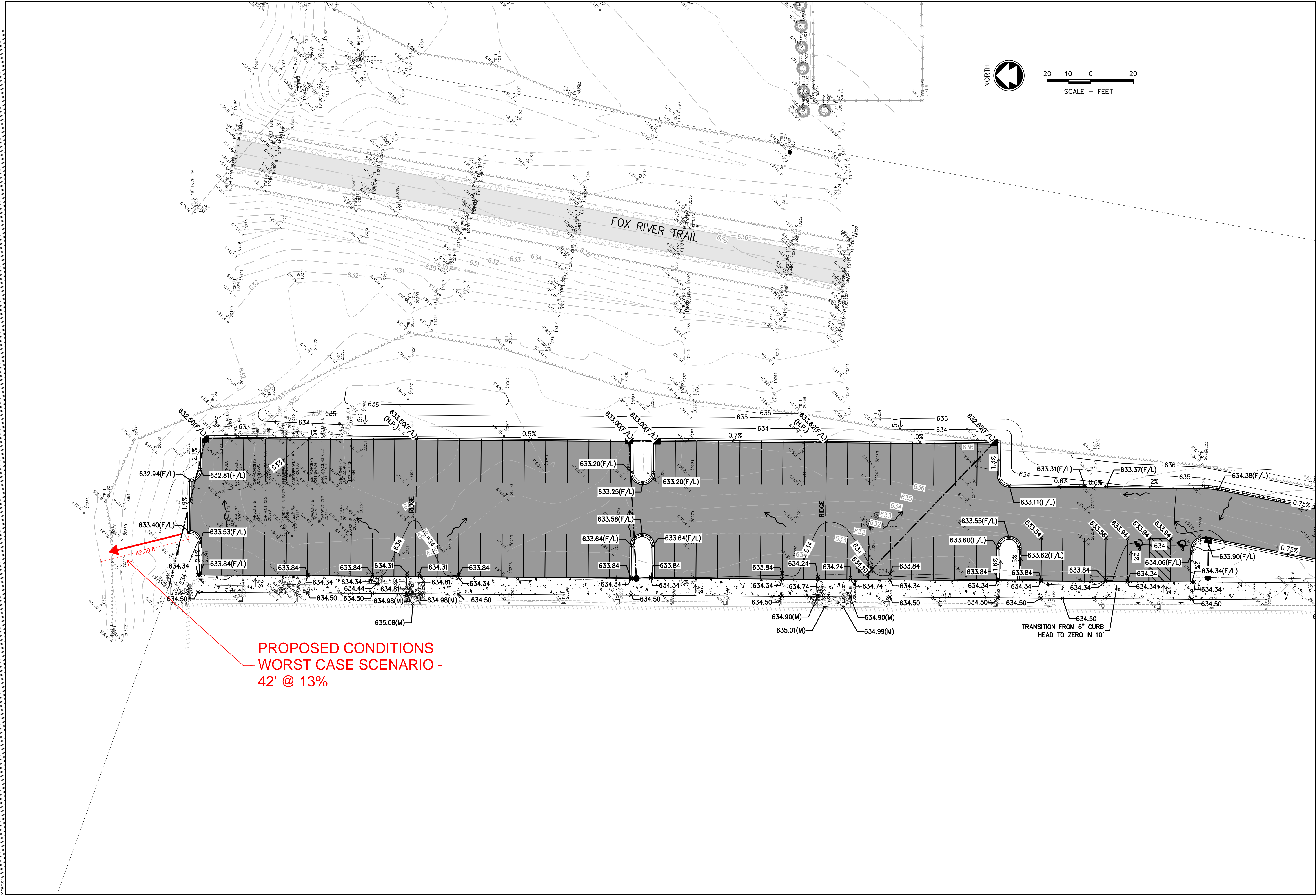
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NO.	DATE	REVISION

**BELMARK PLANT 5 PARKING LOT ADDITION**  
**CITY OF DE PERE, BROWN COUNTY, WI**  
**EXISTING CONDITIONS & DEMOLITION PLAN**

DESIGNED RJV	DRAWN CKA
PROJECT NO. B0039-09-24-00600	
DATE 9-9-24	
SHEET NO. <b>03</b>	

codler, w:\PROJECTS\B0039\09240660\CADD\Civil3D\Plan Sheets\With Curb Islands\GRADING AND UTILITY PLAN.dwg, 06 grading plan, Plot Date: 10/9/2024, 2:01 PM.



20 10 0 20  
SCALE - FEET

**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**GRADING PLAN**

DESIGNED R JW	DRAWN C KA
PROJECT NO. B0039-09-24-00600	
DATE 9/19/24	
SHEET NO. <b>06</b>	

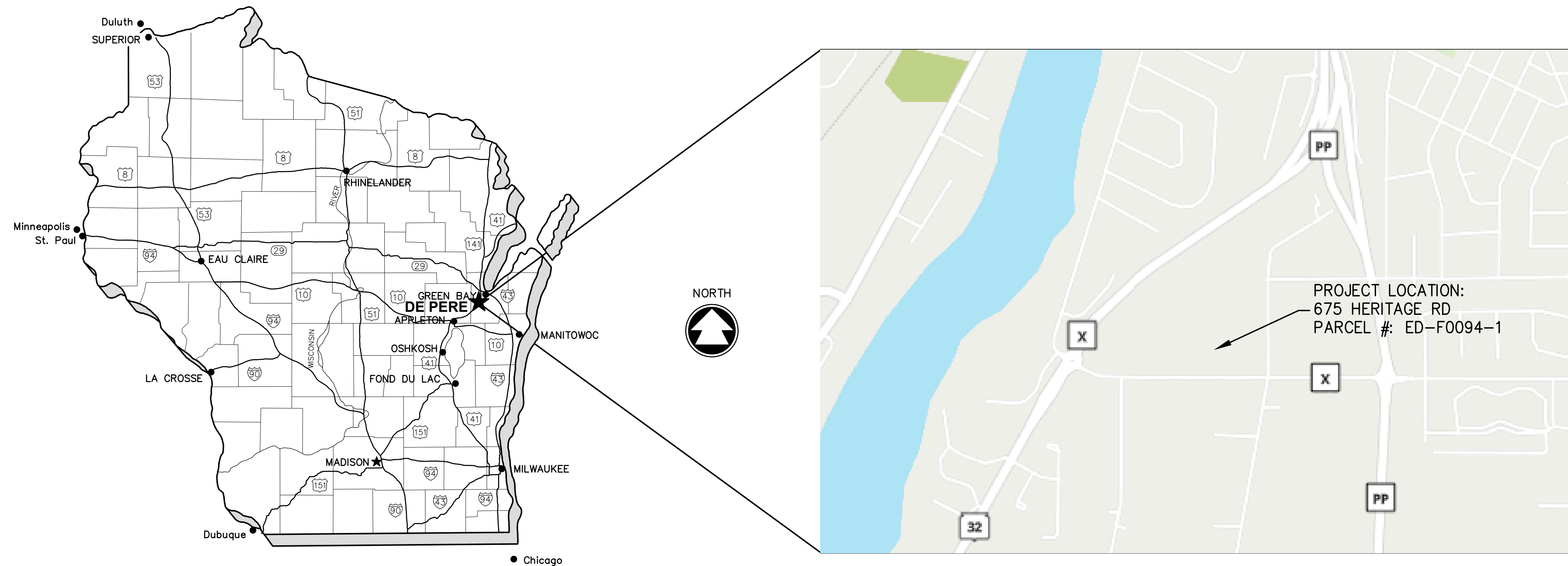
NO.	DATE	REVISION

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# BELMARK PLANT 5 PARKING LOT ADDITION CITY OF DE PERE

BROWN COUNTY, WISCONSIN  
MCM # B0039-09-24-00600



PROJECT LOCATION:  
675 HERITAGE RD  
PARCEL #: ED-F0094-1

Owner:  
Belmark, Inc.  
Attn: Garrett Willems, Facilities Team Manager  
600 Heritage Road - PO Box 5310  
De Pere, WI, 54115  
(920) 330-9789  
garrett.willems@belmark.com

Designer:  
McMahon Associates, Inc.  
Attn: Ron Wolf  
1445 McMahon Drive  
Neenah, WI 54956  
920-751-4200  
rwolf@mcngrp.com

Project Manager:  
The Boldt Company  
Attn: Tony Meeuwsen  
3049 Ramada Way  
Suite 150  
Green Bay, WI 54304  
920-450-3255  
tony.meeuwsen@boldt.com

**DIGGERSHOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

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WISCONSIN  
RONALD J. WOLF  
E-29987  
NEENAH  
WIS.  
PROFESSIONAL ENGINEER  
9/11/2024

cadler\_w:\PROJECTS\B0039\092400600\CADD\Civil\3D\Plan\_Sheets\With\_Curb\_Islands\COVER NOTES\_DETAILS.dwg, 00\_cover\_Plot\_Date: 10/9/2024 3:26 PM\_xref:smone

DATE  
10/9/24  
PROJECT NO.  
B0039-09-24-00600

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STANDARD ABBREVIATIONS

Table with 4 columns: Abbreviation, Full Name, Abbreviation, Full Name. Includes entries like AC (ACRE), AGG (AGGREGATE), AH (AHEAD), ASPH (ASPHALT PAVEMENT), etc.

GENERAL NOTES

- 1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.

STANDARD SYMBOLS (PLAN VIEW ONLY)

Table with 3 columns: Symbol, Description, Symbol. Includes symbols for 2" IRON PIPE FOUND, 1 1/4" REBAR FOUND, TELEPHONE CABLE - BURIED, etc.

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS.

- [ ] LAND APPLICATION OF ADDITIVES (1050) [ ] DE-WATERING (1061)
[ ] WATER APPLICATION OF ADDITIVES (1051) [ ] DITCH CHECK (1062)
[X] NON-CHANNEL EROSION MAT (1052) [ ] SEDIMENT TRAP (1063)

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING IN RUNOFF:

- A. DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
B. DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
C. DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- A. PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
B. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
C. MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.



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Table with columns: NO., DATE, REVISION

BELMARK PLANT 5 PARKING LOT ADDITION
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI
ABBREVIATIONS, SYMBOLS & NOTES

Table with columns: DESIGNED, DRAWN, PROJECT NO., DATE, SHEET NO. Includes values like B0039-09-24-00600, 10/9/24, 01



Caddler, WI, PROJECTS\B0039\092400600\CADD\Civil3D\Plan\_Sheets\With\_Curb\_Islands\sc.dwg, 02\_survey\_control\_Plot\_Date: 10/9/2024 3:26 PM, xref:mcma



VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
2	659.13	NGS 4K86 DL2640 DISK (NOT SHOWN)
5	637.08	HYDRANT BURY BOLT
6	637.24	FIRST FLOOR BUILDING
7	638.59	TOP CONCRETE LIGHT POLE SOUTH SIDE
12	640.75	HYDRANT ARROW
13	634.99	FIRST FLOOR BUILDING

HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
3	536192.79	87710.85	MAG NAIL
4	536200.79	87292.10	HUB TACK
8	536365.62	87154.71	MAG NAIL
9	536169.74	87116.30	MAG NAIL
25	536099.86	87091.95	MAG NAIL
26	536126.20	87097.39	MAG NAIL
27	536224.32	87116.42	MAG NAIL
28	536272.04	87126.24	MAG NAIL

**VERTICAL DATUM:**  
 ELEVATIONS ARE REFERENCED TO NGS DATA:  
 CONTROL POINT NAME: 4K86  
 POINT ID: DL2640 NAVD 88 DATUM  
 BY GPS OBSERVATION TO ELEVATION = 659.13 (2012 ADJUSTMENT)  
 PER FIELD BOOK 1586 PAGES 21-22 & PAGES 28-29

**HORIZONTAL DATUM:**  
 COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR BROWN COUNTY NAD 83 (1991)

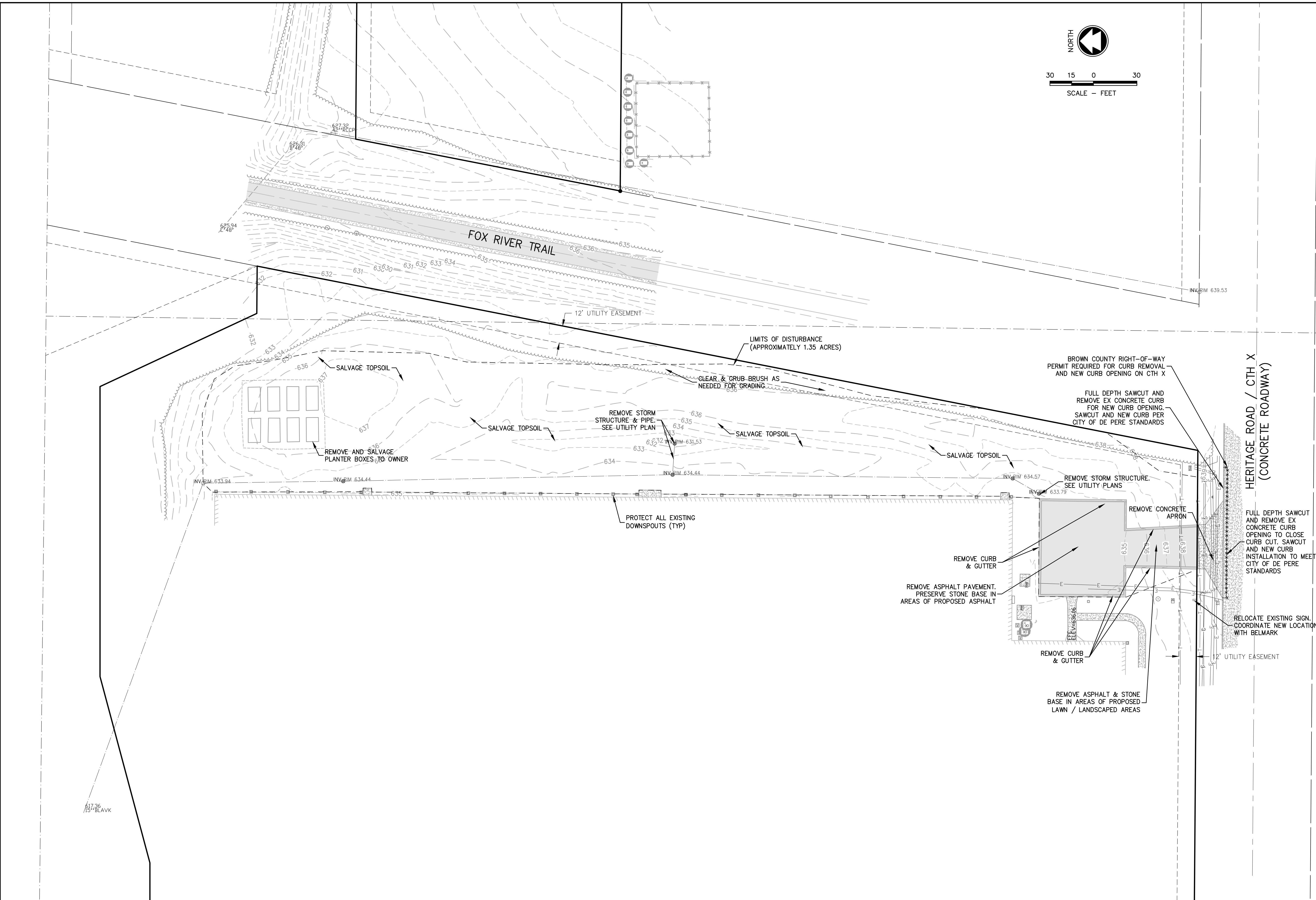
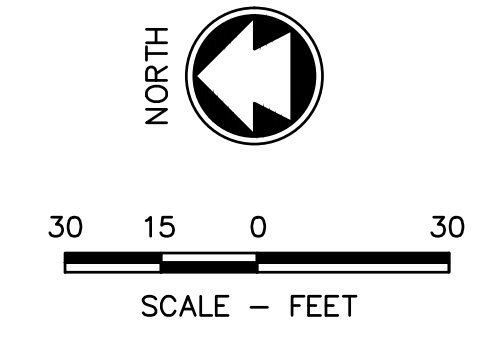
**NOTE:**  
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

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NO.	DATE	REVISION

**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**SURVEY CONTROL**

cadler\_w\PROJECTS\B0039\09240660\CADD\Civil3D\Plan\_Sheets\With\_Curb\_Islands\Existing\_Conditions\_and\_demo.dwg, 03 existing conditions & demolition plan, Plot Date: 10/9/2024, 3:27 PM, xref:stone



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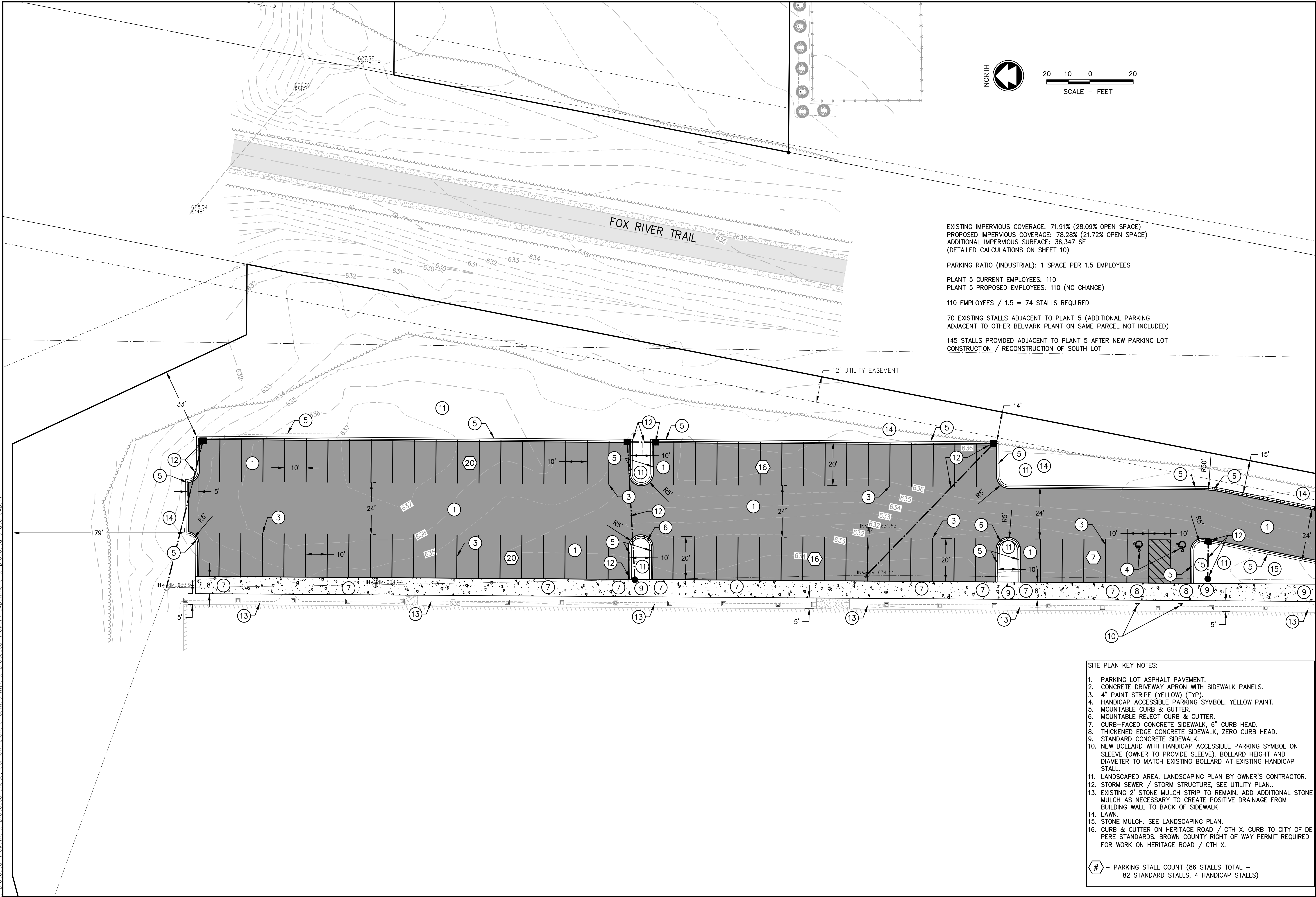
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NO.	DATE	REVISION

**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**EXISTING CONDITIONS & DEMOLITION PLAN**

DESIGNED RJV	DRAWN CKA
PROJECT NO. B0039-09-24-00600	
DATE 10/9/24	
SHEET NO. <b>03</b>	

codler, W:\PROJECTS\B00039\092-00600\CADD\Civil3D\Plan Sheets\With Curb Island\PROPOSED SITE.dwg, 04 proposed site & dimensions, Plot Date: 10/9/2024 3:27 PM, xrefs: (x--exist topo benchmark plant 5 parking lot depere, x--exist topo benchmark plant 5 parking lot depere, x--proposed linework, x--proposed shade, x--proposed linework experiment, x--proposed shade expert)



EXISTING IMPERVIOUS COVERAGE: 71.91% (28.09% OPEN SPACE)  
 PROPOSED IMPERVIOUS COVERAGE: 78.28% (21.72% OPEN SPACE)  
 ADDITIONAL IMPERVIOUS SURFACE: 36,347 SF  
 (DETAILED CALCULATIONS ON SHEET 10)

PARKING RATIO (INDUSTRIAL): 1 SPACE PER 1.5 EMPLOYEES

PLANT 5 CURRENT EMPLOYEES: 110  
 PLANT 5 PROPOSED EMPLOYEES: 110 (NO CHANGE)

110 EMPLOYEES / 1.5 = 74 STALLS REQUIRED

70 EXISTING STALLS ADJACENT TO PLANT 5 (ADDITIONAL PARKING ADJACENT TO OTHER BELMARK PLANT ON SAME PARCEL NOT INCLUDED)

145 STALLS PROVIDED ADJACENT TO PLANT 5 AFTER NEW PARKING LOT CONSTRUCTION / RECONSTRUCTION OF SOUTH LOT

- SITE PLAN KEY NOTES:
1. PARKING LOT ASPHALT PAVEMENT.
  2. CONCRETE DRIVEWAY APRON WITH SIDEWALK PANELS.
  3. 4" PAINT STRIPE (YELLOW) (TYP).
  4. HANDICAP ACCESSIBLE PARKING SYMBOL, YELLOW PAINT.
  5. MOUNTABLE CURB & GUTTER.
  6. MOUNTABLE REJECT CURB & GUTTER.
  7. CURB-FACED CONCRETE SIDEWALK, 6" CURB HEAD.
  8. THICKENED EDGE CONCRETE SIDEWALK, ZERO CURB HEAD.
  9. STANDARD CONCRETE SIDEWALK.
  10. NEW BOLLARD WITH HANDICAP ACCESSIBLE PARKING SYMBOL ON SLEEVE (OWNER TO PROVIDE SLEEVE). BOLLARD HEIGHT AND DIAMETER TO MATCH EXISTING BOLLARD AT EXISTING HANDICAP STALL.
  11. LANDSCAPED AREA. LANDSCAPING PLAN BY OWNER'S CONTRACTOR.
  12. STORM SEWER / STORM STRUCTURE, SEE UTILITY PLAN..
  13. EXISTING 2" STONE MULCH STRIP TO REMAIN. ADD ADDITIONAL STONE MULCH AS NECESSARY TO CREATE POSITIVE DRAINAGE FROM BUILDING WALL TO BACK OF SIDEWALK
  14. LAWN.
  15. STONE MULCH. SEE LANDSCAPING PLAN.
  16. CURB & GUTTER ON HERITAGE ROAD / CTH X. CURB TO CITY OF DEPERE STANDARDS. BROWN COUNTY RIGHT OF WAY PERMIT REQUIRED FOR WORK ON HERITAGE ROAD / CTH X.
- # - PARKING STALL COUNT (86 STALLS TOTAL - 82 STANDARD STALLS, 4 HANDICAP STALLS)

**McMAHON**  
ENGINEERS ARCHITECTS

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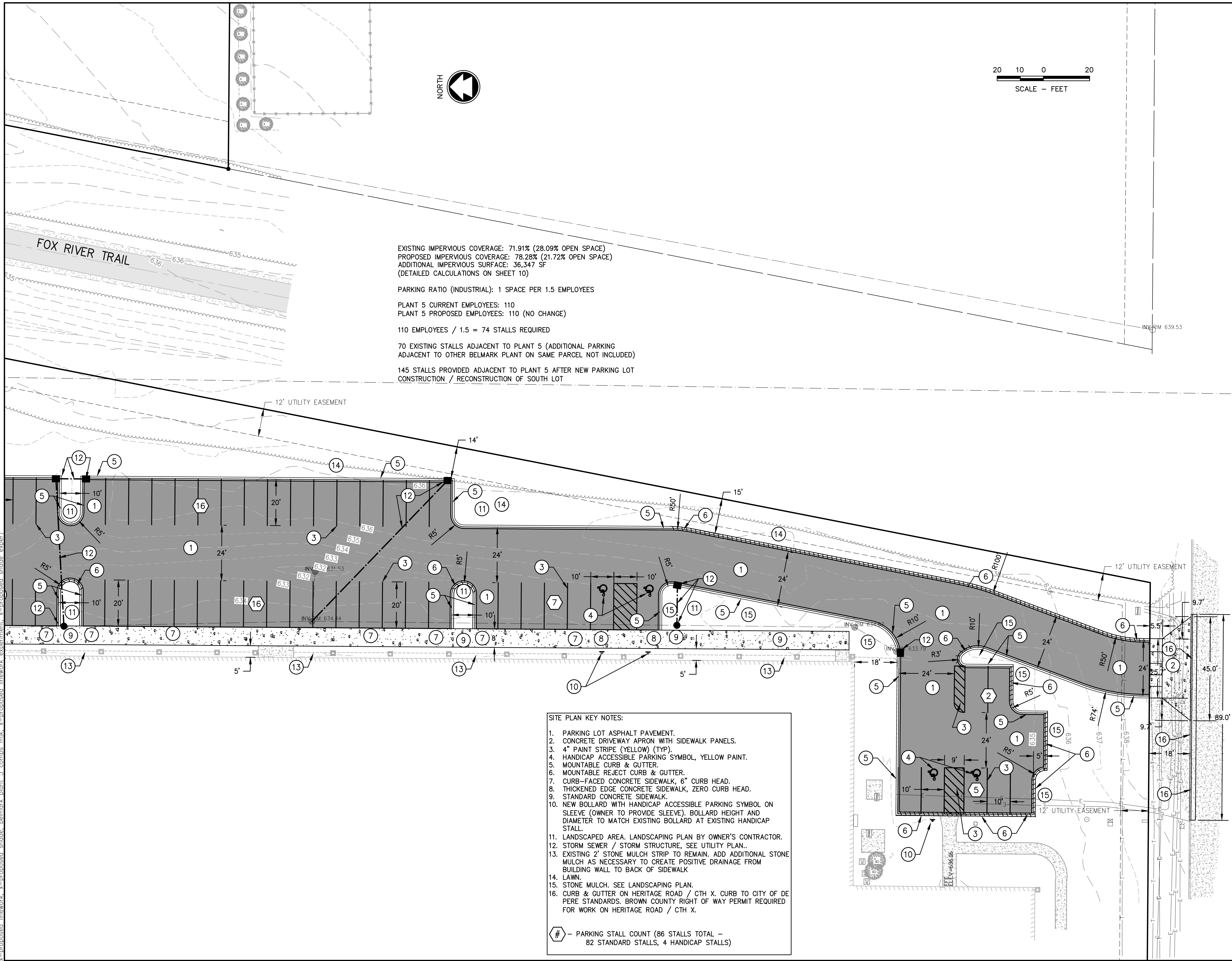
NO.	DATE	REVISION

**BELMARK PLANT 5 PARKING LOT ADDITION**  
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI

**PROPOSED SITE & DIMENSIONS**

DESIGNED R.J.W.	DRAWN C.K.A.
PROJECT NO. B0039-09-24-00600	
DATE 10/9/24	
SHEET NO. <b>04</b>	

codler, W:\PROJECTS\B0039 (092400600)\CADD\Civil3D\Plan Sheets\With Curb Island\PROPOSED SITE.dwg, 05 proposed site & dimensions, Plot Date: 10/9/2024 3:27 PM, xrefs: (x=existing shade belmark plant 5 parking lot depere, x=existing topo belmark plant 5 parking lot depere, x=proposed linework experiment, x=proposed shade exper)



EXISTING IMPERVIOUS COVERAGE: 71.91% (28.09% OPEN SPACE)  
 PROPOSED IMPERVIOUS COVERAGE: 78.28% (21.72% OPEN SPACE)  
 ADDITIONAL IMPERVIOUS SURFACE: 36,347 SF  
 (DETAILED CALCULATIONS ON SHEET 10)

PARKING RATIO (INDUSTRIAL): 1 SPACE PER 1.5 EMPLOYEES

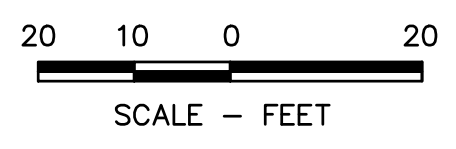
PLANT 5 CURRENT EMPLOYEES: 110  
 PLANT 5 PROPOSED EMPLOYEES: 110 (NO CHANGE)

110 EMPLOYEES / 1.5 = 74 STALLS REQUIRED

70 EXISTING STALLS ADJACENT TO PLANT 5 (ADDITIONAL PARKING  
 ADJACENT TO OTHER BELMARK PLANT ON SAME PARCEL NOT INCLUDED)

145 STALLS PROVIDED ADJACENT TO PLANT 5 AFTER NEW PARKING LOT  
 CONSTRUCTION / RECONSTRUCTION OF SOUTH LOT

- SITE PLAN KEY NOTES:**
1. PARKING LOT ASPHALT PAVEMENT.
  2. CONCRETE DRIVEWAY APRON WITH SIDEWALK PANELS.
  3. 4" PAINT STRIPE (YELLOW) (TYP).
  4. HANDICAP ACCESSIBLE PARKING SYMBOL, YELLOW PAINT.
  5. MOUNTABLE CURB & GUTTER.
  6. MOUNTABLE REJECT CURB & GUTTER.
  7. CURB-FACED CONCRETE SIDEWALK, 6" CURB HEAD.
  8. THICKENED EDGE CONCRETE SIDEWALK, ZERO CURB HEAD.
  9. STANDARD CONCRETE SIDEWALK.
  10. NEW BOLLARD WITH HANDICAP ACCESSIBLE PARKING SYMBOL ON SLEEVE (OWNER TO PROVIDE SLEEVE). BOLLARD HEIGHT AND DIAMETER TO MATCH EXISTING BOLLARD AT EXISTING HANDICAP STALL.
  11. LANDSCAPED AREA. LANDSCAPING PLAN BY OWNER'S CONTRACTOR.
  12. STORM SEWER / STORM STRUCTURE, SEE UTILITY PLAN..
  13. EXISTING 2' STONE MULCH STRIP TO REMAIN. ADD ADDITIONAL STONE MULCH AS NECESSARY TO CREATE POSITIVE DRAINAGE FROM BUILDING WALL TO BACK OF SIDEWALK
  14. LAWN.
  15. STONE MULCH. SEE LANDSCAPING PLAN.
  16. CURB & GUTTER ON HERITAGE ROAD / CTH X. CURB TO CITY OF DE PERE STANDARDS. BROWN COUNTY RIGHT OF WAY PERMIT REQUIRED FOR WORK ON HERITAGE ROAD / CTH X.
- # - PARKING STALL COUNT (86 STALLS TOTAL -  
 82 STANDARD STALLS, 4 HANDICAP STALLS)



**McMAHON**  
**ENGINEERS ARCHITECTS**  
 McMAHON ASSOCIATES, INC.  
 1445 McMAHON DRIVE NEENAH, WI 54956  
 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
 PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

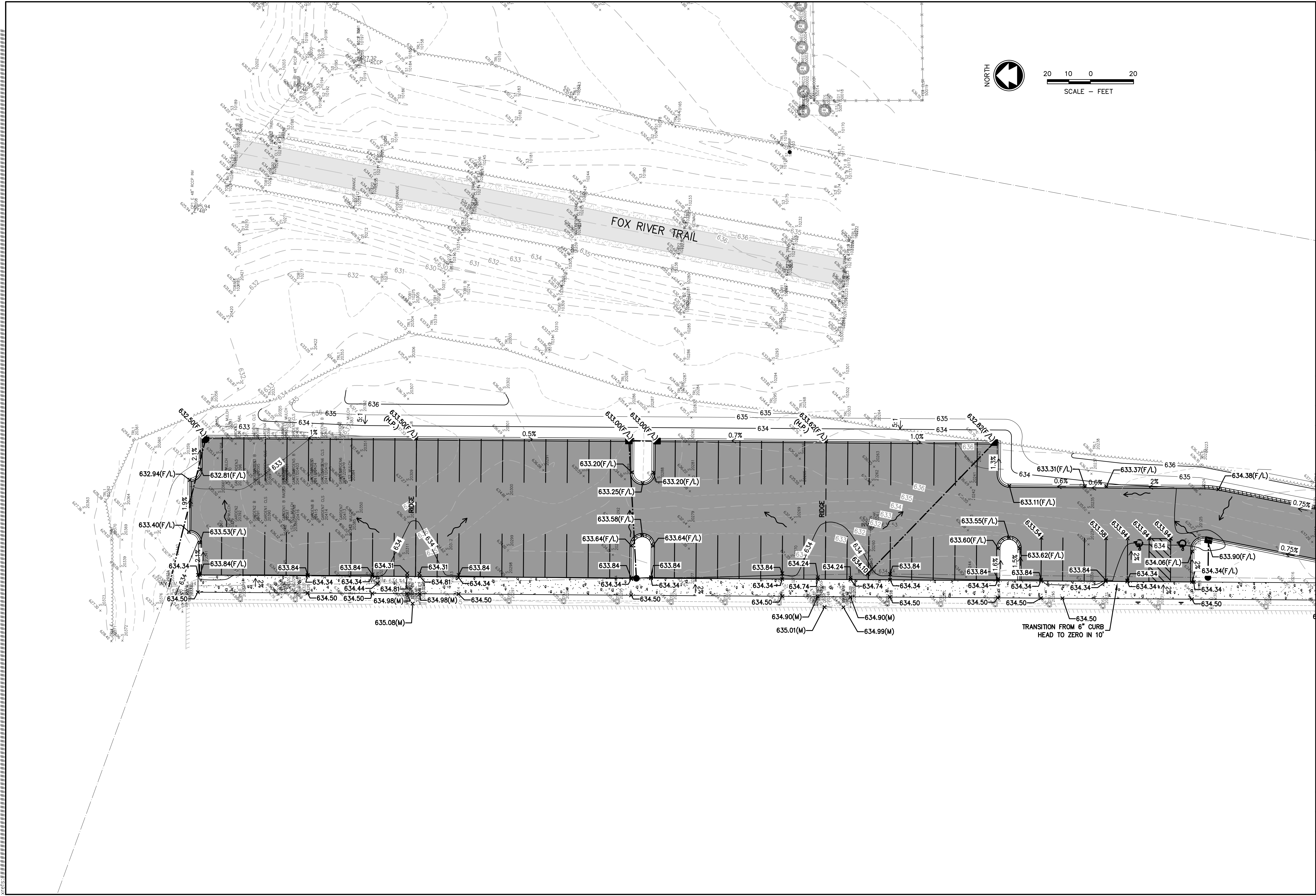
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NO.	DATE	REVISION

**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**PROPOSED SITE & DIMENSIONS**

DESIGNED RJW	DRAWN CKA
PROJECT NO. B0039-09-24-00600	
DATE 10/9/24	
SHEET NO. <b>05</b>	

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20 10 0 20  
SCALE - FEET

**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**GRADING PLAN**

DESIGNED R JW	DRAWN C KA
PROJECT NO. B0039-09-24-00600	
DATE 10/9/24	
SHEET NO. <b>06</b>	

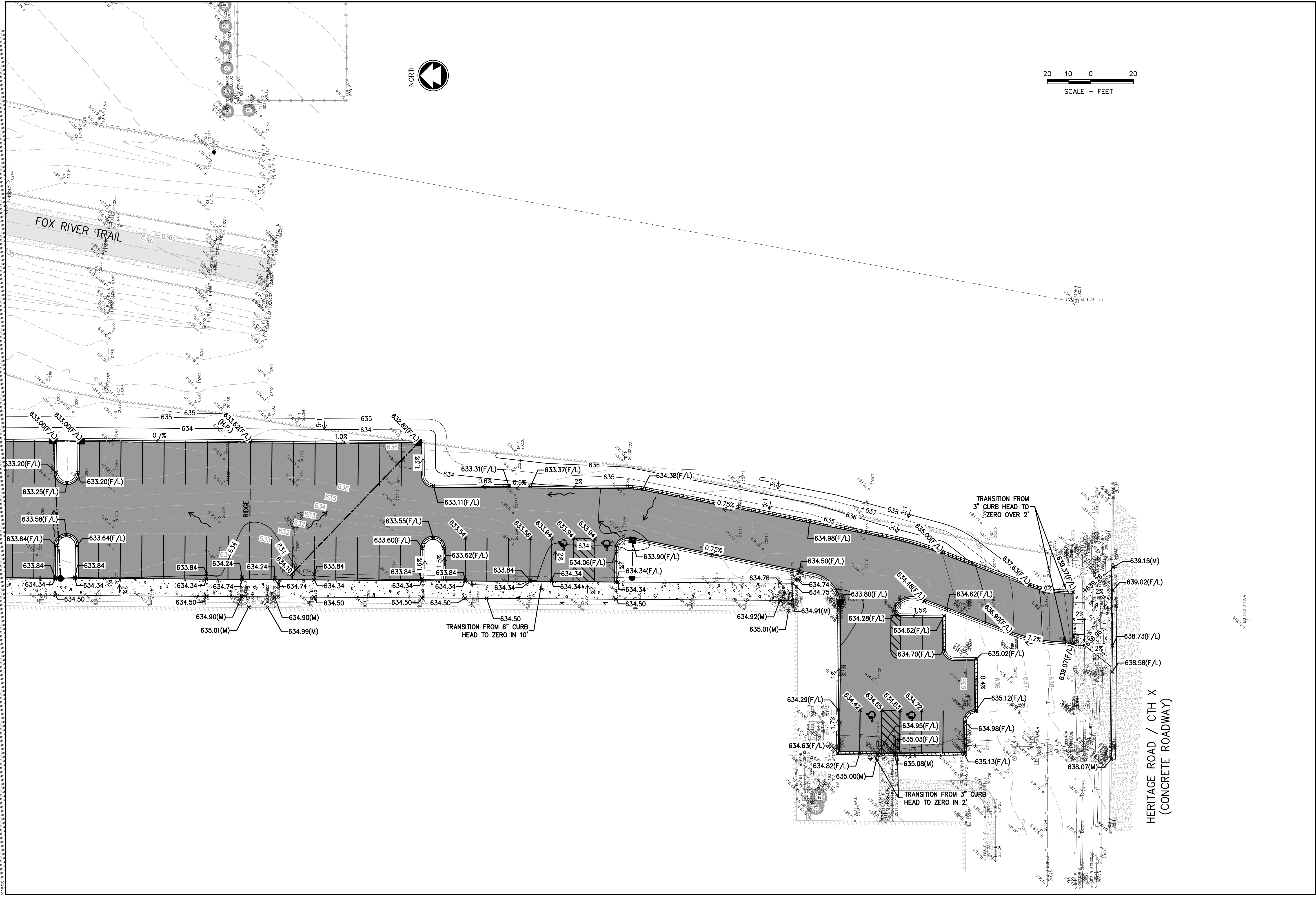
NO.	DATE	REVISION

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**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**GRADING PLAN**

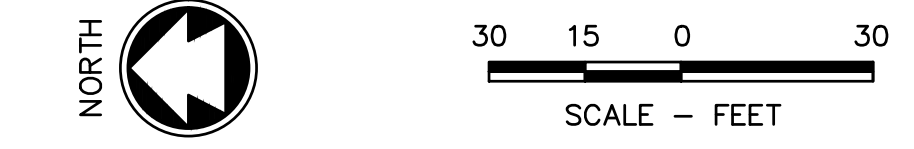
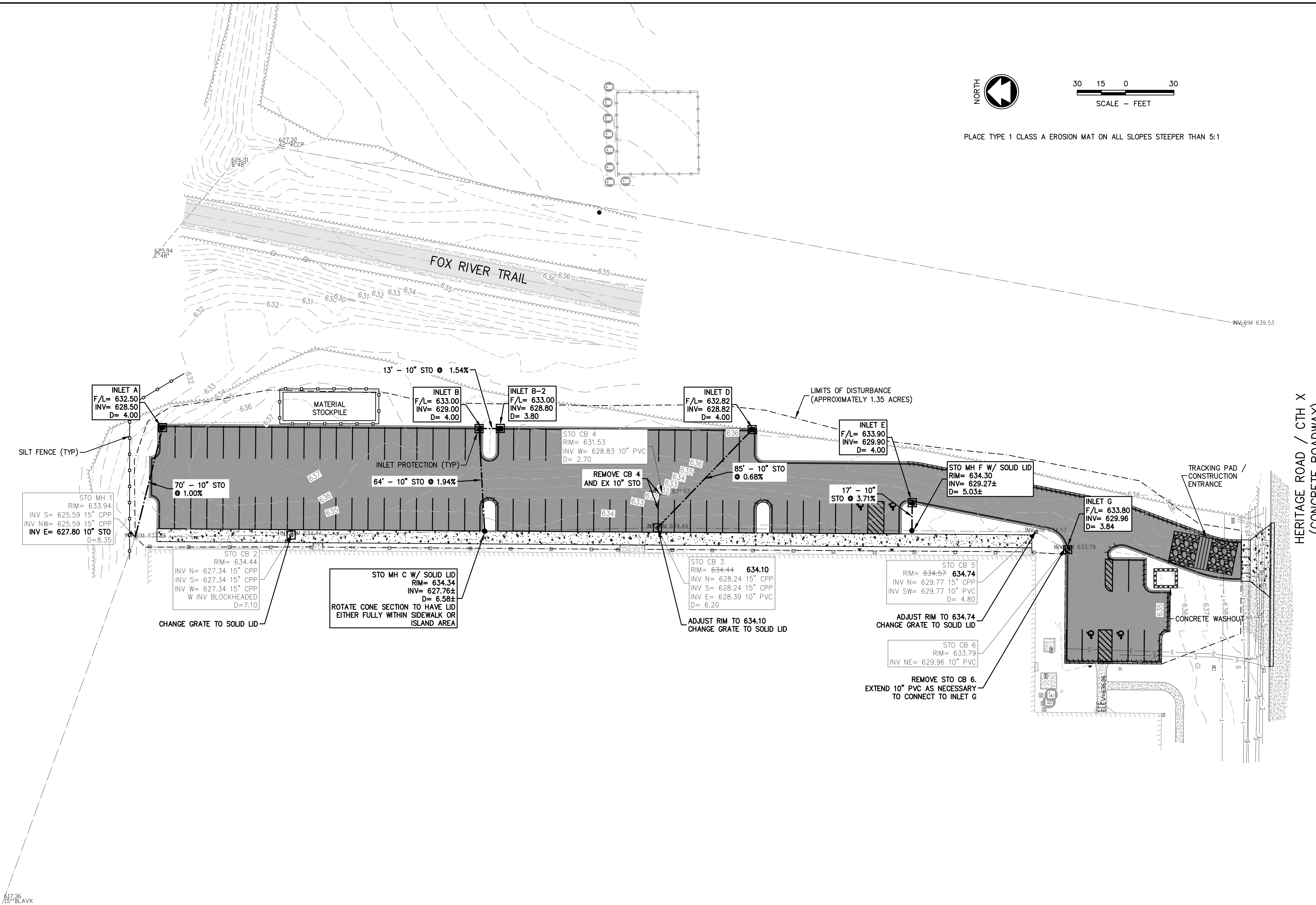
DESIGNED R JW	DRAWN C KA
PROJECT NO. B0039-09-24-00600	
DATE 10/9/24	
SHEET NO. <b>07</b>	

NO.	DATE	REVISION

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PLACE TYPE 1 CLASS A EROSION MAT ON ALL SLOPES STEEPER THAN 5:1

Pipe ID	Pipe Attributes	Pipe Capacity [gpm]	Calculated Flow (gpm)	Acceptable (Y/N)
INLET E - MH F	10" PVC @ 3.71%	2226	139	Y
INLET D - CB 3	10" PVC @ 0.68%	953	341	Y
INLET B-2 - INLET B	10" PVC @ 1.54%	1434	202	Y
INLET B - STO MH C	10" PVC @ 1.94%	1610	454	Y
INLET A - STO MH 1	10" PVC @ 1.00%	1156	248	Y

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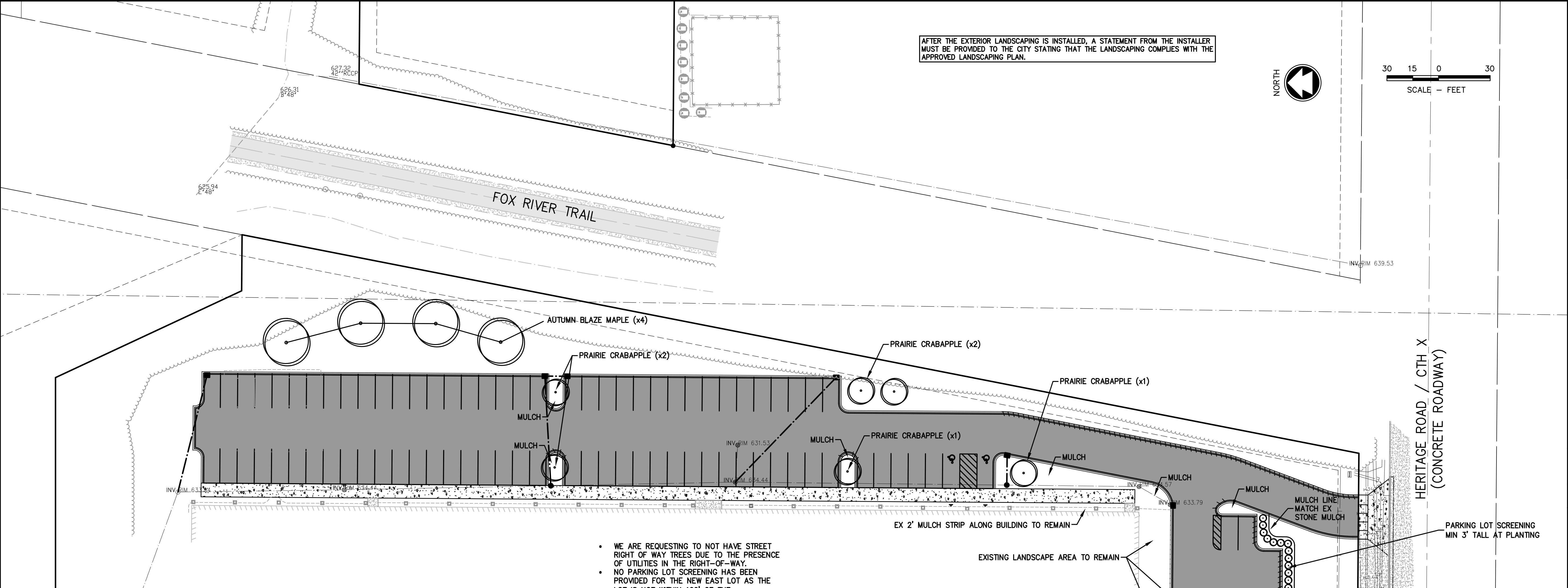
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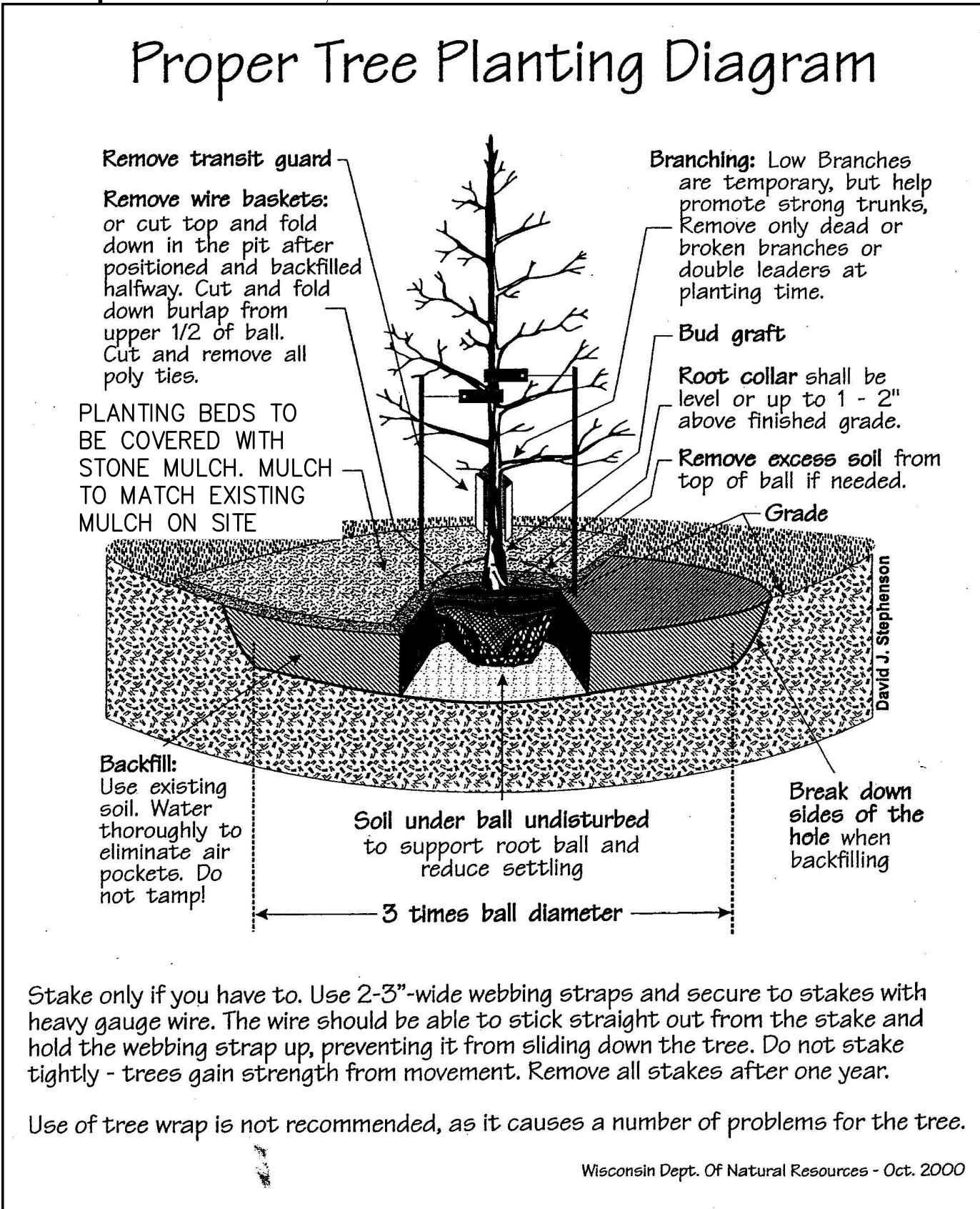
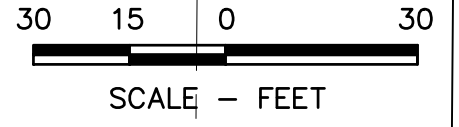
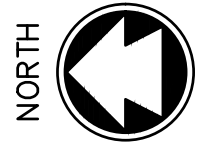
**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**UTILITY & EROSION CONTROL PLAN**

DESIGNED R JW	DRAWN C KA
PROJECT NO. B0039-09-24-00600	
DATE 10/9/24	
SHEET NO. <b>08</b>	

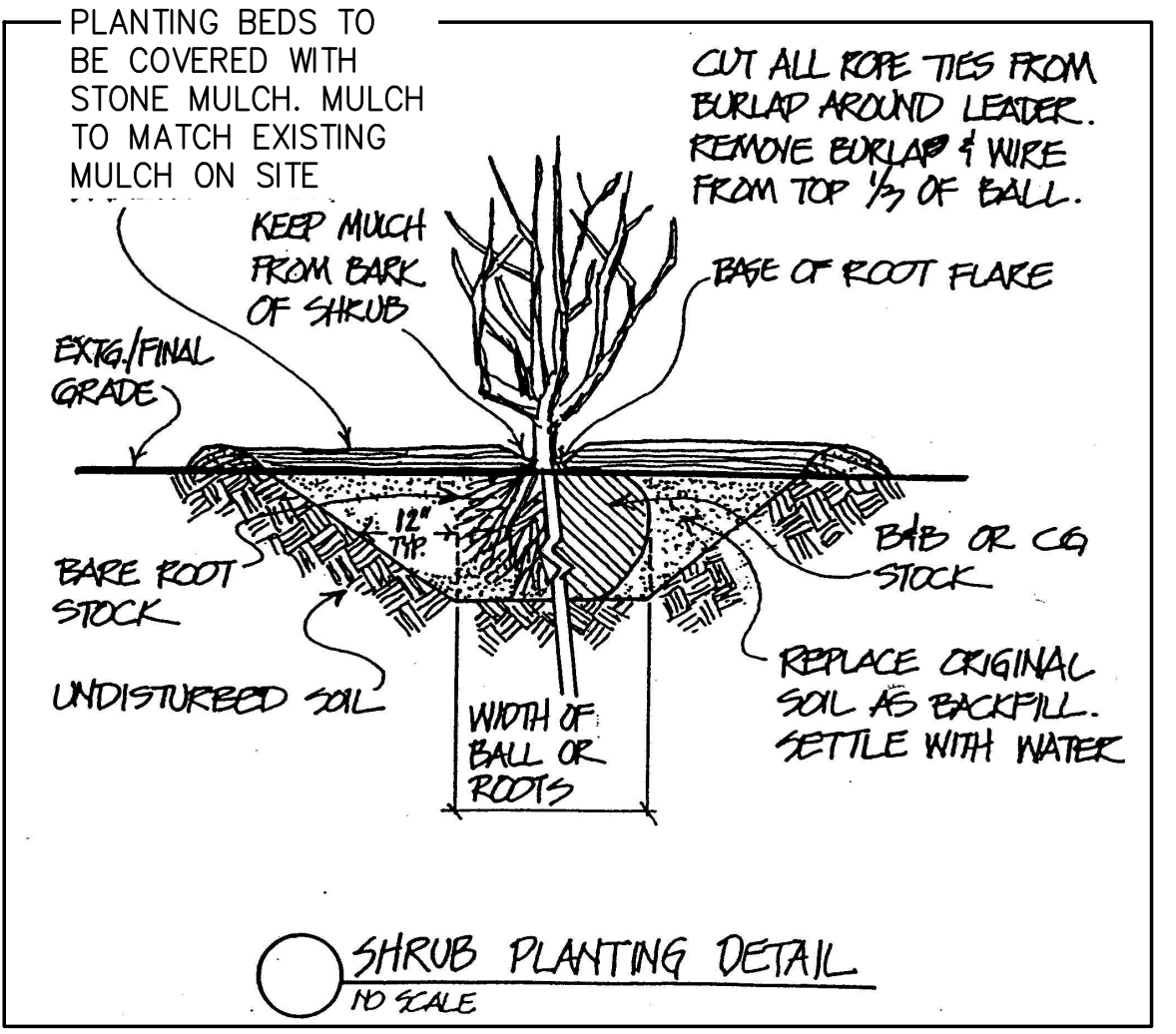
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AFTER THE EXTERIOR LANDSCAPING IS INSTALLED, A STATEMENT FROM THE INSTALLER MUST BE PROVIDED TO THE CITY STATING THAT THE LANDSCAPING COMPLIES WITH THE APPROVED LANDSCAPING PLAN.



- WE ARE REQUESTING TO NOT HAVE STREET RIGHT OF WAY TREES DUE TO THE PRESENCE OF UTILITIES IN THE RIGHT-OF-WAY.
- NO PARKING LOT SCREENING HAS BEEN PROVIDED FOR THE NEW EAST LOT AS THE LOT IS NOT WITHIN 100' OF THE RIGHT-OF-WAY. THE PARKING LOT SCREENING ON THE RECONSTRUCTED SOUTH LOT IS PROPOSED TO HAVE A 7' MULCHED AREA, WITH A VEGETATIVE SCREEN (HEDGE) THAT IS AT MINIMUM 3' TALL AT PLANTING.
- ALL TREES TO BE A MINIMUM 2" CALIPER AND 10' TALL AT TIME OF PLANTING



LANDSCAPING DESIGN BY OWNER'S CONTRACTOR, ADDED TO THIS SHEET SET ON McMAHON BORDER FOR CLARITY

PLANTING SCHEDULE					
SHADE TREES					
QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	HEIGHT AT MATURITY (HxW)
4	Acer x freemanii 'Jeffers'	Autumn Blaze Maple	Balled and Burlapped or Potted	2" Cal, 10' Tall	50' x 30'
ORNAMENTAL TREES					
QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	HEIGHT AT MATURITY (HxW)
6	Malus loensis	Prairie Crabapple	Balled and Burlapped or Potted	2" Cal, 10' Tall	20' x 20'
SHRUB EVERGREEN					
QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	HEIGHT AT MATURITY (HxW)
18*	Buxus Spp	Boxwood	Potted	3' Tall	4' x 6'

\*PROVIDE MORE BOXWOOD SHRUBS AS NEEDED TO PROVIDE A CONTINUOUS HEDGE AT PLANTING

McMAHON ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.

1445 McMAHON DRIVE NEENAH, WI 54956

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NO.

DATE

REVISION

DESIGNED  
RJV

DRAWN  
CKA

PROJECT NO.  
B0039-09-24-00600

DATE  
10/9/24

SHEET NO.  
09

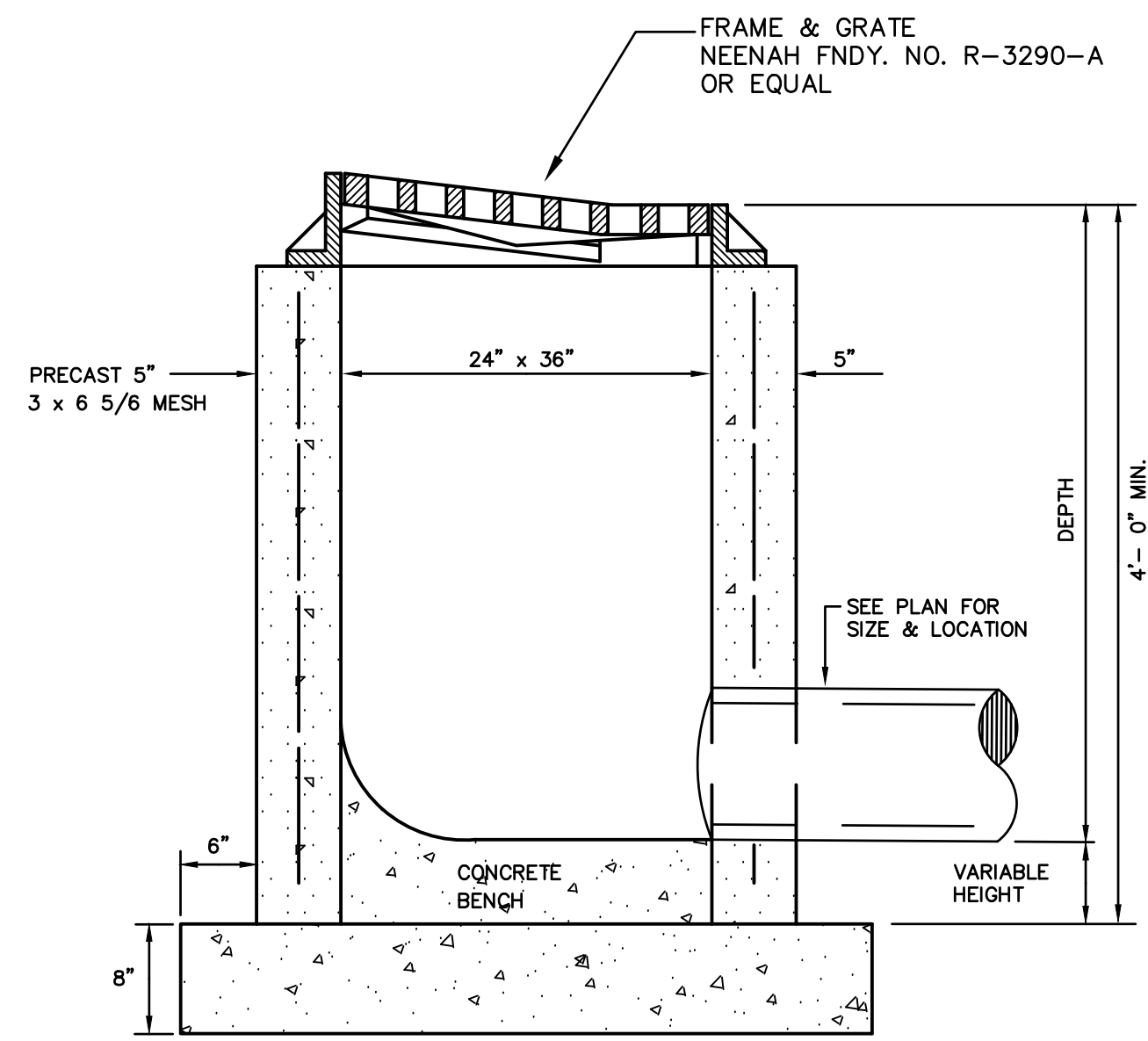
BELMARK PLANT 5 PARKING LOT ADDITION

675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI

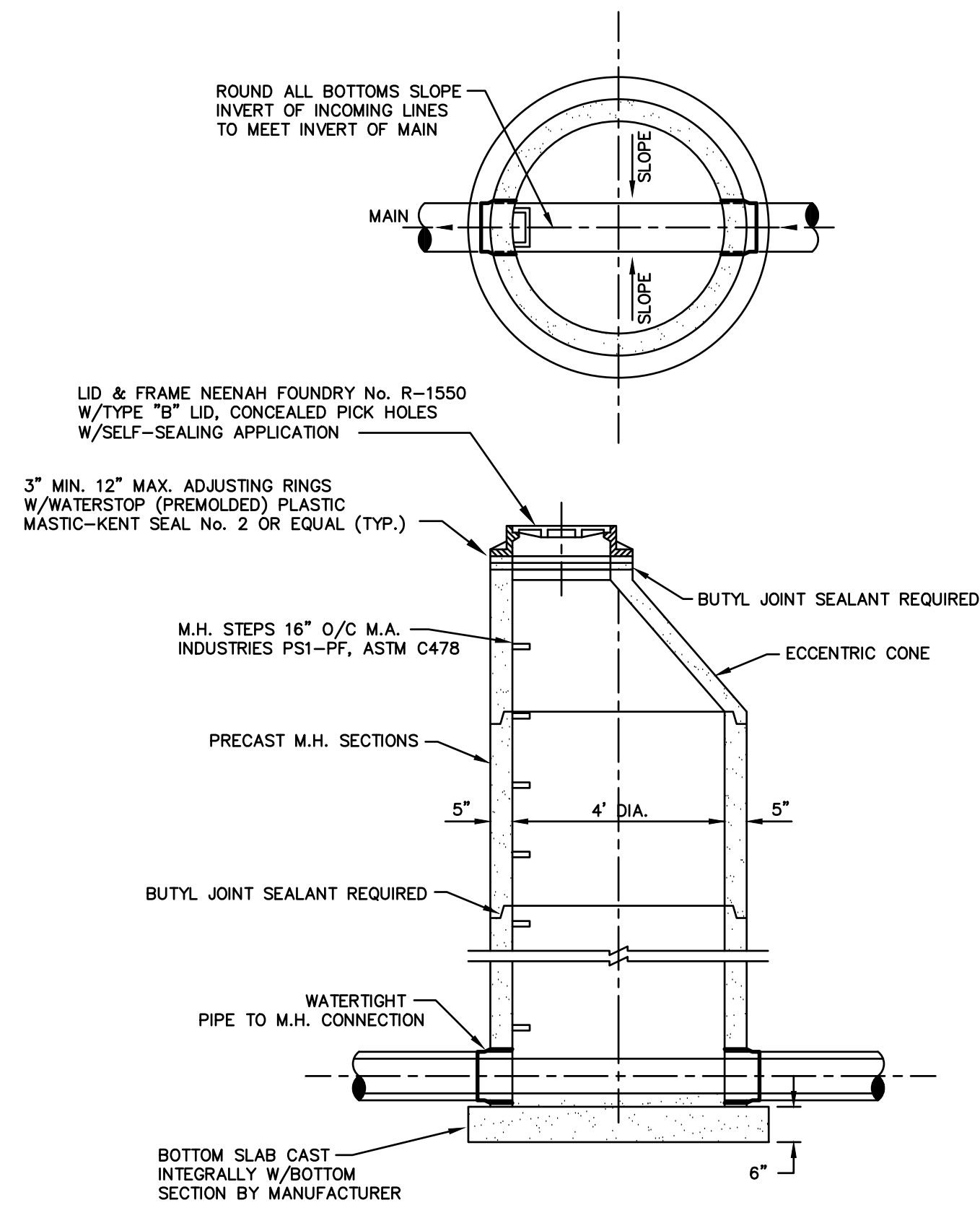
LANDSCAPING PLAN



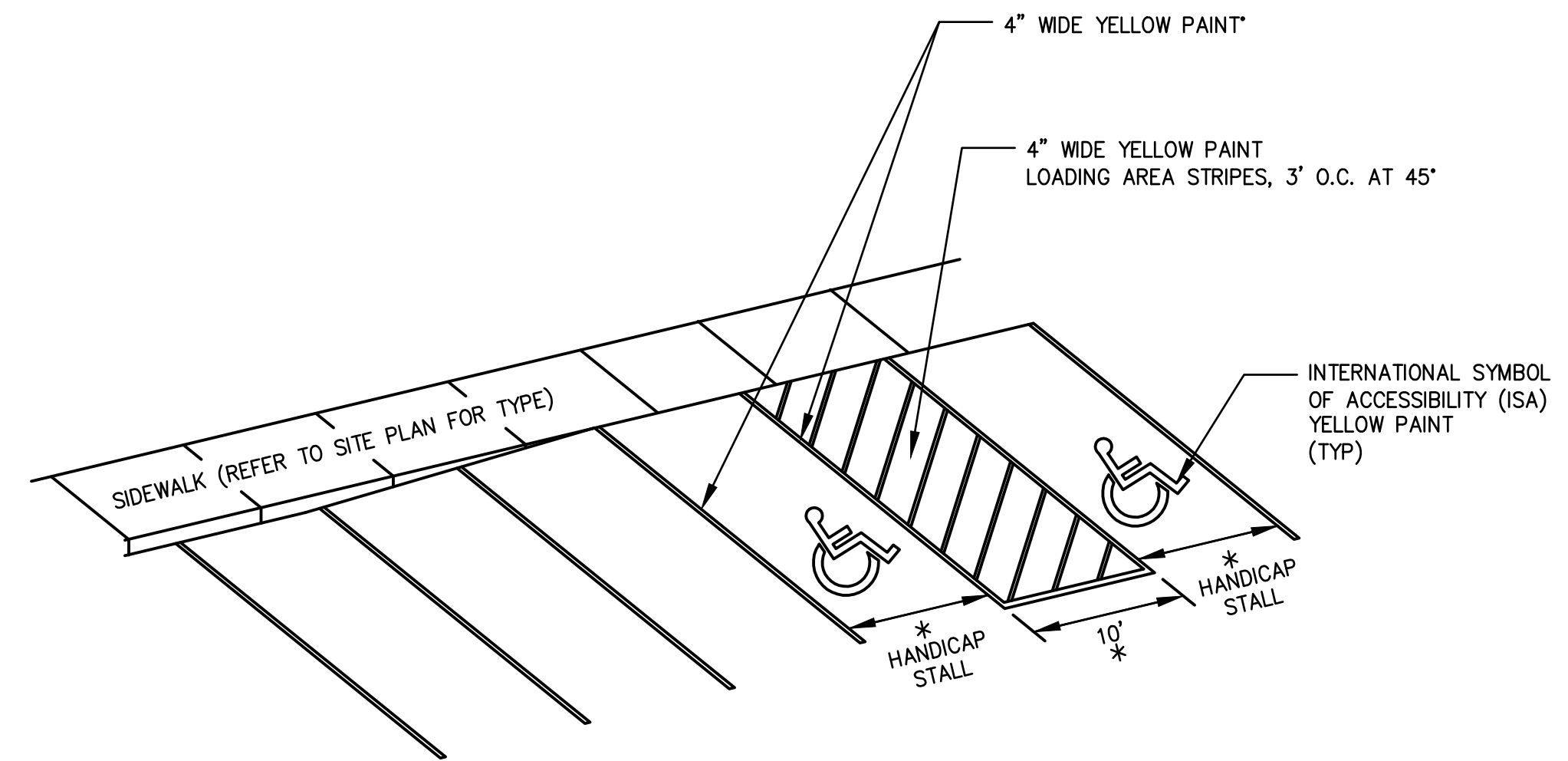
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**STORM SEWER INLET DETAIL**

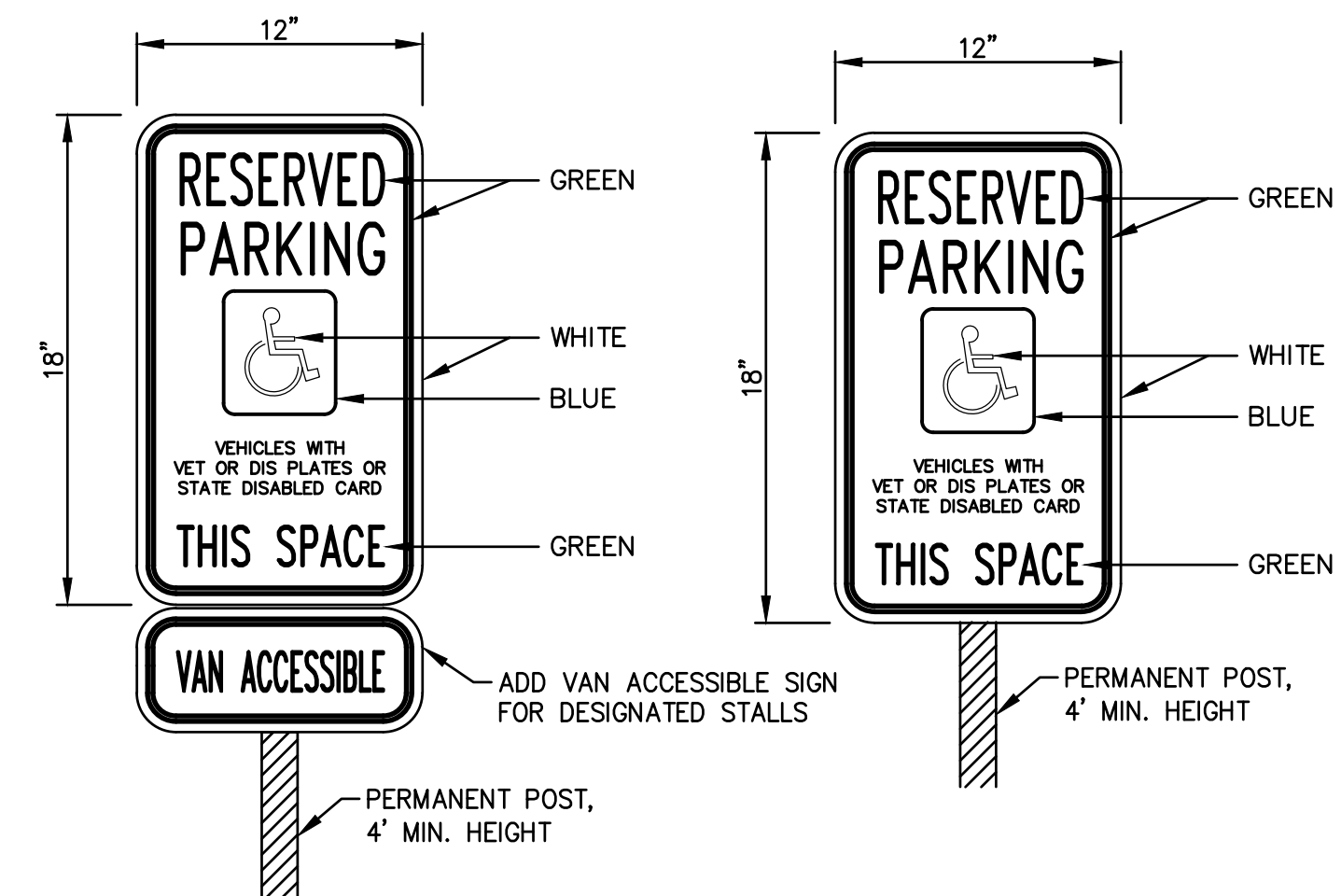


**PRECAST MANHOLE**



\* REFER TO GRADING PLAN DETAILS

**ADA PARKING LOT STRIPING**



**HANDICAPPED STALL SIGN**

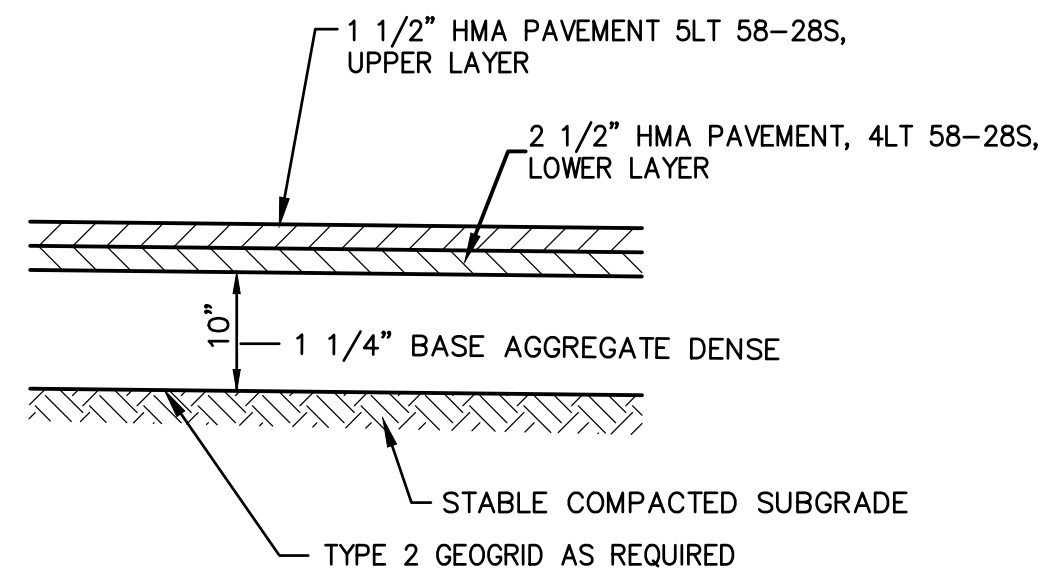
Parcel #: ED-F0094-1 675 HERITAGE ROAD						
Land Use	Existing Conditions			Proposed Conditions		
	Area (sf)	CN	Composite CN	Area (sf)	CN	Composite CN
Roof:	222,481	98	21,803,138	222,481	98	21,803,138
Parking Lot	183,440	98	17,977,120	215,446	98	21,113,708
Sidewalk	4,273	98	418,754	8,614	98	844,172
Landscaping:	160,258	74	11,859,092	123,911	74	9,169,414
Total Area (sf):	570,452			570,452		
Total Impervious (sf):	410,194			446,541		
Composite CN:	91.26			92.79		
% Open Space	28.09%			21.72%		
% Impervious Coverage:	71.91%			78.28%		

**IMPERVIOUS SURFACE / OPEN SPACE CALCULATIONS**

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NO.	DATE	REVISION

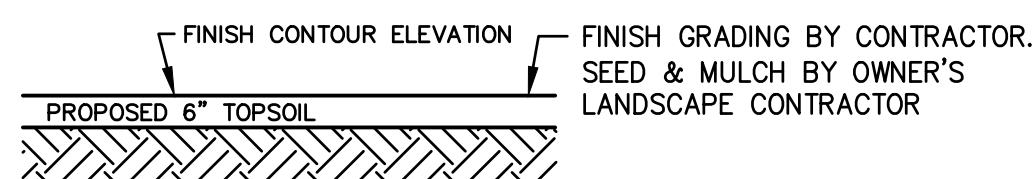
**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**MISCELLANEOUS DETAILS**



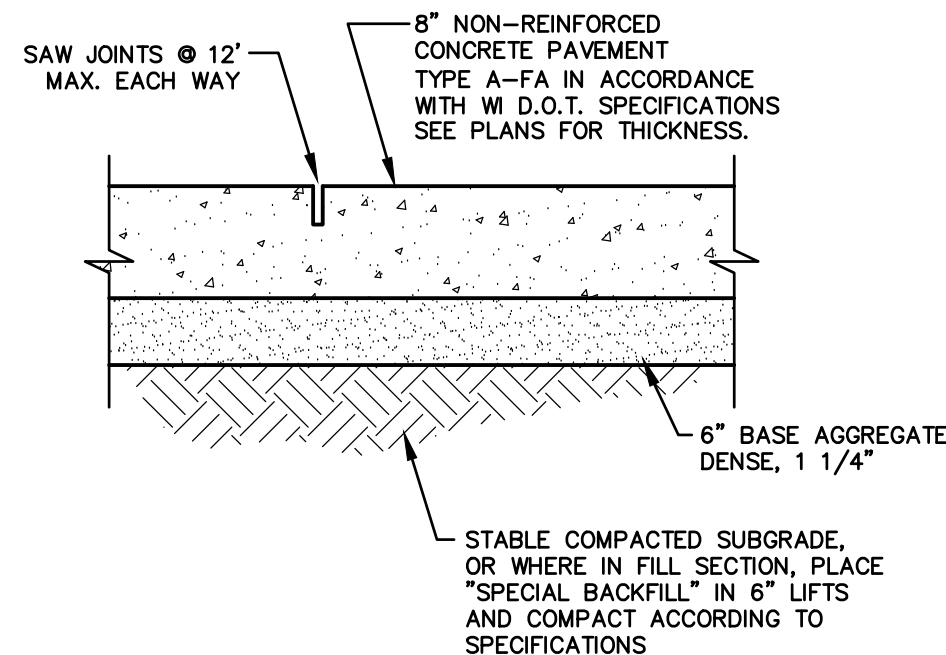
**STANDARD DUTY PAVEMENT**

NOTE: PAVEMENT SECTIONS SHOWN ARE BELMARK STANDARDS. NO GEOTECHNICAL OR ENGINEERING ANALYSIS HAVE BEEN MADE TO DETERMINE THE PAVEMENT SECTIONS FOR THIS SITE.

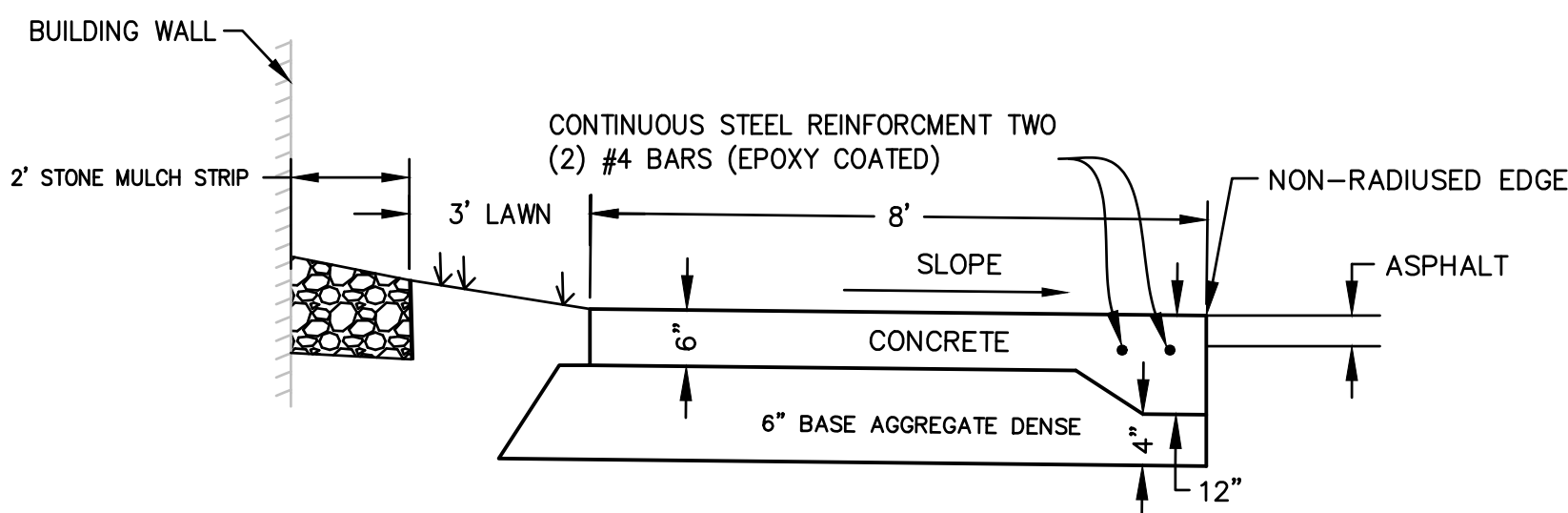
**PARKING LOT PAVEMENT DETAIL**



**TYPICAL LANDSCAPED SECTION**



**CONCRETE DRIVEWAY APRON PAVEMENT DETAIL**



**THICKENED EDGE CONCRETE SIDEWALK**

(WHERE ASPHALT AND SIDEWALK ARE FLUSH, AT HANDICAP STALLS)

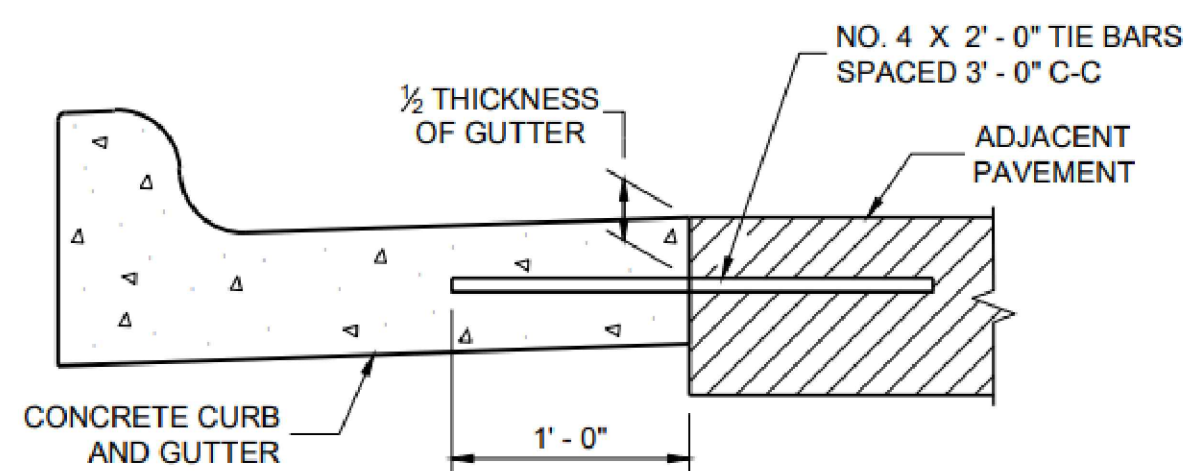
**GENERAL NOTES**

DETAILS OF CONSTRUCTION AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE CONTRACT.

PAVEMENT TIES AND TIE BARS SHALL BE EPOXY COATED IN CONFORMANCE WITH SUBSECTION 505.2.6.2 OF THE STANDARD SPECIFICATIONS.

UNLESS OTHERWISE SHOWN ON THE TYPICAL CROSS SECTIONS, THE BASE AGGREGATE AND COMMON EXCAVATION LIMITS ARE 2' - 0" BEHIND THE BACK OF CURBS.

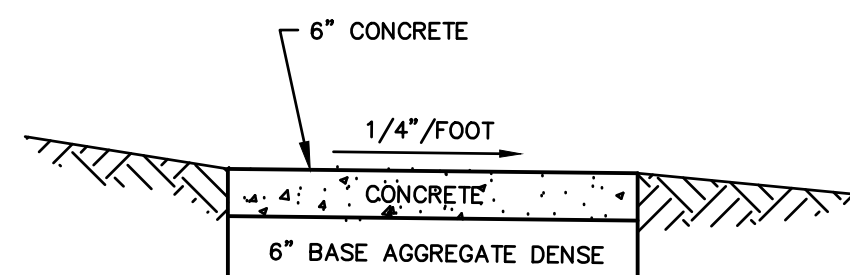
- ① TIE BARS ARE REQUIRED FOR CURB AND GUTTERS TYPES A, G, K, R, AND TBTT.
- ② THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.
- ⑩ REFER TO SDD 08D18 AND 08D19 FOR ADDITIONAL DRIVEWAY ENTRANCE CURB DETAILS.
- ⑪ PLACE 1" THICK EXPANSION JOINT MATERIAL BETWEEN VERTICAL FACE CURB TYPES EXTENDING FROM THE TOP OF CURB TO 1 INCH BELOW THE ADJOINING CONCRETE SURFACE. RIGID CONCRETE STRUCTURES INCLUDE RAISED CONCRETE MEDIANS, CONCRETE SAFETY ISLANDS, SPLITTER ISLANDS, OR LOCATIONS IDENTIFIED ON THE PLANS.



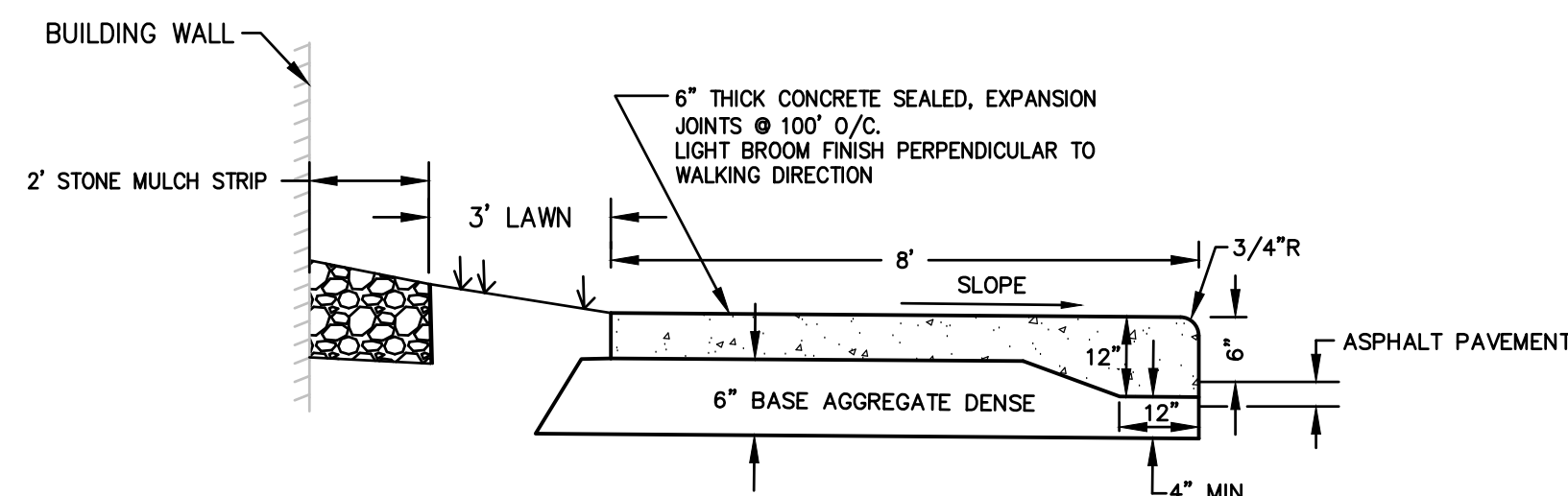
**TYPICAL TIE BAR LOCATION**

FROM DOT SDD 08D01-23a

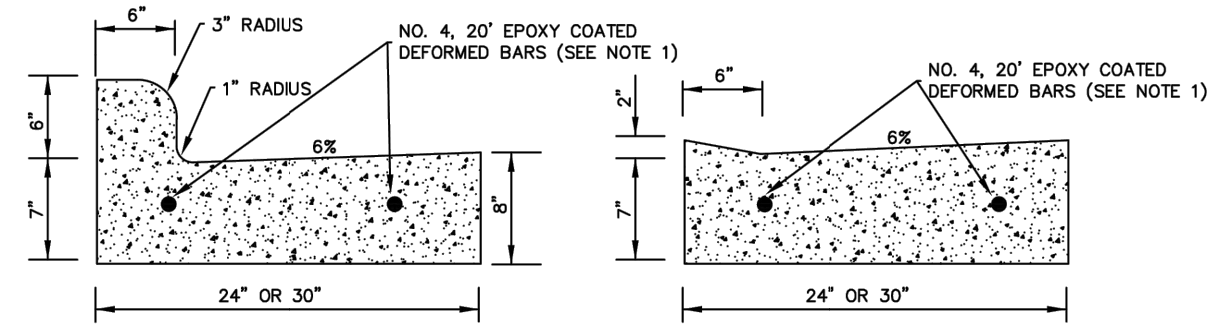
**HERITAGE ROAD CURB - DOT TIE BAR DETAIL**



**STANDARD CONCRETE SIDEWALK**

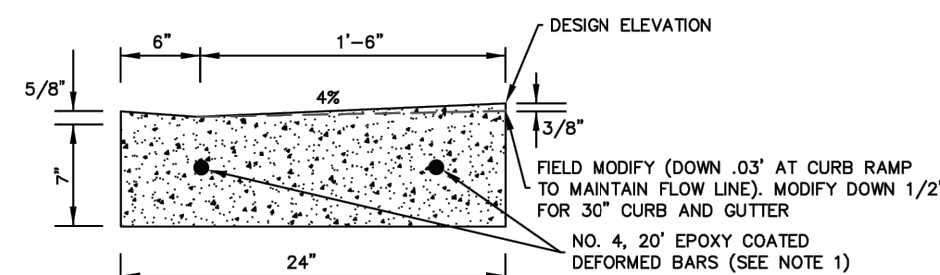


**CURB-FACED CONCRETE SIDEWALK (CFS)**

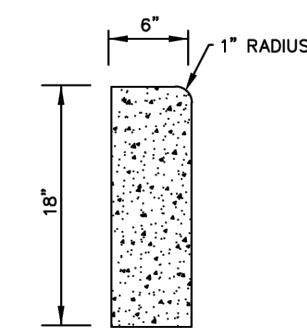


**CURB AND GUTTER**

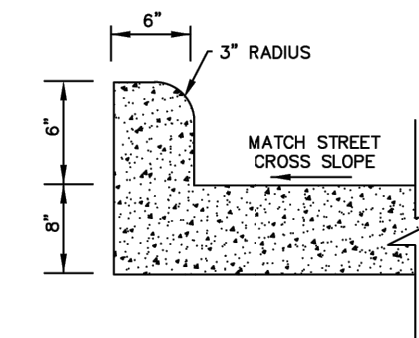
**DRIVEWAY GUTTER**



**PEDESTRIAN CURB RAMP GUTTER**



**CURB**



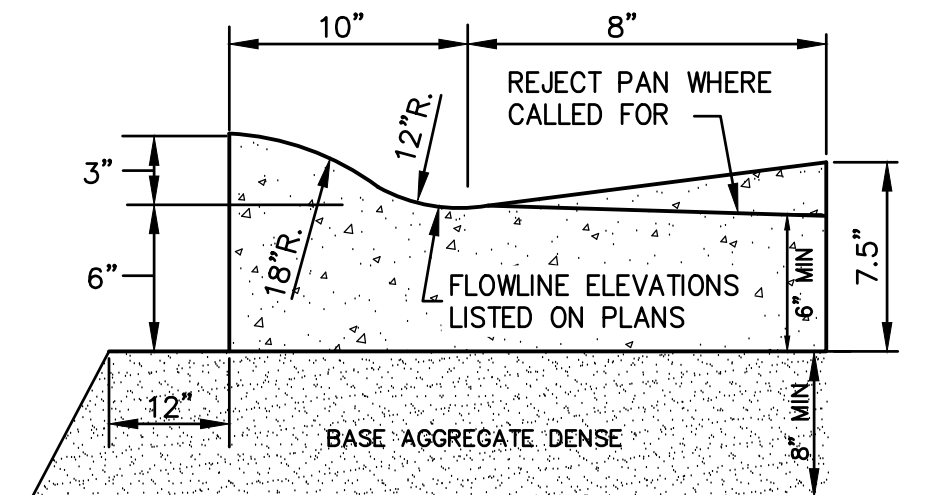
**INTEGRAL CURB**

NOTES:

- 1. 2-NO. 4, 20' EPOXY COATED DEFORMED BARS SHALL BE INSTALLED CENTERED OVER EACH SERVICE AND UTILITY TRENCH OR AS DIRECTED BY THE ENGINEER, FOR TRENCHES LYING UNDER THE CURB AND RUNNING PARALLEL TO THE CURB. THE BARS SHALL BE INSTALLED FULL LENGTH OF THE TRENCH.
- 2. ALL EXPOSED EDGES OF THE CONCRETE SHALL BE FINISHED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH UNLESS OTHERWISE NOTED.

	TITLE: CONCRETE CURB CURB AND GUTTER AND GUTTER
	DIVISION: 32
ENGINEERING DIVISION 925 S. SIXTH ST DE PERE, WI 54115 OFFICE 920-339-4061 FAX 920-339-4071	DRAWING NO: C-5
	DATE: 12/2021 BY: KAD CHECKED: EPR

**CITY OF DE PERE CURB & GUTTER DETAIL**



**MOUNTABLE CURB AND GUTTER DETAIL (BELMARK STANDARD)**

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McMAHON ASSOCIATES, INC.  
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PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

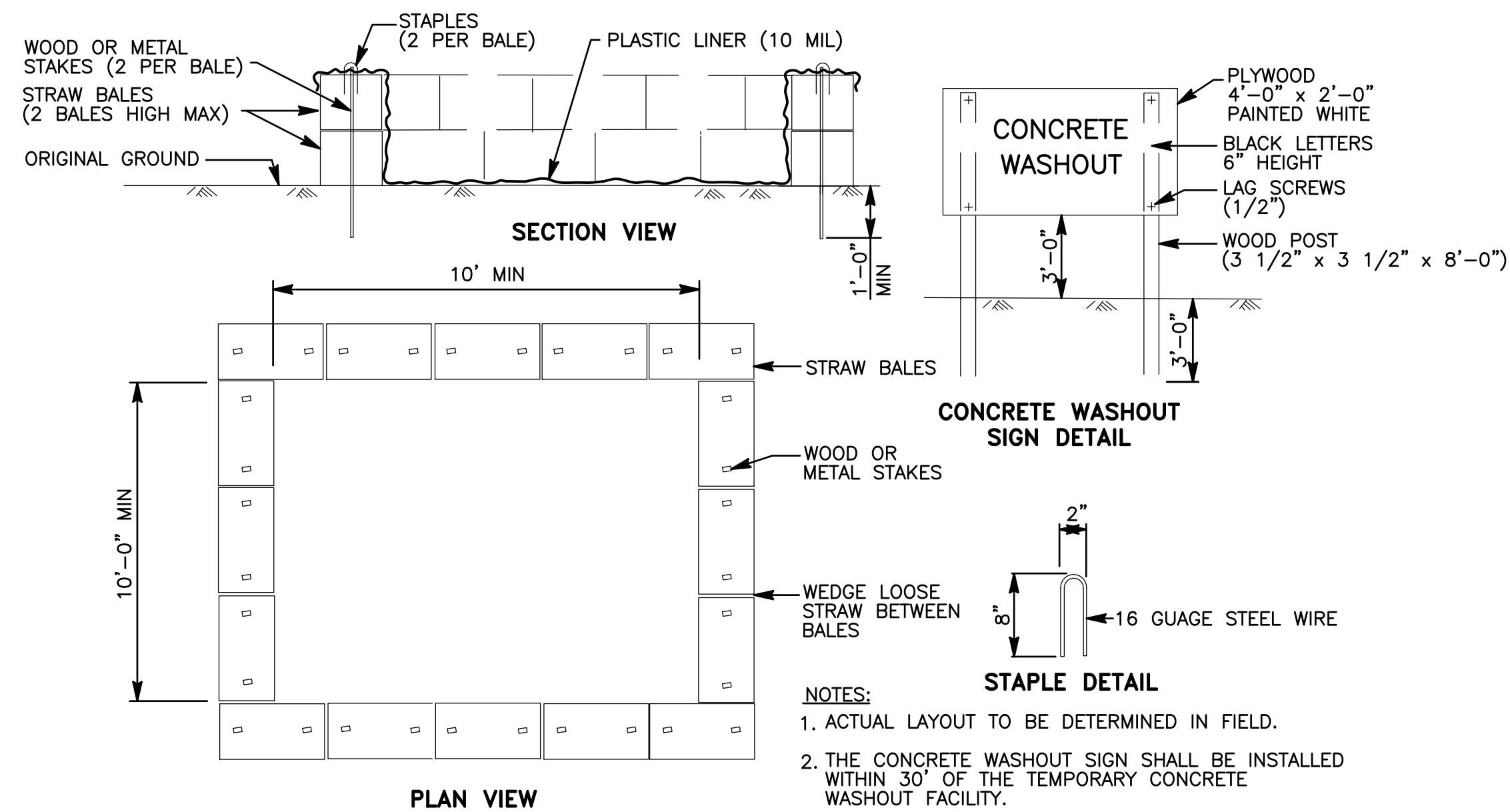
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NO.	DATE	REVISION

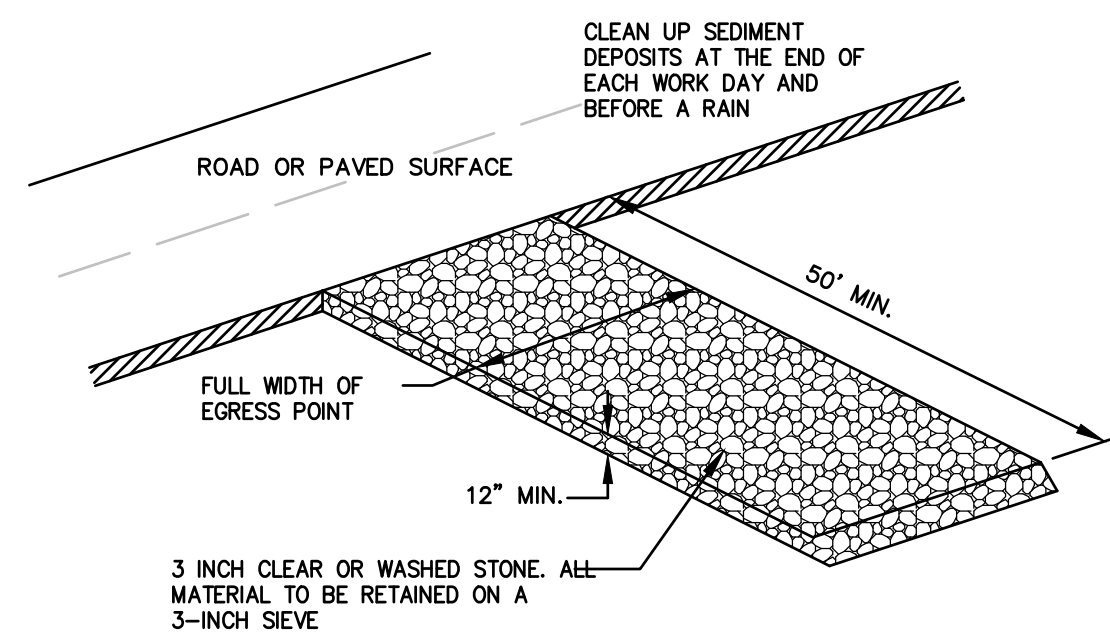
**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**MISCELLANEOUS DETAILS**

DESIGNED #	DRAWN #
PROJECT NO. B0039-09-24-00600	
DATE 10/9/24	
SHEET NO. <b>11</b>	

cadler\_w:\PROJECTS\B0039\092400600\CADD\Civil3D\Plan Sheets\With Curb Islands\COVER NOTES-DETAILS.dwg, 12 miscellaneous details, Plot Date: 10/9/2024 3:28 PM, xrefs:none

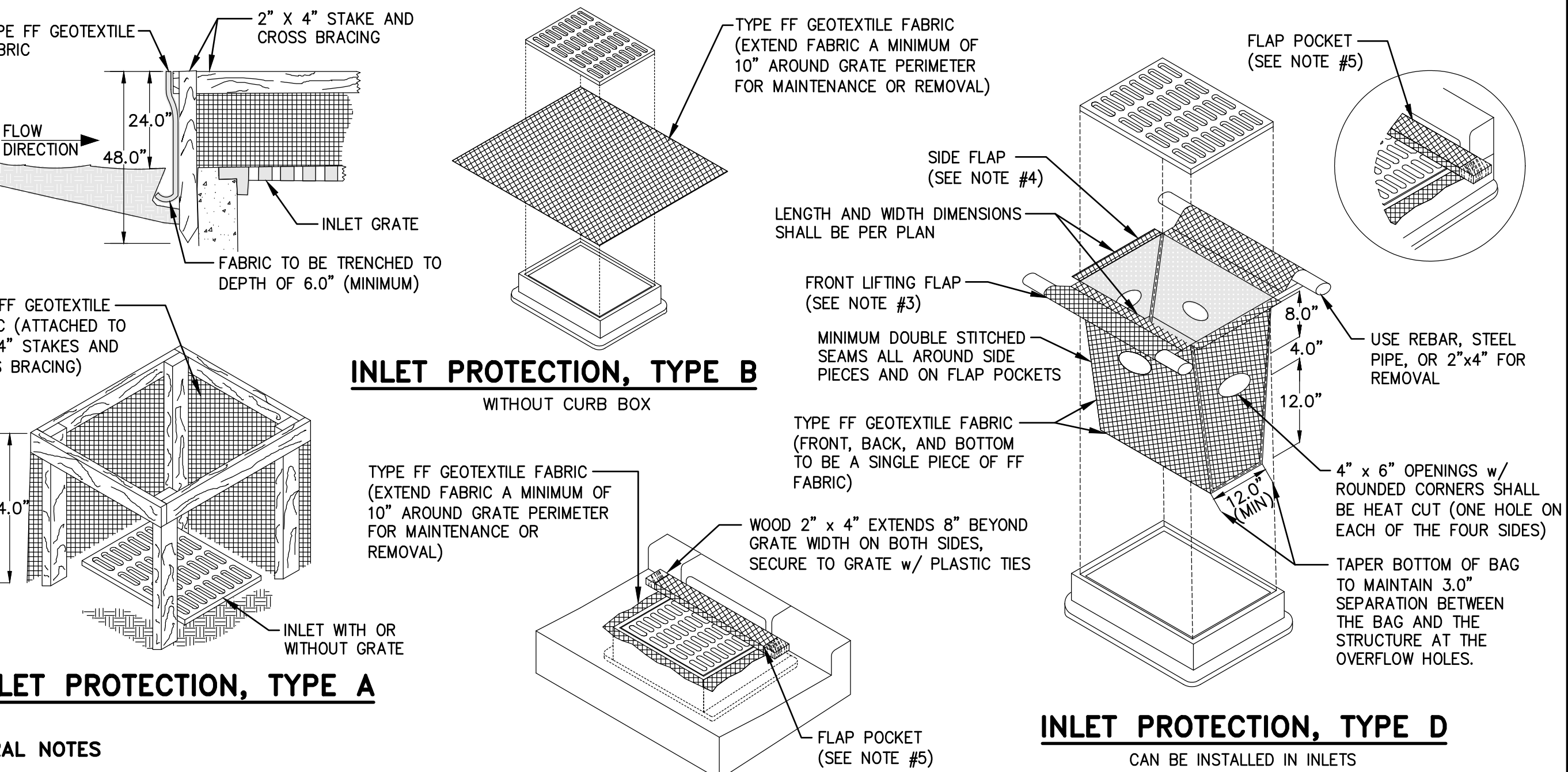


**TEMPORARY CONCRETE WASHOUT FACILITY**

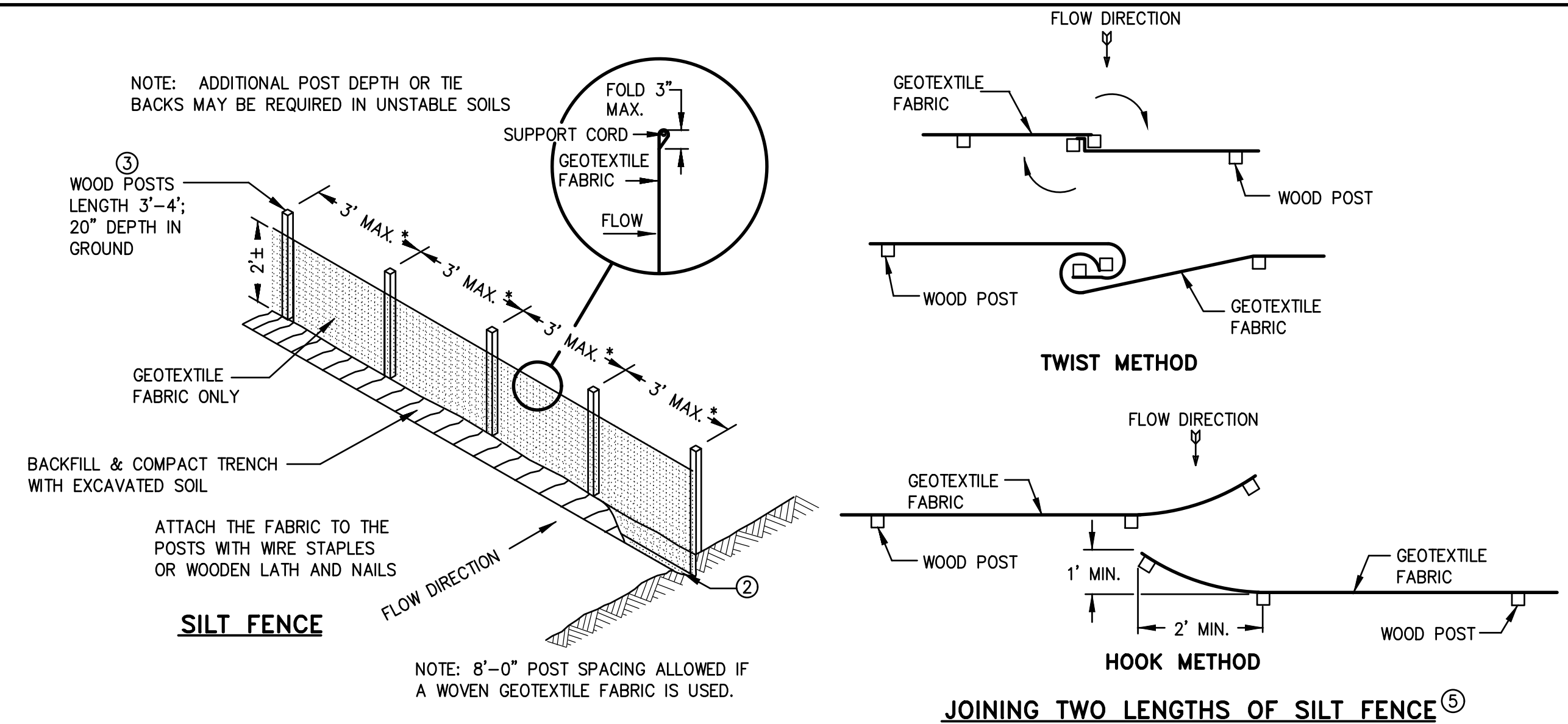


**TRACKOUT CONTROL DETAIL**

- DIVERT FLOW AWAY FROM TRACKING PAD USING CULVERTS, SHALLOW TRENCH OR DIVERSION DAM.
- ROCKS LODGED BETWEEN THE TIRES OF DUAL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE SITE.
- ON SITES WITH A HIGH WATER TABLE OR SATURATED SOILS, INSTALL A DOT TYPE R GEOTEXTILE FABRIC UNDER STONE TRACKING PAD.
- MAINTAIN UNTIL SITE IS PAVED/STABILIZED
- USING A FODS TRACKOUT SYSTEM INSTEAD OF THE STONE-BASED TRACKOUT CONTROL SYSTEM IS ACCEPTABLE.



**STORM DRAIN INLET PROTECTION**



**SILT FENCE**

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.

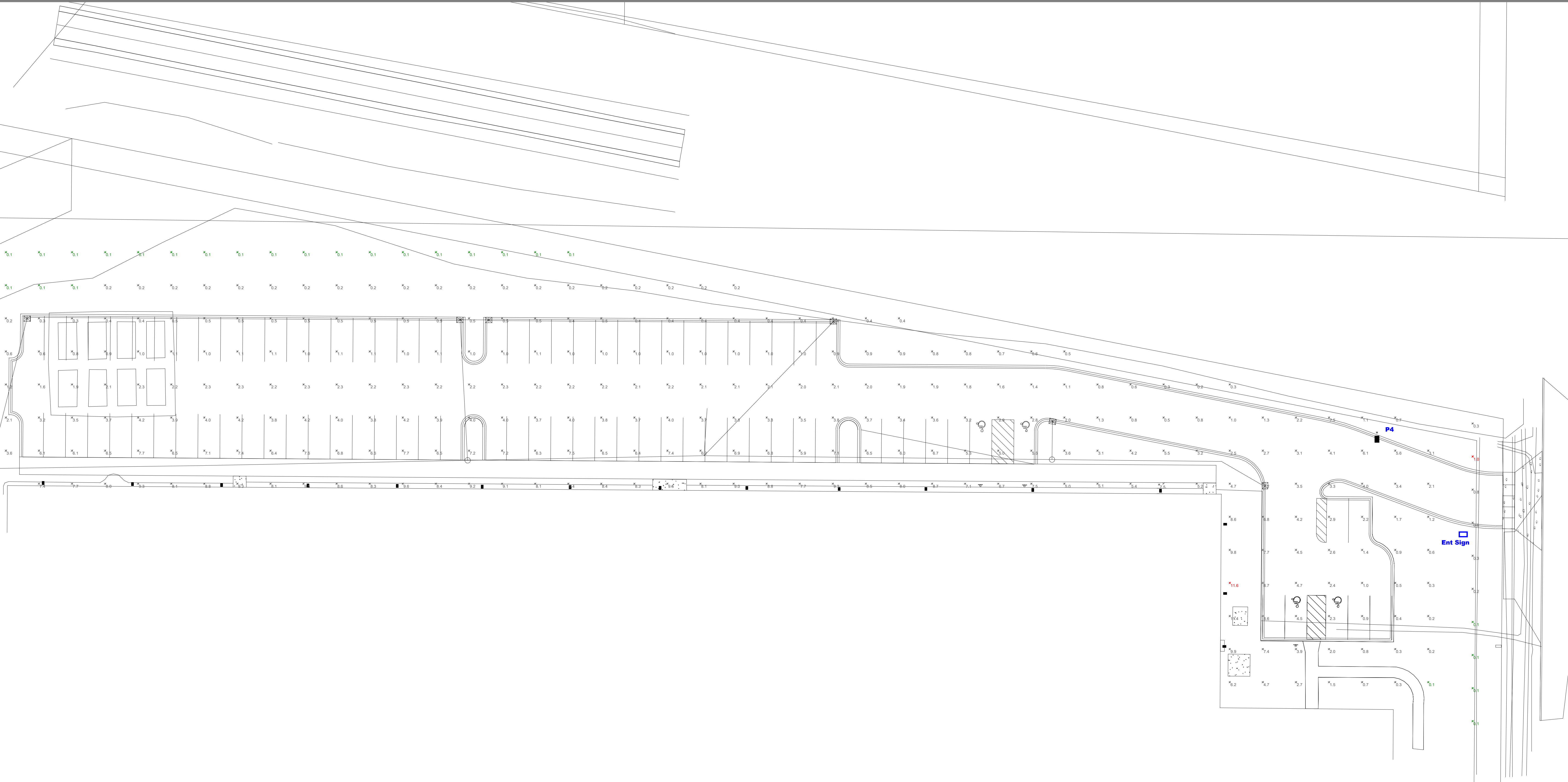
**GENERAL NOTES**

- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILTY FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILTY FENCE LENGTH.

**BELMARK PLANT 5 PARKING LOT ADDITION**  
**675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI**  
**MISCELLANEOUS DETAILS**

DESIGNED #	DRAWN #
PROJECT NO. B0039-09-24-00600	
DATE 10/9/24	
SHEET NO.	

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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CALCS AT GRADE LEVEL	X	3.1 fc	11.6 fc	0.1 fc	116.0:1	31.0:1

Schedule				
Label	Manufacturer	Catalog Number	Description	WATTAGE
WP	NICOR	OAL3150SUNVSBZ3 / OAL3100-200LENST4/OAL3SLIPFITARMBZ-	AREA LIGHT ON WALL MOUNT BRACKET	150
WP-ARM	ACUITY B	FRWB-DDBXD	UPSWEEP ARM	
P4	NICOR	OAL3150SUNVSBZ3 / OAL3100-200LENST4/ OAL3STRAIGHTARMBZ	AREA LIGHT ON 20' SQUARE STEEL POLE	150
POLE		SSS QS 20 4C DM19 DDBXD	20' SQUARE STEEL POLE	

## OAL3

### LED Area Light

#### Product Description

The OAL3 LED Area Light delivers high efficiency with maximum energy savings and advanced controls to suit a variety of applications. Its robust, low-profile housing is comprised of die-cast aluminum and has a modern, single piece design that will blend into most environments. Quick to install, the OAL3 is a versatile fixture with field interchangeable precision lenses in Type II, III, IV and V distributions. The OAL3 is available in Wattage selectable 150/120/100W and 300/240/200W models with selectable CCT (3K/4K/5K) and is ideal for use in parking lots, roadways, recreational or public venues, walkways, auto dealerships, campuses, and other commercial environments.

#### Construction

- Heavy duty die-cast construction with single piece housing
- Low profile 3" design provides low wind resistance
- UV stabilized powder coat finish
- Stainless steel hardware and electrical SJ cord connection
- Latched and hinged driver compartment
- Latched and hinged optical chamber
- Injection molded silicone gaskets on all hinged areas.

#### Optical System

- Field swappable, high impact polycarbonate lenses
- Type III distribution standard
- Type II, IV and V distributions optional
- Selectable CCT of 3000/4000/5000K on 150W and 300W models
- Single CCT of 5000K on 200W model
- Standard 80 CRI to improve safety and color definition in public places
- See BUG Rating on the Performance Data Table

#### Electrical

- Wattage selectable 150/120/100W and 300/240/200W
- Input voltage of 120-277VAC or 277-480VAC
- Surge protection 10kA on 120-277VAC and 20kA on 277-480VAC provides single phase protection for line/neutral, line/ground and neutral/ground in accordance with IEEE C62.41 2002 C High category
- Operating temperature rating of -40° to 113°F (-40°C to 45°C)

#### Controls

- 3-pin receptacle with shunt standard
- Optional 7 pin receptacle and shunt available
- Optional PIR or Microwave motion sensor accessories available ("S" option required)
- 12V output allows for control of most standard low voltage sensors
- Standard full-range dimming with 0-10VDC dimmers

#### Mounting and installation

- Fixture mounts to arms via unique dove tail system for easy installation
- Mounting arms available for a variety of installations. All mounting arms are die-cast aluminum and available in Bronze, White or custom color
- Adjustable Pole Mount Arm provides up to 180° of adjustability and mounts to round or square poles
- Slipfitter Mount Adaptor installs directly to a nominal 2.5" tenon
- Straight Mount Arm mounts to a round or square pole
- Trunnion Mounting Arm easily mounts to a variety of surfaces
- Wall Mount Box allows for wall mounting in tandem with the Straight Arm or Pole Mount Arm

#### Listings

- cULus1598 Listed for Wet locations
- RoHS Compliant
- IP65 Rated
- DLC 5.1 Premium Listed
- Vibration rated to 3G per ANSI/IEEE C136.31-2010
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- TM-21 Reported L70(9k) life >50,000 hours
- LM-79, LM-80 testing performed in accordance with IESNA standards

#### Warranty

- 5-year limited system warranty standard
- Warranty does not cover product failure due to an overvoltage event (power surge)

Project

Catalog

Type

Date



**OAL3**  
**LED Area Light**  
 Selectable Wattage  
 Selectable CCT



**NICOR**  
**OUTDOOR**



**Job Name :** BELMARK PLANT 1 ADDITION  
**Manufacturer :** NICOR LIGHTING  
**Model Number :** OAL3150SUNVSBZ3 / OAL3JPOLEJARMBZ

**Type :**  
**P4**

## Ordering

Ordering Information									
Series	Version	Wattage	Voltage	CCTs	Finish	Optic	Daylight Sensor Socket	Motion Sensor Socket	Example: OAL3150SUNVSBZ3
OAL	3	<input type="checkbox"/> 1505	<input type="checkbox"/> UNV (120-277 VAC)	<input type="checkbox"/> S (3000/4000/5000K)	<input type="checkbox"/> BZ (Bronze)	<input type="checkbox"/> 2 (Type II)	<input type="checkbox"/> _ (3 Pin Receptacle & Shunt)	<input type="checkbox"/> _ (None)	
		<input type="checkbox"/> 200 <sup>1</sup>	<input type="checkbox"/> HV (277-480 VAC)	<input type="checkbox"/> 5K (5000K) <sup>2</sup>	<input type="checkbox"/> WH (White)	<input type="checkbox"/> 3 (Type III)	<input type="checkbox"/> 7 (7 Pin Receptacle & Shunt)	<input type="checkbox"/> S (12V 3.5mm Socket)	
		<input type="checkbox"/> 3005			<input type="checkbox"/> CC (Custom) <sup>3</sup>	<input type="checkbox"/> 4 (Type IV)			
						<input type="checkbox"/> 5 (Type V)			

Specifications and dimensions subject to change without notice.  
 1) 200W is single wattage only  
 2) 200W available in 5000K standard. Call factory for other CCT options.  
 3) Contact factory for MOQ and lead times on CC (Custom) finishes.

### Mounting Accessories accessories sold separately

- Bronze Adjustable Pole Mounting Arm  OAL3JPOLEJARMBZ
- White Adjustable Pole Mounting Arm  OAL3JPOLEJARMWH
- Bronze 2" Diameter Slipfitter Adapter  OAL3SLIPFITARMBZ
- White 2" Diameter Slipfitter Adapter  OAL3SLIPFITARMWH
- Bronze 6" Straight Mounting Arm  OAL3STRAIGHTARMBZ
- White 6" Straight Mounting Arm  OAL3STRAIGHTARMWH
- Bronze 4" Trunnion Mounting Arm  OAL3TRUNNIONBZ
- White 4" Trunnion Mounting Arm  OAL3TRUNNIONWH
- Bronze Wall Mount Box<sup>4</sup>  OAL3WALLBOXBZ
- White Wall Mount Box<sup>4</sup>  OAL3WALLBOXWH

Accessories are subject to change without notice.  
 4) The Wall Box accessory requires one of the following mounting arms:  
 OAL3STRAIGHTARMXX or OAL3JPOLEJARMXX

### Optic Lens Accessories<sup>5</sup>

- Type II Optic Lens for OAL3 100W-200W  OAL3100-200LENST2
- Type IV Optic Lens for OAL3 100W-200W  OAL3100-200LENST4
- Type V Optic Lens for OAL3 100W-200W  OAL3100-200LENST5
- Type II Optic Lens for OAL3 300W  OAL3300LENST2
- Type IV Optic Lens for OAL3 300W  OAL3300LENST4
- Type V Optic Lens for OAL3 300W  OAL3300LENST5

Accessories are subject to change without notice.  
 5) Optic lenses Type II, Type IV, Type V can also be field installed.

### Shield Accessories

- Glare Shield :100/150/200W Bronze Finish  OAL3100-200SHIELDDBZ
- Glare Shield :100/150/200W White Finish  OAL3100-200SHIELDWH
- House Side Shield : 300W Bronze Finish  OAL3300SHIELDDBZ
- House Side Shield : 300W White Finish  OAL3300SHIELDWH

### Daylight Sensor Accessories

- Standard Voltage 3-Pin photocell (120-277 VAC)  OAL-PHOTOCELL

### Motion Sensor Accessories<sup>6</sup>

- Passive Infrared Motion Sensor  H12VSENSORPIR
- Microwave Motion Sensor  H12VSENSORMW
- Remote Control for Sensors  H12VREMOTE

Accessories are subject to change without notice.  
 6) Motion sensors for use on socket enabled ("S") fixtures only



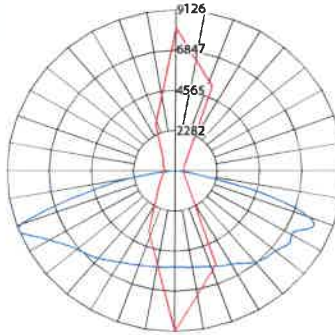
### Photometric Data

#### OAL3 150W Type II 3000K

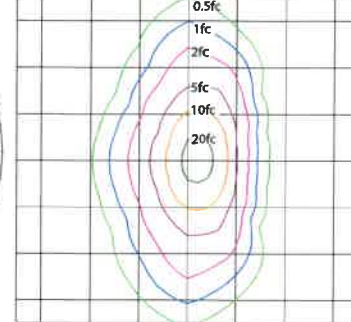
Input Voltage (VAC)	120-277
System Level Power (W)	150
120V Current (A)	1.25
277V Current (A)	0.54
Delivered Lumens (Lm)	18964
System Efficacy (Lm/W)	126.4
Correlated Color Temp (K)	3012
Color Rendering Index (CRI)	81
Horizontal Beam Angle	152.8
Vertical Beam Angle	84.7
Spacing Criteria (0-180)	1.52
Spacing Criteria (90-270)	1.86
BUG Rating	B3-U0-G3

#### Intensity Summary (Candle Power)

Angle	Mean CP
0	5474
5	5888
15	6464
25	6707
35	6182
45	4052
55	1545
65	617
75	272
85	47
90	0



15' Mounting Height (1 square = 225 sq ft)



#### Zonal Lumen Summary

Zone	Lumens	% of Luminaire
0-30	4472	23.6%
0-40	7646	40.3%
0-60	14506	76.5%
0-90	18964	100%
90-180	0	0%
0-180	18964	100%

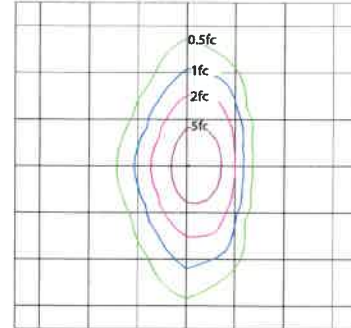
#### CCT Data Multiplier

4000K	1.098
5000K	1.055

#### Wattage Data Multiplier

120W	0.800
100W	0.667

25' Mounting Height (1 square = 625 sq ft)

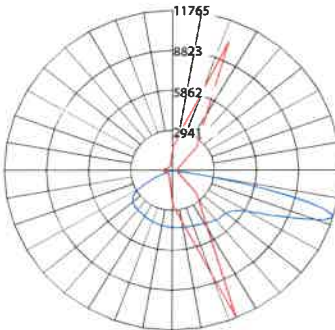


#### OAL3 150W Type III 3000K

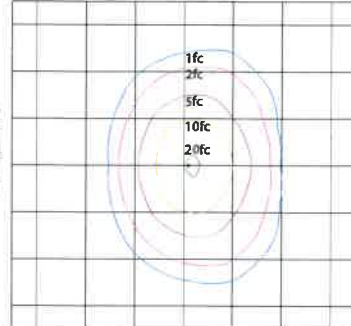
Input Voltage (VAC)	120-277
System Level Power (W)	150
120V Current (A)	1.25
277V Current (A)	0.54
Delivered Lumens (Lm)	18940
System Efficacy (Lm/W)	126.3
Correlated Color Temp (K)	3017
Color Rendering Index (CRI)	81
Horizontal Beam Angle	140.7
Vertical Beam Angle	52.1
Spacing Criteria (0-180)	2.28
Spacing Criteria (90-270)	1.54
BUG Rating	B3-U0-G3

#### Intensity Summary (Candle Power)

Angle	Mean CP
0	4233
5	4405
15	4864
25	5567
35	6423
45	7479
55	6320
65	568
75	279
85	55
90	0



15' Mounting Height (1 square = 225 sq ft)



#### Zonal Lumen Summary

Zone	Lumens	% of Luminaire
0-30	3679	19.4%
0-40	6581	34.7%
0-60	14110	74.5%
0-90	18940	100%
90-180	0	0%
0-180	18940	100%

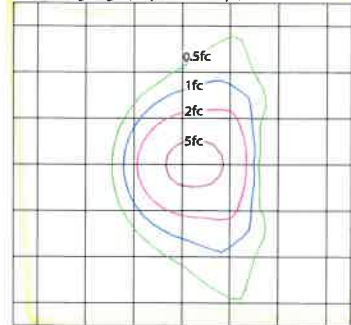
#### CCT Data Multiplier

4000K	1.098
5000K	1.055

#### Wattage Data Multiplier

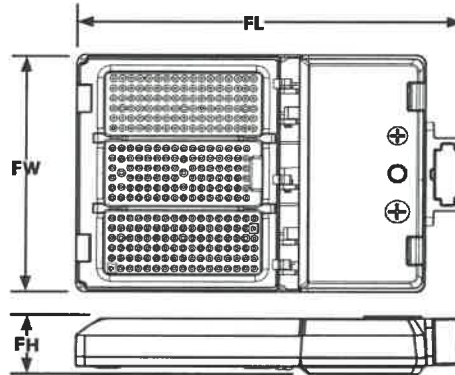
120W	0.800
100W	0.667

25' Mounting Height (1 square = 625 sq ft)

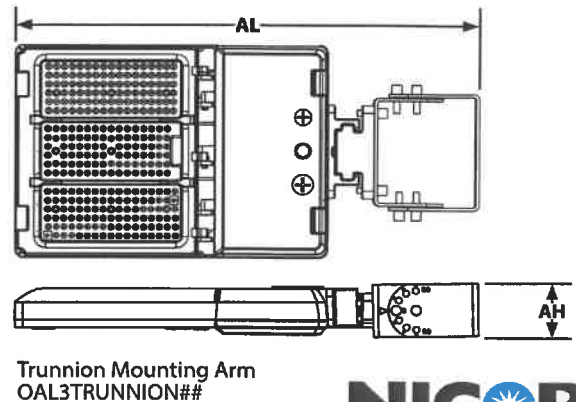
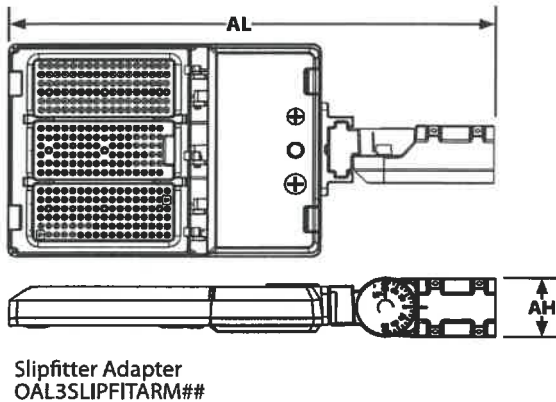
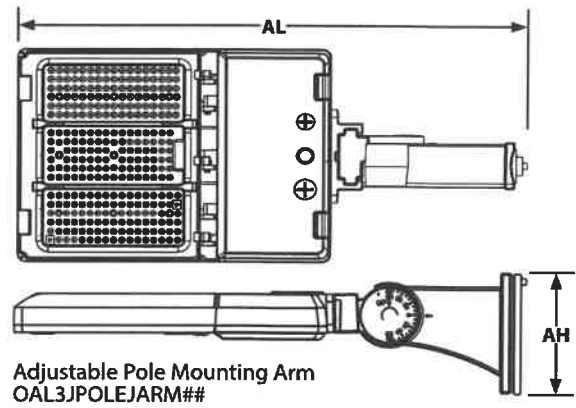
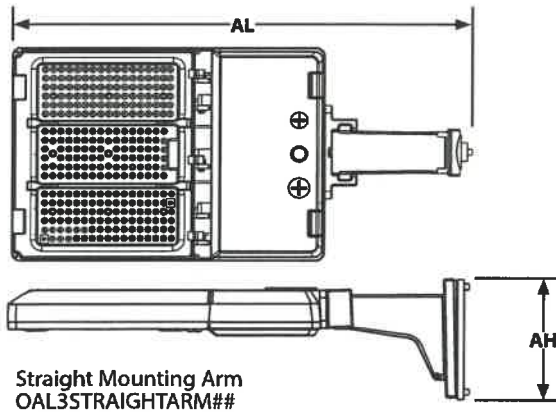


**Dimensions**

	150W & 200W	300W
Fixture Length (FL)	17.2 in (437 mm)	21.3 in (540 mm)
Fixture Height (FH)	2.5 in (64 mm)	2.5 in (64 mm)
Fixture Width (FW)	11.2 in (284 mm)	14.0 in (355 mm)

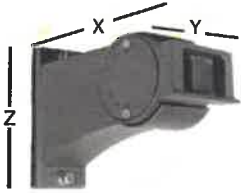


	Straight Arm	Adjustable Arm	Slipfitter	Trunnion
150/200W With Arm Length (AL)	23.0 in (584 mm)	25.5 in (647 mm)	24.3 in (616 mm)	23.3 in (592 mm)
300W With Arm Length (AL)	27.1 in (688 mm)	29.4 in (748 mm)	28.3 in (719 mm)	27.4 in (695 mm)
Arm Height (AH)	6.3 in (160 mm)	6.3 in (160 mm)	3.0 in (77 mm)	2.8 in (70 mm)





### Mounting Accessories



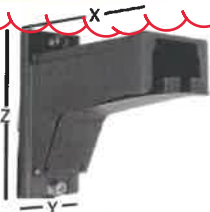
Adjustable Pole Mounting Arm for square or round pole OAL3JPOLEJARM##



Slipfitter Adapter OAL3SLIPFITARM##

Dimensions (inch)	X	Y	Z	Note
OAL3JPOLEJARM	7.6	2.4	6.3	
OAL3SLIPFITARM	7.0	3.0	3.0	Fits 2.5" tennon
OAL3STRAIGHTARM	6.0	2.9	6.2	
OAL3TRUNNION <sup>6</sup>	4.6	2.8	6.1	
OAL3WALLBOX	6.9	2.5	5.7	

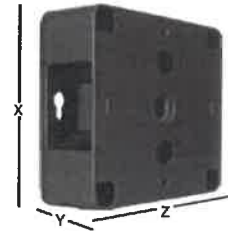
6) Dimensions are with Trunnion fully extended.



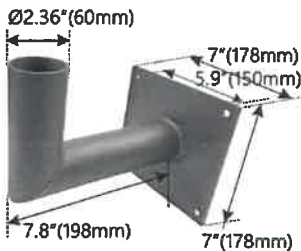
Straight Mounting Arm for square or round pole OAL3STRAIGHTARM##



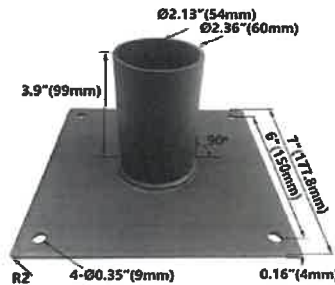
Trunnion Mounting Arm OAL3TRUNNION##



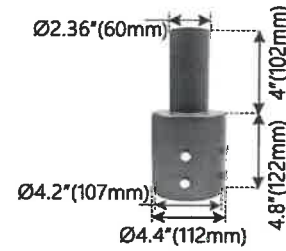
Trunnion Mounting Arm OAL3WALLBOX##



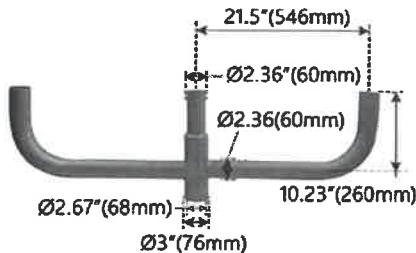
Wallmount 90° Bracket OPL41WM2



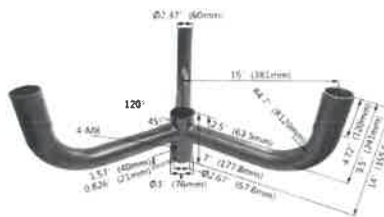
180° Wallmount Bracket OPL41WM1



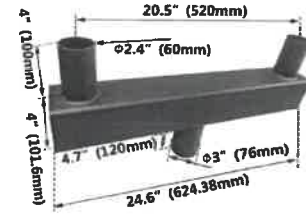
4" Round Tenon Adapter OPL41TNA



180° Triple Bullhorn OPL41BH3S



Triple 120° Bullhorn OPL41BH3A



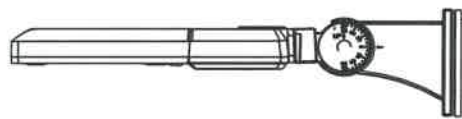
Low Profile Double Tenon OPL41TN2

This device complies with part 15 of the FCC Rules. Operation is subject to the following two conditions: (1) This device may not cause harmful interference, and (2) this device must accept any interference received, including interference that may cause undesired operation.

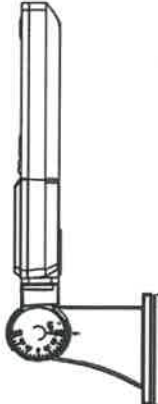
NOTE: This equipment has been tested and found to comply with the limits for a Class A digital device, pursuant to part 15 of the FCC Rules. These limits are designed to provide reasonable protection against harmful interference when the equipment is operated in a commercial environment. This equipment generates, uses, and can radiate radio frequency energy and, if not installed and used in accordance with the instruction manual, may cause harmful interference to radio communications. Operation of this equipment in a residential area is likely to cause harmful interference in which case the user will be required to correct the interference at his own expense.

**EPA Data**

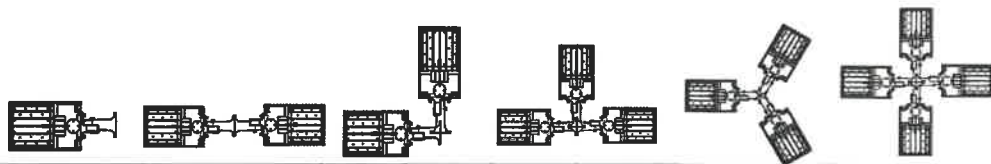
Weight (1 Luminaire)	
150W /200W	9.70 lbs (4.40 kg)
300W	13.12 lbs (5.95 kg)



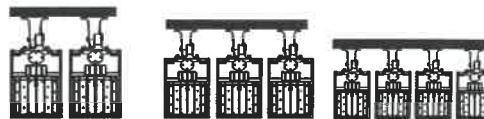
Mounting Angle 0°



Mounting Angle 90°



Fixture	Angle	1 Luminaire		2 Luminaires 180°		2 Luminaires 90°		3 Luminaires 90°		3 Luminaires 120°		4 Luminaires 90°	
		ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²
150W/200W	0	0.550	0.051	1.110	0.103	1.020	0.095	1.180	0.110	1.490	0.138	1.180	0.110
	10	0.557	0.052	1.110	0.103	1.147	0.107	1.590	0.148	2.066	0.192	1.590	0.148
	30	1.180	0.110	1.180	0.110	2.080	0.193	2.100	0.195	3.190	0.296	2.100	0.195
	60	1.890	0.176	1.890	0.176	2.210	0.205	2.780	0.258	4.270	0.397	2.780	0.258
	90	2.097	0.195	2.097	0.195	2.280	0.212	2.960	0.275	4.980	0.463	2.960	0.275
300W	0	0.650	0.060	1.310	0.122	1.200	0.111	1.696	0.158	1.770	0.164	1.696	0.158
	10	0.730	0.068	1.310	0.122	1.407	0.131	2.085	0.194	2.708	0.252	2.085	0.194
	30	1.620	0.151	1.620	0.151	2.257	0.210	2.894	0.269	4.380	0.407	2.894	0.269
	60	2.620	0.243	2.620	0.243	3.243	0.301	3.866	0.359	5.920	0.550	3.866	0.359
	90	2.920	0.271	2.920	0.271	3.526	0.328	4.132	0.384	6.935	0.644	4.132	0.384



Fixture	Angle	Double Bullhorn		Triple Bullhorn		Quad Bullhorn	
		ft²	m²	ft²	m²	ft²	m²
150W/200W	0	0.670	0.062	1.000	0.093	1.340	0.124
	10	1.114	0.103	1.607	0.149	2.228	0.207
	30	2.360	0.219	3.540	0.329	4.720	0.439
	60	3.780	0.351	5.670	0.527	7.560	0.702
	90	4.194	0.390	6.291	0.584	8.388	0.779
300W	0	0.792	0.074	1.187	0.110	1.583	0.147
	10	1.460	0.136	2.190	0.203	2.920	0.271
	30	3.240	0.301	4.860	0.452	6.480	0.602
	60	5.540	0.515	7.860	0.730	11.080	1.029
	90	5.840	0.543	8.760	0.814	11.680	1.085