



Planning/Zoning Application

Planning & Zoning Department

Submitted On:

Oct 30, 2024, 03:40PM EDT

| | |
|---|--|
| Parcel Number: (Include ALL parcels) | ED-F0094-1 |
| Nearest property address to the project site: | Street Address: 675 HERITAGE RD City: DE PERE State: W Zip: 54114 |
| Check each project type that is being applied for: | Site Plan |
| Current De Pere Zoning Districts: | BP-2 |
| Existing Site Land Uses: | Business Park/Industrial |
| Proposed Site Land Uses: | Business Park/Industrial |
| Does the project comply with the Comprehensive Plan? | Yes |
| Has City Staff been contacted for a preapplication meeting? | Yes |
| Property Owner: | First Name: Karl Last Name: Schmidt |
| Is the property owner's address the same as the nearest property address? | No |
| Property Owner's Address: | Street Address: 600 Heritage Road City: De Pere State: W Zip: 54115 |
| Property Owner's Phone Number: | 9203300764 |
| Property Owner's Email Address: | karl.schmidt@belmark.com |
| Is someone processing the project for the property owner as their authorized representative? | Yes |
| Authorized Representative's Name: | First Name: Carolyn Last Name: Adler |
| Authorized Representative's Business Name: | McMahon Associates |

| | |
|---|---|
| Authorized Representative's Phone Number: | 920-751-4200 |
| Authorized Representative's Email Address: | cadler@mcmgrp.com |
| Please attach a PDF copy of the site plan. | 2024-10-30 Belmark Plant 5 Parking Lot Addition.pdf 2024_1022 Belmark Plant 5 Vestibule - Construction Documents_Sealed.pdf |
| Would you like a basic checklist of information to include in the site plan? | No |
| How do you plan on paying for your application? | Online with a credit card |
| Total Due: | \$350.00 |
| Signature Data | First Name: Carolyn Last Name: Adler Email Address: cadler@mcmgrp.com  Signed at: October 30, 2024 3:37pm America/New_York |
| User's Session Information | IP Address: 67.53.157.66 Referrer URL: |

CITY OF DE PERE

335 South Broadway, De Pere, WI 54115 | www.de-pere.org



November 7, 2024

Carolyn Adler
McMahon Associates
1455 McMahon DR
Neenah, WI 54956

RE: Site Plan Review for the Belmark Plant 5 Vestibule Addition at 675 Heritage RD
(Parcel ED-F0094-1)

Dear Carolyn:

Thank you for the Belmark Plant 5 Vestibule Addition at 675 Heritage RD. The City of De Pere staff reviewed the site plan on November 7, 2024, and recommended approval with the following condition that must be addressed prior to obtaining occupancy permits.

- After the exterior lighting is installed, provide a statement from the installer that new lighting is dark sky compliant and does not exceed Zoning Ordinance 14-95 regulations.

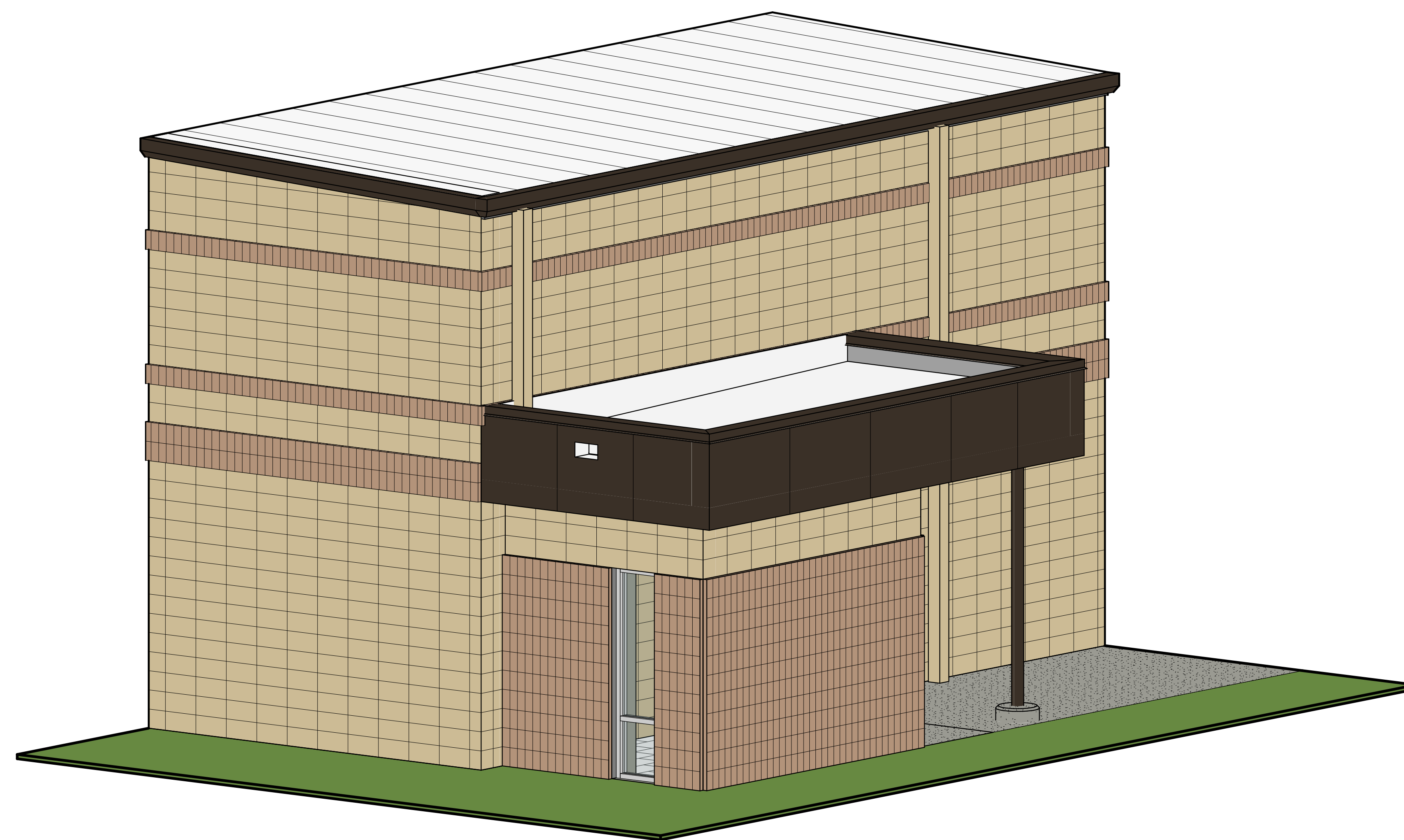
You may now proceed to the Inspection Division to begin the process of obtaining permits. Should you have any questions regarding the decision or require further information, feel free to contact me at 339-4043 or pschleinz@deperewi.gov.

Sincerely,

A handwritten signature in black ink that reads "Peter Schlein". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Peter Schlein
Senior Planner | Zoning Administrator

cc: Daniel J. Lindstrom, AICP, Development Services Director
Dennis Jensen, Senior Building Inspector



Belmark Plant 5 - Vestibule

675 Heritage Rd, De Pere, WI 54115



CONSTRUCTION DOCUMENTS

10/22/2024

PROJECT NUMBER: 924446

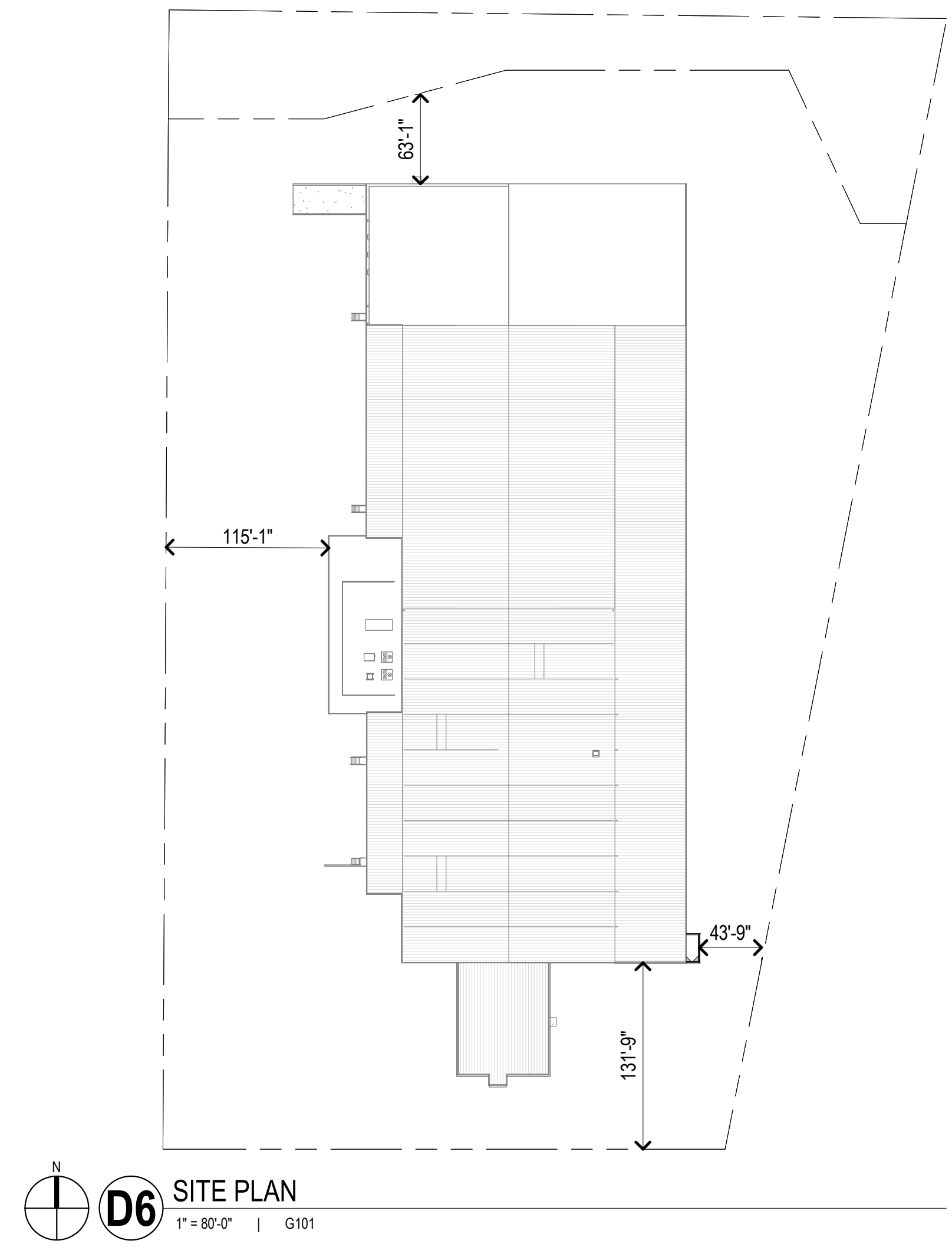
CODE INFORMATION:

PROJECT NAME: BELMARK PLANT 5 VESTIBULE ADDITION
PROJECT OWNER: BELMARK
PROJECT LOCATION: 600 HERITAGE RD, DE PERE, WI 54115
PROJECT DESCRIPTION: THE PROPOSED PROJECT CONSISTS OF A VESTIBULE ADDITION AT AN EXISTING EXIT ON THE SOUTHEAST CORNER OF THE EXISTING MANUFACTURING BUILDING
GOVERNING CODES & REVIEWING AGENCIES
CODES:
BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
EXISTING BUILDING CODE: 2015 INTERNATIONAL EXISTING BUILDING CODE
STRUCTURAL CODE: 2015 INTERNATIONAL BUILDING CODE
ENERGY CODE: 2015 INTERNATIONAL ENERGY CONSERVATION CODE
MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE
GAS CODE: 2015 INTERNATIONAL FUEL GAS CODE
ACCESSIBILITY CODE: 2009 ANSI - ACCESSIBLE & USABLE BUILDINGS & FACILITIES
FIRE CODE: 2015 INTERNATIONAL FIRE CODE AS REFERENCED BY SPS 361.03(14)
PLUMBING CODE: WISCONSIN PLUMBING CODE
ELECTRICAL CODE: NEC 2017
FIRE DEPARTMENT: FIRE CHIEF ALAN MATZKE, 400 LEWIS ST, DE PERE, WI 54115 (920) 339-4041
ZONING: PLANNING/ ZONING DEPT. HEAD, DAN LINDSTROM, 335 S BROADWAY, DE PERE, WI 54115, (920) 339-4043
BUILDING PLAN REVIEWING AGENCY: STATE COUNTY CITY OTHER
BUILDING DATA
OCCUPANCY TYPE(S):
 ASSEMBLY: A-1 A-2 A-3 A-4
 BUSINESS B
 EDUCATION E
 FACTORY: F-1 F-2
 HIGH-HAZARD: H-1 H-2 H-3 H-4
 INSTITUTIONAL: I-1 I-2 I-3 I-4
 MERCHANTILE M
 RESIDENTIAL: R-1 R-2 R-3 R-4
 STORAGE: S-1 S-2
 UTILITY U
PRIMARY OCCUPANCY: FACTORY F-1
LEVEL OF ALTERATION (IEBC): N/A 1 2 3
TYPE OF CONSTRUCTION: IA IB ICA ICB ICS ICSA ICSB ICSA ICSB ICSA ICSB
FIRE PROTECTION
FIRE PROTECTION SYSTEMS PROVIDED:
 AUTOMATIC SPRINKLER SYSTEM (IEC 903)
 STAND PIPE SYSTEM (IEC 905)
 PORTABLE FIRE EXTINGUISHERS (IEC 906), REF. LIFE SAFETY PLAN(S)
 FIRE ALARM & DETECTION SYSTEM (IEC 907)
 EMERGENCY ALARM SYSTEM (IEC 908)
 SMOKE CONTROL SYSTEM (IEC 909)
 SMOKE & HEAT VENTS (IEC 910)
 FIRE COMMAND CENTER (IEC 911)
 FIRE DEPARTMENT CONNECTIONS (IEC 912)
 FIRE PUMP (IEC 913)
FIRE RATED CONSTRUCTION:
 NO PLANNED MODIFICATIONS

EGRESS REQUIREMENTS
 EXIT TRAVEL DISTANCE (TABLE 1011.2): (F-1) 250', (B) 300'
 DEAD END CORRIDORS: 50'
 COMMON PATH OF EGRESS TRAVEL: 100'
BUILDING AREA & HEIGHT LIMITATIONS
ALLOWABLE AREA & HEIGHT DETERMINED USING:
 ACCESSORY OCCUPANCIES:
 N/A
 NONSEPARATED OCCUPANCIES, ALLOWABLE AREA IS BASED ON MOST RESTRICTIVE OCCUPANCY:
 MOST RESTRICTIVE OCCUPANCY:
 SEPARATED OCCUPANCIES, ALLOWABLE AREA IS BASED ON SUM OF RATIOS OF ACTUAL TO ALLOWABLE
 BUILDING IS UNLIMITED AREA PER SECTION 501
 BUILDING IS ONLY BEING ALTERED, NO SQUARE FOOTAGE ADDED
BUILDING AREA & HEIGHT LIMITATIONS
 ALLOWABLE BUILDING HEIGHT PER TABLE 504.3: 75'
 ALLOWABLE NUMBER OF STORIES PER TABLE 504.4: 3
 ALLOWABLE AREA: UNLIMITED

| AREA & OCCUPANCY TABLE | | | | |
|---|-------------------|-----------|-------------|---------------|
| OCCUPANCY CLASSIFICATION | AREA | | OCCUPANTS | |
| | FUNCTION OF SPACE | AREA (SF) | LOAD FACTOR | OCCUPANT LOAD |
| FACTORY (F-1) - MODERATE HAZARD | Industrial | 105 | 100 | 1.1 |
| ADDITION | | 105 | | 1.1 |
| BUSINESS (B) | Business Areas | 5,013 | 100 | 50.1 |
| FACTORY (F-1) - MODERATE HAZARD | Industrial | 38,655 | 100 | 386.6 |
| STORAGE (S-1) - MODERATE HAZARD (WAREHOUSE) | Warehouses | 67,495 | 500 | 175.0 |
| EXISTING FIRST FLOOR | | 131,162 | | 611.7 |
| FACTORY (F-1) - MODERATE HAZARD | Industrial | 19,842 | 100 | 198.4 |
| EXISTING MEZZANINE | | 19,842 | | 198.4 |
| GRAND TOTAL | | 151,110 | | 811.1 |

NOTE: VESTIBULE ADDITION ADDS (1) ONE OCCUPANT TO OVERALL BUILDING OCCUPANT COUNT. NO IMPACT TO RESTROOM COUNT.



milwaukee | madison | green bay | denver | atlanta

E
 PROJECT INFORMATION
Belmark Plant 5 - Vestibule

D 675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 10/22/2024 | CONSTRUCTION DOCUMENTS |

KEY PLAN

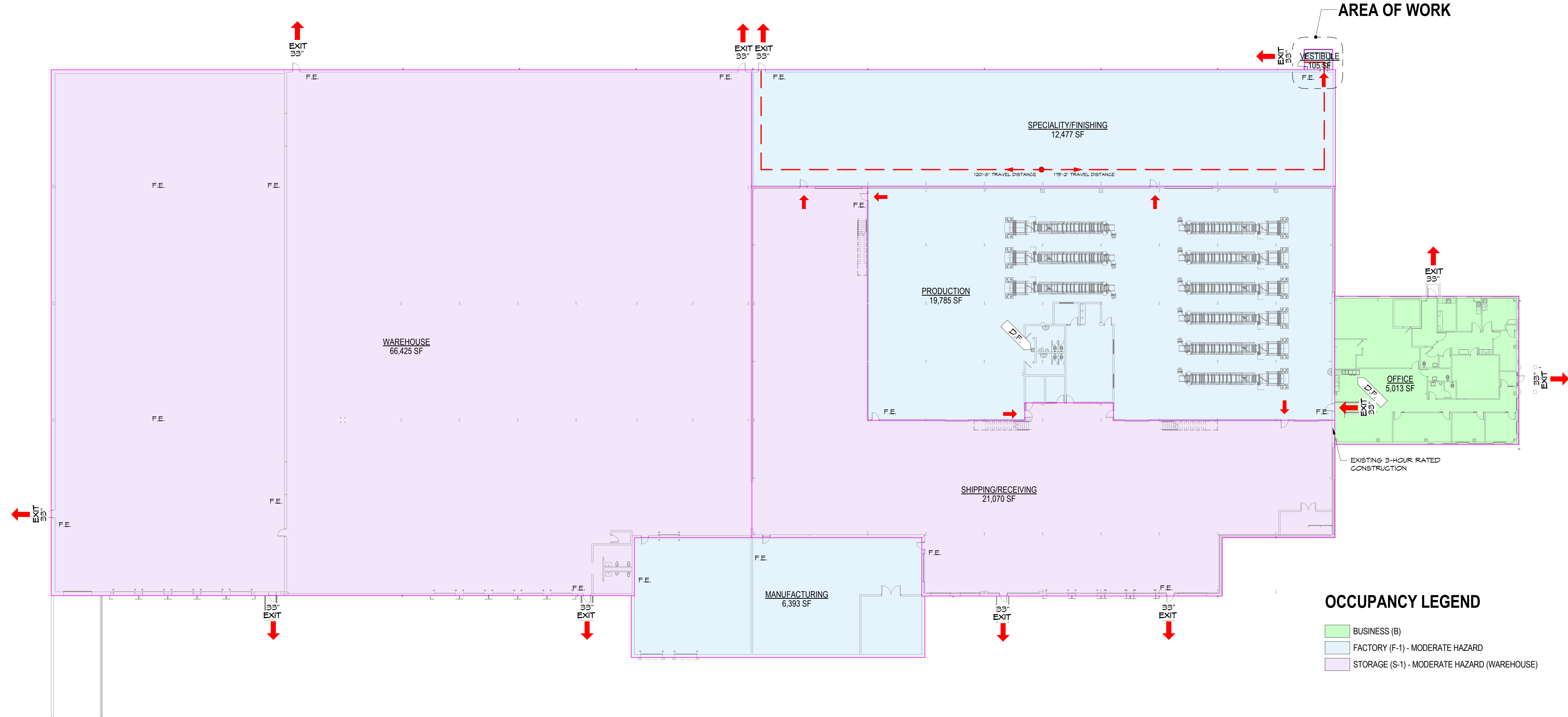
SHEET INFORMATION

PROJECT MANAGER MVL
 PROJECT NUMBER 924446

LIFE SAFETY PLAN

G101

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A1 1ST FLR LIFE SAFETY PLAN
 3/64" = 1'-0" | G101

1 | 2 | 3 | 4 | 5 | 6 | 7

GENERAL NOTES

D. MASONRY

- REFERENCES: ALL MASONRY CONSTRUCTION SHALL CONFORM TO THE FOLLOWING STANDARDS (LATEST EDITION PER BUILDING CODE):
 - ACI 530/ASCE 5/TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES"
 - ACI 530.1/ASCE 5/TMS 602 "SPECIFICATIONS FOR MASONRY STRUCTURES"
- ALL CELLS AND BOND BEAMS CONTAINING REINFORCING SHALL BE FULLY GROUTED.
- ALL CELLS BELOW EXTERIOR GRADE SHALL BE GROUTED SOLID UNLESS SPECIFICALLY DETAILED OTHERWISE ON DRAWINGS.
- WALLS AND PIERS SHALL BE GROUTED IN 4'-0" MAXIMUM LIFTS. HIGH LIFT GROUTING MAY BE USED WITH PROPER CLEAN-OUTS AND IN ACCORDANCE WITH CODE REQUIREMENTS. NOTIFY ENGINEER PRIOR TO USING HIGH LIFT GROUTING.
- ALL TYPICAL VERTICAL WALL REINFORCEMENT SHALL BE LOCATED AT THE CENTER OF THE MASONRY WALL UNLESS NOTED OTHERWISE. PROVIDE BAR POSITIONERS (48" OC AND TOP & BOTTOM) FOR REINFORCEMENT NOT TIED LAP TYPICAL WALL REINFORCEMENT PER THE FOLLOWING SCHEDULE (BASED ON IBC 2009 2107.3):

| BAR SIZE | LAP | BAR SIZE | LAP |
|----------|-----|----------|-----|
| #4 | 24" | #6 | 36" |
| #5 | 30" | #7 | 42" |
- PROVIDE HORIZONTAL REINFORCEMENT AT BOND BEAMS INDICATED ON PLAN AND MATCHING LAPPED CORNER BARS, LAP PER NOTE 5.
- ALL VERTICAL PIER REINFORCEMENT SHALL BE THE SIZE AND QUANTITY INDICATED ON PLAN. PROVIDE HALF THE QUANTITY ON EACH FACE OF WALL WITH 2-1/2" MASONRY COVER FOR PIERS REQUIRING TWO BARS PER CORE. FOR PIERS WITH ONE BAR PER CORE, SEE NOTE 4.5. PIER REINFORCEMENT LAP LENGTH SHALL BE THE MINIMUM INDICATED IN THIS SCHEDULE (BASED ON IBC 2009 2107.3 & ACI 318):

| BAR SIZE | LAP | BAR SIZE | LAP |
|----------|-----|----------|-----|
| #4 | 24" | #6 | 48" |
| #5 | 30" | #7 | 54" |
- JOINT REINFORCEMENT: PROVIDE STANDARD GALVANIZED TRUSS TYPE OR LADDER TYPE REINFORCEMENT FABRICATED OF 9 GA. MINIMUM WIRE DIAMETER (9/16" WALL OR EQUAL), AT EVERY SECOND BLOCK COURSE (18" OC VERTICALLY), IN ALL WALLS UNLESS NOTED OTHERWISE. INSTALL REINFORCEMENT IN THE FIRST AND SECOND BED JOINTS (8" OC), IMMEDIATELY ABOVE AND BELOW ALL OPENINGS EXTEND REINFORCEMENT 2'-0" BEYOND THE EDGE OF OPENINGS.
- ALL MASONRY WALLS ARE TO BE BRACED IN ACCORDANCE WITH OSHA GUIDELINES AND THE STANDARD PRACTICE FOR BRACING MASONRY WALLS UNDER CONSTRUCTION TO WITHSTAND LOCAL WIND LOADS INDICATED IN COMPONENTS AND CLADDING IN NOTE 1-5 DESIGN DATA.
- PROVIDE POCKETS IN MASONRY WALLS FOR STEEL BEAMS AND COLLUM BASE PLATES WHERE REQUIRED. BACK PATCH WITH CONCRETE UNO
- IN MASONRY BEARING WALLS, NO CHASES, RISERS, CONDUIT OR TOOTHING OF MASONRY SHALL OCCUR WITHIN 2'-0" OF CENTERLINE OF BEAM BEARING OR LOAD CONCENTRATION.
- WHERE SINGLE WYTHE OR COMPOSITE (GROUTED COLLAR JOINT) MASONRY REQUIRES CORBELING, PROVIDE SOLID MASONRY OR SOLID GROUTED MASONRY IN THE LOCATION OF THE LARGER COURSE AT EACH JOINT WHERE THE TRANSITION OCCURS. IF THE LARGER COURSE IS ABOVE THE TRANSITION JOINT, A BOND BEAM WITH (2) #4 CONTINUOUS SHALL BE USED. PROVIDE BOND BEAMS WHERE NOTED ON PLAN OR DETAIL.
- CONTROL JOINTS IN LOAD BEARING MASONRY: LOCATE AT MAXIMUM SPACING OF 24'-0" OC AND 12'-0" MAXIMUM FROM BUILDING CORNERS (UNLESS SPECIFICALLY SHOWN ON ARCHITECTURAL DRAWINGS). INTERIOR LOAD BEARING WALL CONTROL JOINT SPACING SHOULD NOT EXCEED 32'-0" OC AND WHERE THEY INTERSECT WITH EXTERIOR WALLS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL LOCATIONS OF GROUTED MASONRY NOT REQUIRED FOR STRUCTURAL DESIGN CONSIDERATIONS. LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO FLASHING AND SMALL OPENINGS. LOCATIONS SHOWING GROUTING ON ARCHITECTURAL DRAWINGS BUT NOT ON STRUCTURAL DRAWINGS ARE REQUIRED. SEE ARCHITECTURAL FOR ALL FLASHING NEEDS.
- WHEN GROUTING OPERATIONS ARE SUSPENDED FOR 1 HOUR OR LONGER, HORIZONTAL CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING GROUT FOUR A MINIMUM OF 1/2" BELOW THE TOP OF THE UPPERMOST GROUTED MASONRY UNIT.
- MASONRY VENEER ANCHORS: 2 PIECE ANCHORS THAT PERMIT DIFFERENTIAL MOVEMENT BETWEEN MASONRY VENEER AND STRUCTURAL BACKUP, HOT DIP GALVANIZED TO ASTM A153/A153M, CLASS B-2.

E. STRUCTURAL AND MISC. STEEL

- REFERENCES: STRUCTURAL STEEL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING STANDARDS AND AS NOTED:
 - AISC - "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"
 - AISC - "STEEL CONSTRUCTION MANUAL - 14th EDITION"
 - AWS - "STRUCTURAL WELDING CODE - STEEL"
 - SSPC - "STEEL STRUCTURES PAINTING MANUAL", VOLUME 1 AND 2
 - AISC - "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"
- STRUCTURAL STEEL TO BE STRENGTH SPECIFIED. ALL FIELD CONNECTIONS FOR MAIN MEMBERS SHALL BE MADE WITH MINIMUM 3/4" DIAMETER HIGH STRENGTH BOLTS (SEE SECTION I-6) UNO AND SHALL BE DESIGNED FOR 60% OF THE TOTAL CAPACITY OF THE BEAM FOR THE SIZE AND SPAN INDICATED IN ACCORDANCE WITH AISC STEEL CONSTRUCTION MANUAL PART 3. MINIMUM BEAM CONNECTIONS SHALL NOT BE LESS THAN THOSE INDICATED IN PART 7 FOR THE GIVEN BEAM DEPTH, BOLT SIZE, AND WELD SPECIFICATION. NO BOLTED CONNECTIONS SHALL HAVE FEWER THAN 2 BOLTS UNLESS SPECIFICALLY SHOWN ON DRAWINGS. FIELD WELDING IN LIEU OF BOLTS TO BE USED ONLY WITH APPROVAL OF ENGINEER.
- STEEL BEAMS SHALL BEAR A MINIMUM OF 8" ON MASONRY, UNLESS NOTED OTHERWISE.
- STEEL CONTRACTOR TO PUNCH HOLES IN STEEL MEMBERS FOR ARCHITECTURAL CONNECTIONS. REFER TO ARCHITECTURAL PLANS.
- FINISH ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO WEATHER AS NOTED IN SPECIFICATIONS. STEEL PERMANENTLY EXPOSED TO EARTH SHALL BE PAINTED WITH ONE COAT ASPHALTIC PAINT, MINIMUM, AFTER ERECTION. STRUCTURAL STEEL EXPOSED TO WEATHER OR OUTSIDE OF CONDITIONED SPACES SHALL BE GALVANIZED, UNO.
- ALL FIELD WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER.
- ALL FIELD WELDS LONGER THAN 4' SHALL BE SKIP WELDED IN 4" INCREMENTS UNTIL SPECIFIED WELD LENGTH IS ACHIEVED.
- PROVIDE ONE COAT MINIMUM OF PRIMER (RED OXIDE OR GRAY) IN SHOP. DO NOT PAINT SURFACES TO BE IN CONTACT WITH CAST-IN-PLACE CONCRETE OR SPRAY-ON FIRE PROOFING. TO BE WELDED OR TO RECEIVE WELDED HEADED SHEAR STUDS.
- ALL STRUCTURAL STEEL MUST BE ERECTED PLUMB AND SQUARE PER THE REQUIREMENTS OF AISC UNLESS NOTED OTHERWISE ON SPECIFIC LOCATIONS INDICATED ON THE DRAWINGS. GENERAL CONTRACTOR AND STEEL ERECTOR ARE RESPONSIBLE FOR COORDINATING THESE REQUIREMENTS WITH AISC, OSHA, AND ALL OTHER GOVERNING AUTHORITIES (LISTED OR NOT LISTED IN THESE DOCUMENTS).
- GROUT: ASTM C1107/C1107M, NON-SHRINK, PREMIXED COMPOUND CONSISTING OF NON-METALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING AGENTS.
 - 1. MINIMUM COMPRESSIVE STRENGTH AT 48 HOURS: 2,000 POUNDS PER SQUARE INCH.
 - 2. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: 3,000 POUNDS PER SQUARE INCH.

E-1. METAL DECKING

- REFERENCES: STEEL DECK CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING STANDARDS AND AS MODIFIED HEREIN:
 - SDI "DESIGN MANUAL FOR COMPOSITE DECKS, FORM DECKS, ROOF DECKS"
 - CELLULAR METAL FLOOR DECK AND ELECTRICAL DISTRIBUTION"
 - SDI "SPECIFICATION AND COMMENTARY FOR STEEL ROOF DECK"
- ROOF DECK: COMPLY WITH SDI "ROOF DECK SPECIFICATIONS" OF METAL THICKNESS, WIDTH AND DEPTH INDICATED ON PLAN SHEETS. PROVIDE GALVANIZED G-60 FINISH, UNLESS NOTED ON PLAN.
- DECK LAPS:

| | |
|--------------|--------|
| ROOF DECKING | 2' LAP |
|--------------|--------|
- SECURE ROOF DECK UNITS AT SIDELAPS AND FASTEN SIDELAPS AS INDICATED ON PLAN. VARIATIONS FROM PLAN INDICATED FASTENING MUST BE APPROVED BY ENGINEER. SHEAR AND UPLIFT FORCES FOR ALTERNATE SYSTEMS MUST EXCEED SPECIFIED FASTENING.
- ALL METAL DECK EXPOSED TO WEATHER, CAST-IN-PLACE CONCRETE, OR SPRAY-ON FIREPROOFING SHALL BE GALVANIZED (G-90 FINISH UNO)
- ROOF DECKING FASTENING SHALL BE PROVIDED TO RESIST A NET UPLIFT LOAD AS INDICATED ON THE COMPONENTS AND CLADDING DIAGRAM MINUS THE SELF-WEIGHT OF THE DECK AND 5 PSF SUPERIMPOSED DEAD LOAD OR AS INDICATED ON THE DRAWINGS.
- WELD DECK IN ACCORDANCE WITH AWS D1.3/D1.3M

H. ANCHORAGE

- ALL FIELD INSTALLED EXPANSION AND ADHESIVE ANCHORS SHALL BE APPROVED FOR THE TYPE AND INSTALLATION, FOR ITS APPLICATION, AND MATERIALS.
- ALL PERSONNEL INSTALLING ADHESIVE/MECHANICAL ANCHORS SHALL BE TRAINED BY THE MANUFACTURER ON PROPER INSTALLATION TECHNIQUE. TRAINING DOCUMENTATION SHALL BE AVAILABLE UPON REQUEST.
- MINIMUM ANCHOR EMBEDMENT, EDGE DISTANCE AND MINIMUM SPACING ARE PER MANUFACTURER'S REQUIREMENTS UNLESS NOTED OTHERWISE ON DRAWINGS.
- ADHESIVE FOR REINFORCING DOWELS IN EXISTING CONCRETE SHALL CONFORM TO ASTM C881-02, TYPE IV, GRADE 3, CLASS A, B, & C EXCEPT GEL TIMES AND EPOXY CONTENT. ADHESIVE SHALL CONSIST OF A TWO COMPONENT ADHESIVE SYSTEM CONTAINED IN SIDE BY SIDE PACKAGING CONNECTED TO A MIXING NOZZLE WHICH THOROUGHLY MIXES THE COMPONENTS AS IT IS INJECTED INTO THE HOLE. ADHESIVE SHALL HAVE PASSED ICC EVALUATION SERVICES, INC (ICC-ES) ACCEPTANCE CRITERIA 308 FOR LONG TERM CREEP. REINFORCING INSTALLED IN CONCRETE THAT MAY BECOME CRACKED UNDER SERVICE LOADS SHALL BE EVALUATED BY ICC-ES ACCEPTANCE CRITERIA 308 AND BE SPECIFICALLY APPROVED FOR USE IN CRACKED CONCRETE. CONTACT DESIGN PROFESSIONAL FOR DETERMINATION OF CRACKED OR UNCRACKED CONCRETE CONDITION UNLESS CONDITION IS NOTED ON THE DRAWINGS.
 - ADHESIVE ANCHORS IN CONCRETE (OR SOLID CMU AS NOTED):
 - HILTI HIT-HY 200 V3 (ICC-ES ESR 3187) - (SOLID CMU)
 - HILTI HIT-RE 800 V3 (ICC-ES ESR 3814)
 - ADHESIVE ANCHORS IN HOLLOW CMU OR PRECAST: HILTI HIT-HY 270 (ICC-ES ESR 4143)
- PLACE POST-INSTALLED ANCHORS TO AVOID CONFLICTS WITH EXISTING REBAR AND EMBEDMENTS.
- DRIILL & PREPARE HOLES AND INSTALL ANCHORS IN ACCORDANCE WITH EVALUATION REPORTS AND MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.
- POST-INSTALLED ANCHORS SHALL BE INSPECTED BY A QUALIFIED SPECIAL INSPECTOR IN ACCORDANCE WITH THE PROJECT STATEMENT OF SPECIAL INSPECTIONS AND THE EVALUATION REPORT. UNLESS OTHERWISE NOTED IN THE EVALUATION REPORT, THE SPECIAL INSPECTOR SHALL INSPECT THE INITIAL INSTALLATION OF EACH TYPE OF ANCHOR AND PERIODICALLY INSPECT INSTALLATIONS THEREAFTER.
- MECHANICAL ANCHORS SHALL HAVE BEEN EVALUATED BY THE ICC EVALUATION SERVICES, INC. (ICC-ES) WITH A PUBLISHED EVALUATION REPORT. ANCHORS INSTALLED IN CONCRETE THAT MAY BECOME CRACKED UNDER SERVICE LOADS SHALL BE EVALUATED BY ICC-ES ACCEPTANCE CRITERIA 183 AND BE SPECIFICALLY APPROVED FOR USE IN CRACKED CONCRETE. CONTACT DESIGN PROFESSIONAL FOR DETERMINATION OF THE CONCRETE CONDITION UNLESS NOTED ON THE DRAWINGS. ALL ANCHORS SHALL BE APPROVED FOR RESISTING WIND AND SEISMIC LOADING. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ACCEPTABLE EXPANSION ANCHORS FOR USE IN CONCRETE INCLUDE THE FOLLOWING:
 - EXPANSION ANCHORS: HILTI KWIK BOLT TZZ (ICC-ES ESR 1917)
 - SCREW ANCHORS: HILTI KWIK HUS-EZ (ICC-ES ESR 3027)



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PROJECT INFORMATION

Belmark Plant 5 - Vestibule

675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 10/22/2024 | CONSTRUCTION DOCUMENTS |

KEY PLAN

SHEET INFORMATION

| | |
|-----------------|--------|
| PROJECT MANAGER | MVL |
| PROJECT NUMBER | 924446 |

GENERAL STRUCTURAL NOTES

S001

FOUNDATION NOTES

A. FINISHED FLOOR ELEVATION = 99'-0" (UNLESS NOTED OTHERWISE).
 B. T/FTG = 95'-0", TYPICAL UNLESS NOTED OTHERWISE.
 C. T/WALL = 99'-0", TYPICAL UNLESS NOTED OTHERWISE.
 D. CONCRETE FOUNDATION WALLS SHALL BE 16" THICK UNLESS NOTED OTHERWISE.

A. WALL AND/OR FLOOR OPENINGS/RECESSES:
 • VERIFY ALL SIZES AND LOCATIONS WITH MECHANICAL, ELECTRICAL, PLUMBING, AND ARCHITECTURAL DRAWINGS.
 • COORDINATE THE LOCATIONS OF PLUMBING DRAINS AND EXTENT OF PITCHED SLABS WITH PLUMBING AND ARCHITECTURAL DRAWINGS.
 • COORDINATE THE LOCATION OF EMBEDDED/ RECESSED ELECTRICAL BOXES WITH ELECTRICAL AND ARCHITECTURAL DRAWINGS.

B. AT ALL RE-ENTRANT CORNERS, PROVIDE (2) #4 x 4'-0" LONG DIAGONAL BARS PLACED AT MID-DEPTH OF SLAB (3" MAX CLEAR SPACING).

C. FLOOR FLATNESS AND LEVELNESS: SEE SPECIFICATIONS FOR SPECIFIC GUIDELINES REQUIRED FOR THE CONCRETE FLOOR SLAB.

ROOF FRAMING NOTES

A. DECK BEARING ELEVATION = 109'-8", TYPICAL UNO.

B. ROOF DECK:
 • TYPICAL ROOF DECK: 1 1/2" TYPE 'B' 22 GA. UNO.
 • STRUCTURAL FASTENERS SHALL BE 5/8" PUDDLE WELDS OR APPROVED EQUIVALENT, ATTACHED STRUCTURAL FASTENERS IN A 3/84 PATTERN.
 • STITCH FASTENERS SHALL BE #10 TEK SCREWS BY ITW-BUILDEX OR APPROVED EQUAL. PROVIDE (3) SIDE LAP FASTENERS PER SPAN.
 • SEE DETAIL C1/S102 FOR ROOF DECK FASTENING PATTERN.
 • DECK LAYOUT MUST BE 3-SPAN MINIMUM.
 • DECK PERIMETER FASTENERS AT STRUCTURAL SUPPORTS SHALL BE ATTACHED WITH STRUCTURAL FASTENERS. NOT A STRUCTURAL SUPPORTS SHALL BE ATTACHED WITH STICH FASTENER PATTERN.

C. SEE SHEET S102 FOR SCHEDULES AND ASSOCIATED DETAILS.
 • "BRG-PLX" INDICATES BEARING PLATE, SEE DETAIL A1/S102.
 • "L-X" INDICATES LINTEL.
 • AT ALL WB BEAM TO HB BEAM CONNECTIONS PROVIDE UNO.
 • 3/8" SHEAR TAB W/ 1/4" FILLET WELD
 • (2) 3/4" DIA BOLTS

E. ROOF OPENINGS:
 • VERIFY ALL SIZES AND LOCATIONS WITH MECHANICAL, PLUMBING, ARCHITECTURAL DRAWINGS, AND MECHANICAL CONTRACTOR.

KEYNOTES PER SHEET

0330-05 5" CONCRETE W6X6-W2.1X2.1 WWF ON 10 MIL VAPOR BARRIER ON 12" COMPACTED GRANULAR FILL OVER COMPACTED SUB BASE

PROJECT INFORMATION

Belmark Plant 5 - Vestibule

675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 10/22/2024 | CONSTRUCTION DOCUMENTS |

KEY PLAN

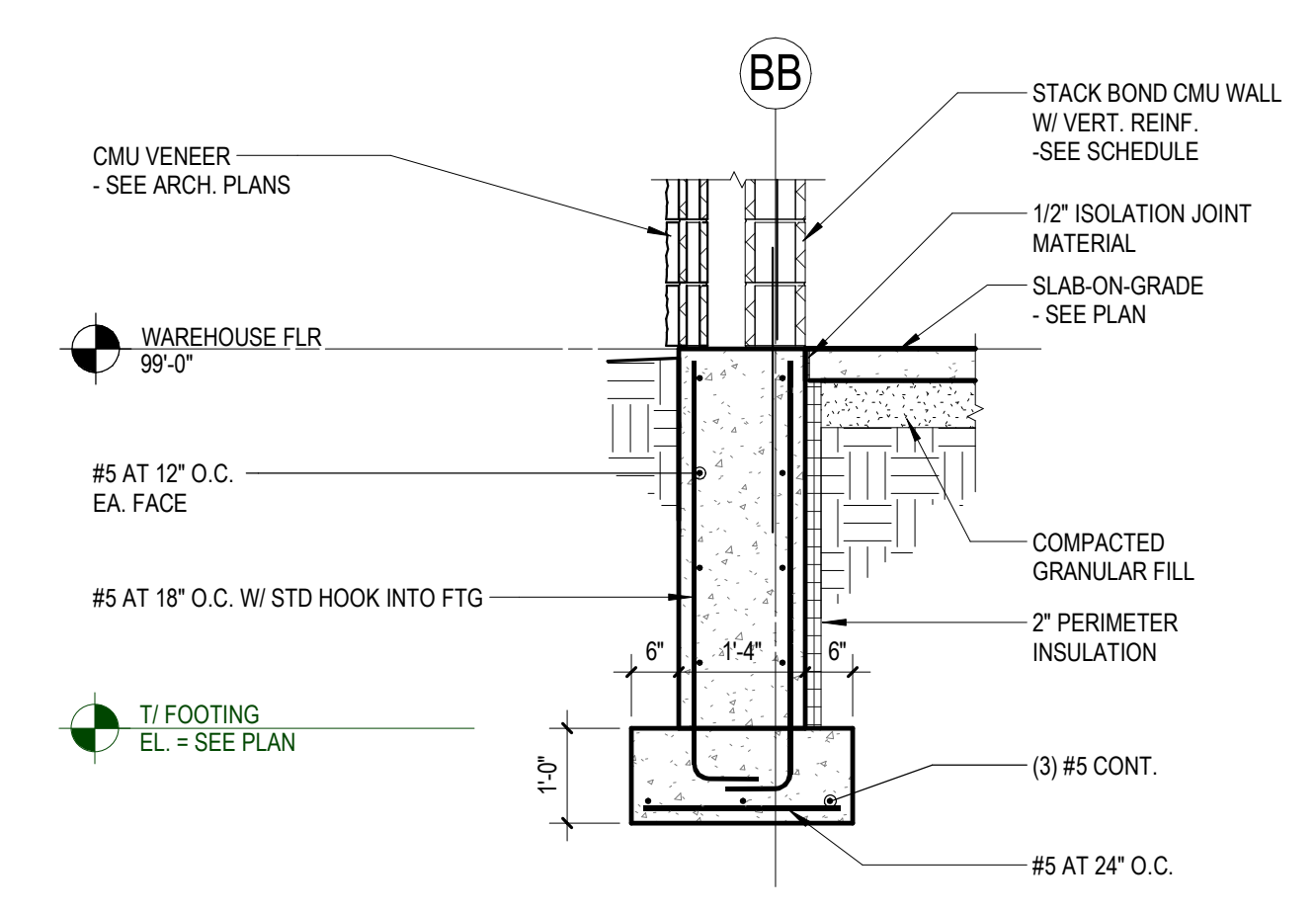
SHEET INFORMATION

PROJECT MANAGER MVL

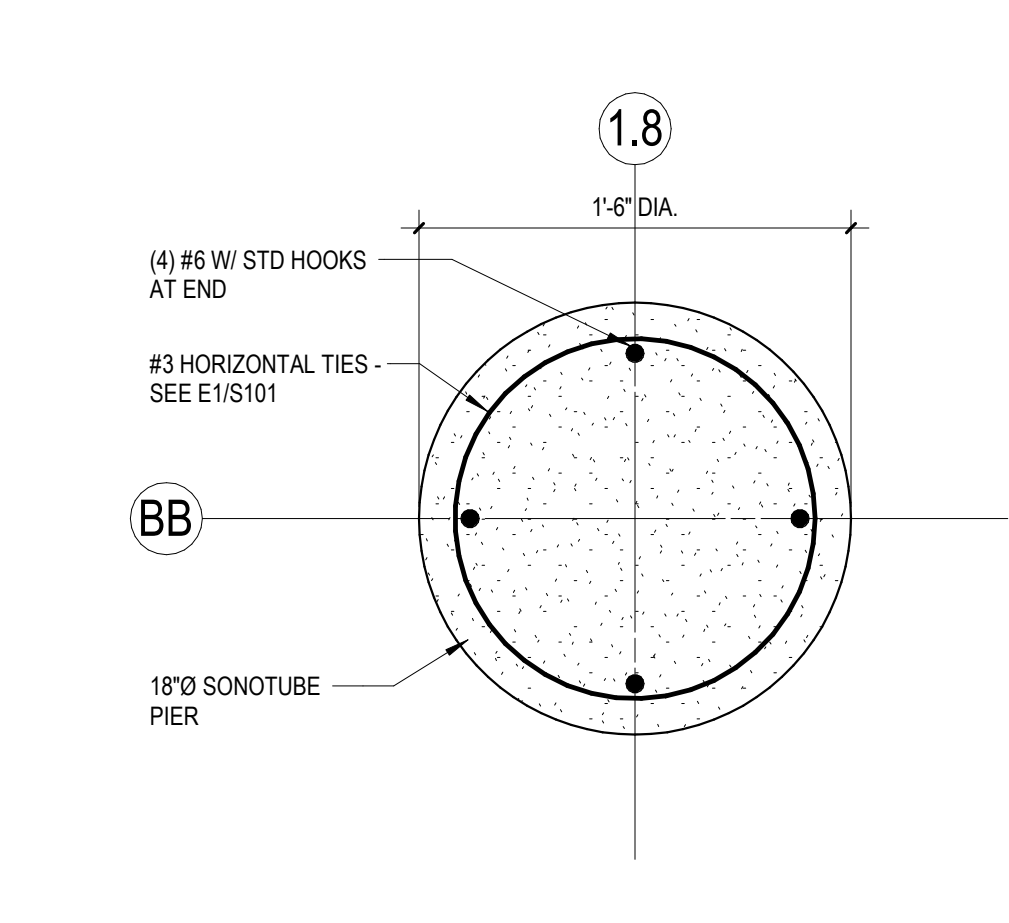
PROJECT NUMBER 924446

FOUNDATION PLAN, FRAMING PLAN, DETAILS

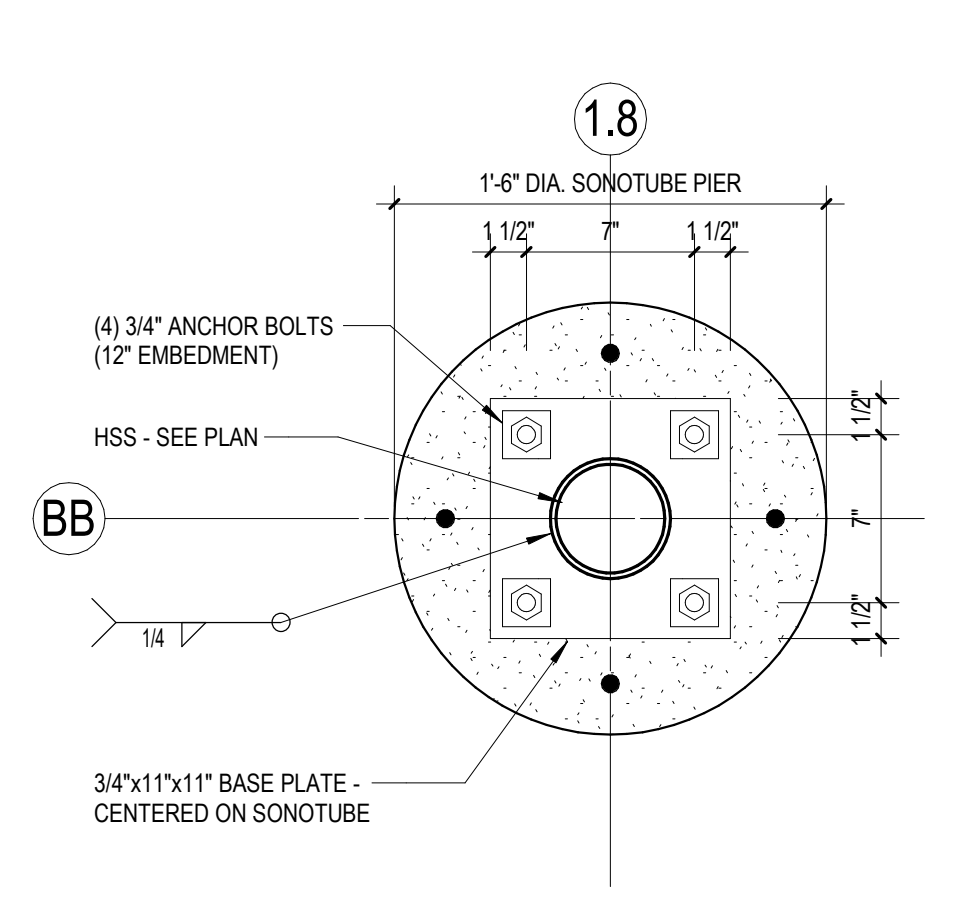
S101



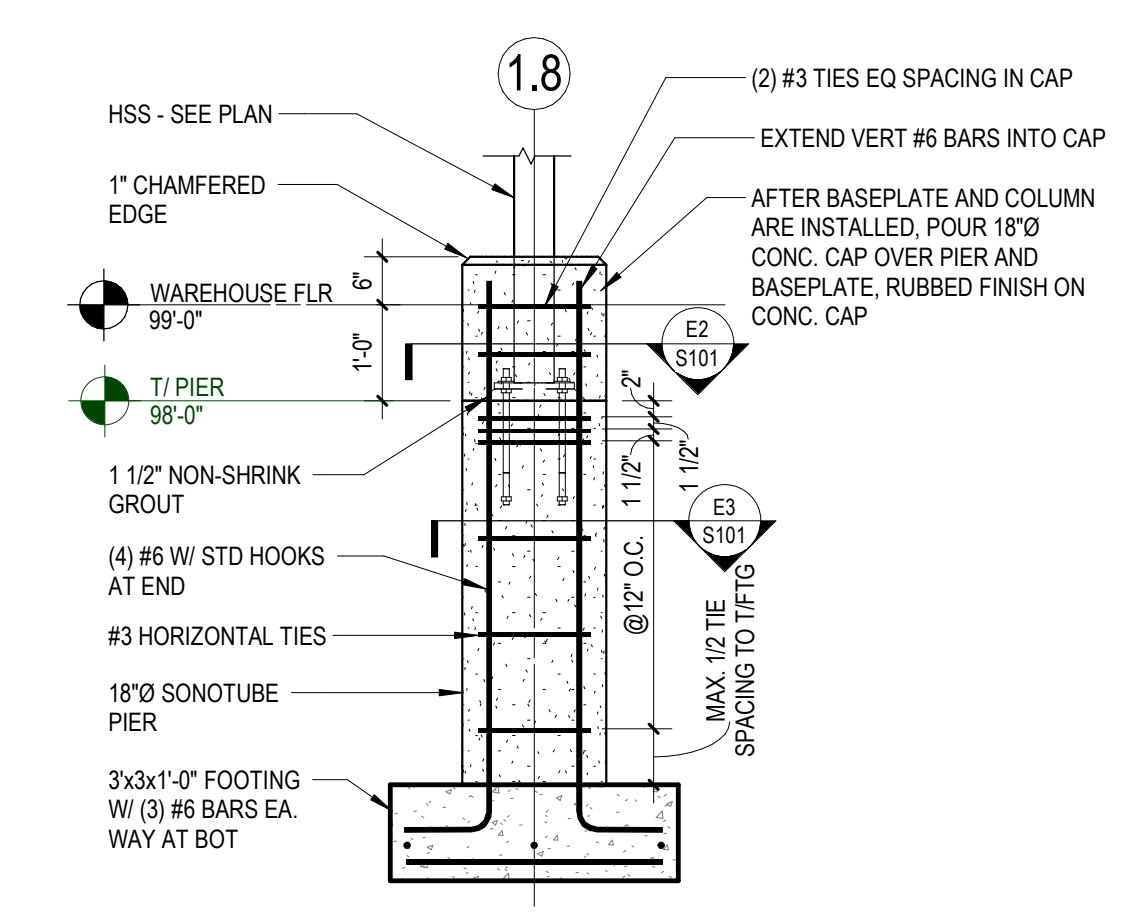
E4 FOUNDATION WALL
1/2" = 1'-0" | S101



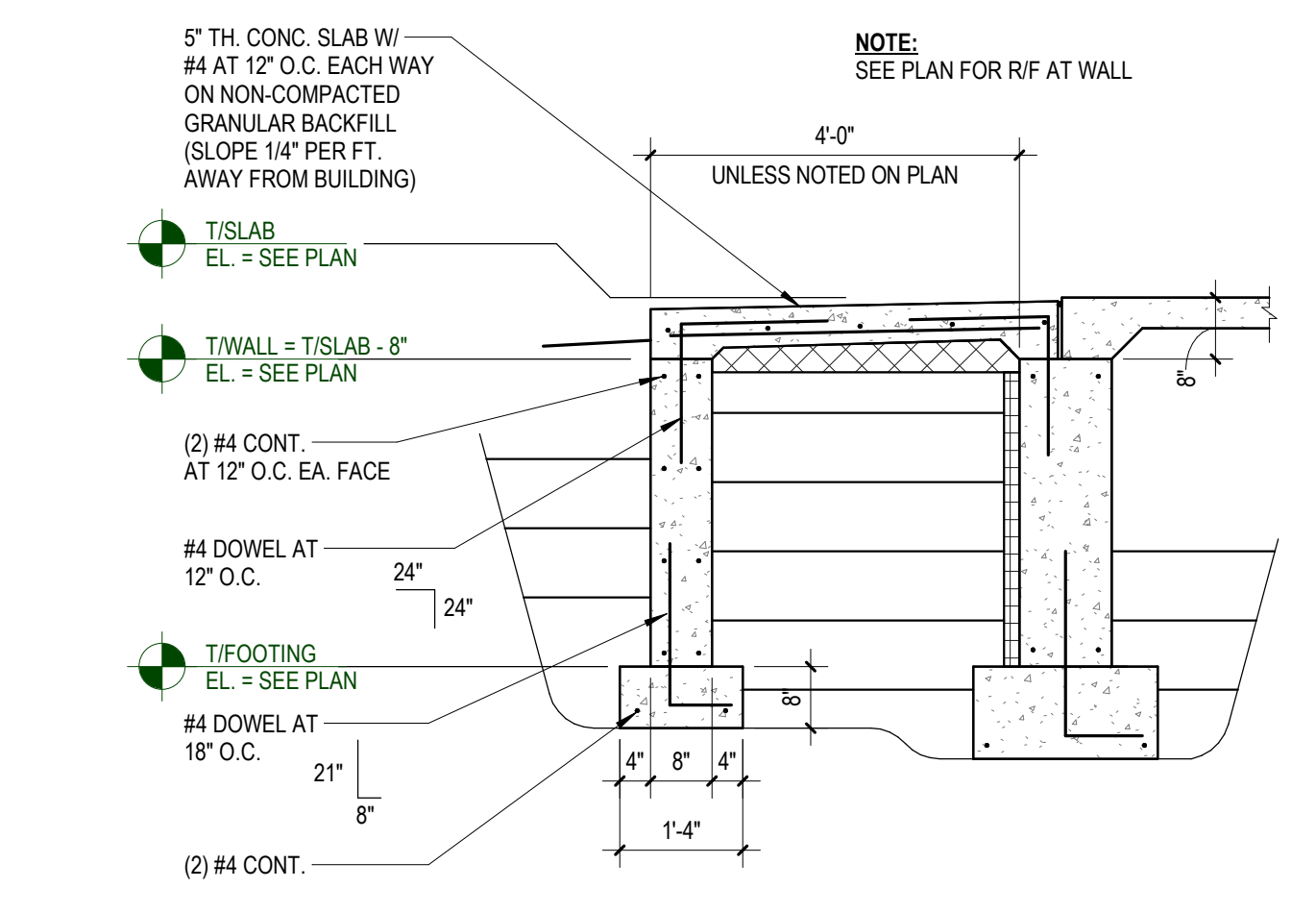
E3 CONCRETE PIER DETAIL
1/2" = 1'-0" | S101



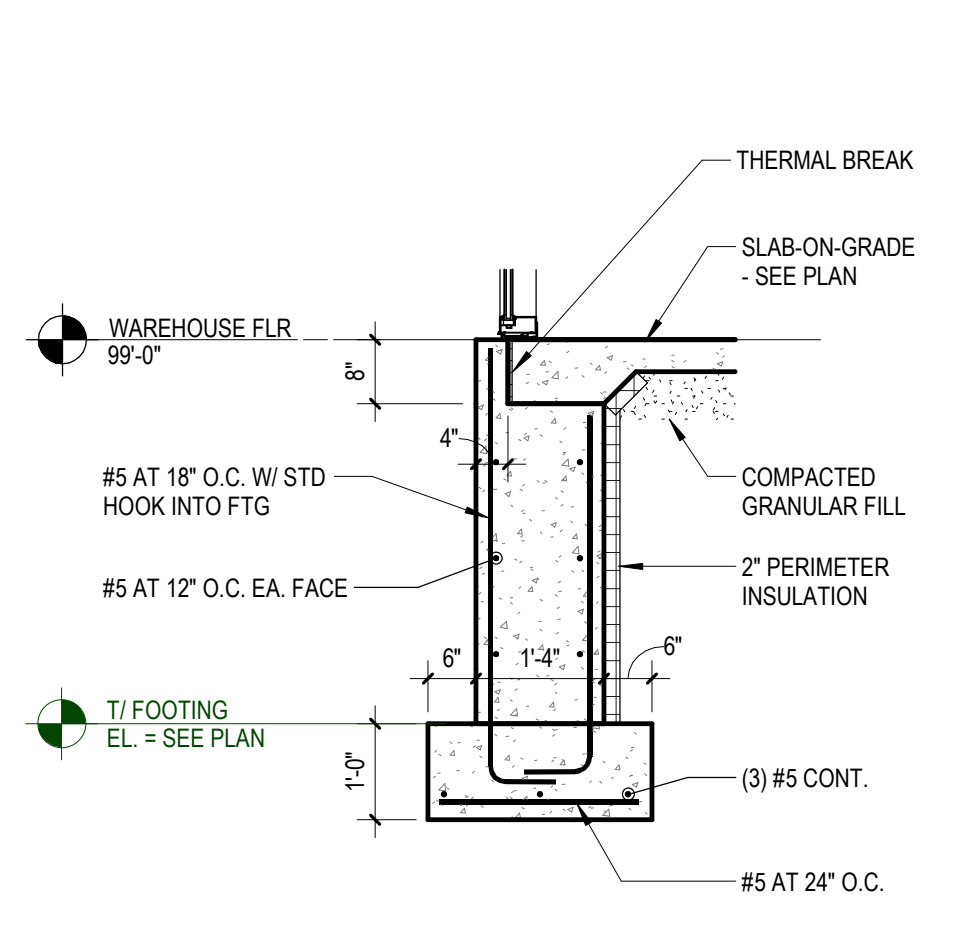
E2 FOUNDATION WALL AT STOREFRONT
1/2" = 1'-0" | S101



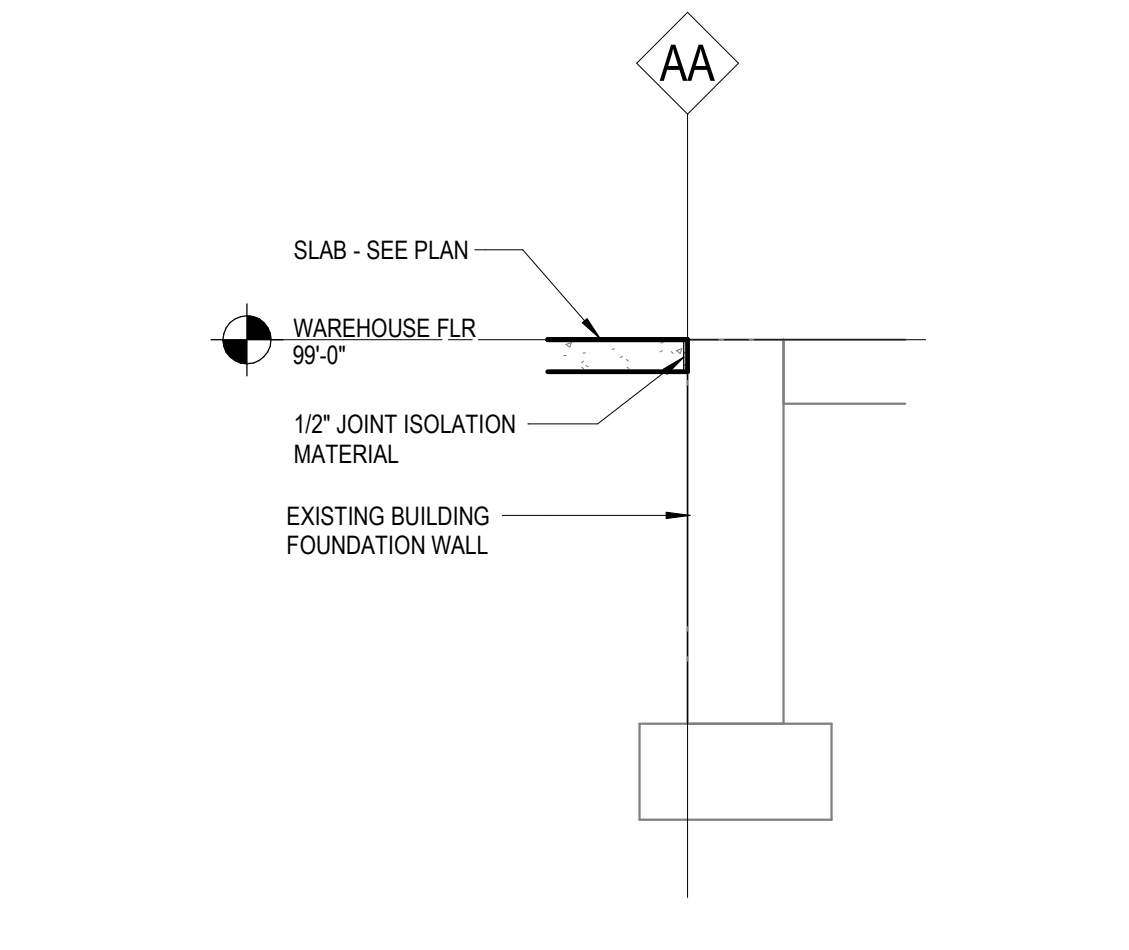
E1 FLOOR SLAB AT EXISTING FOUNDATION
1/2" = 1'-0" | S101



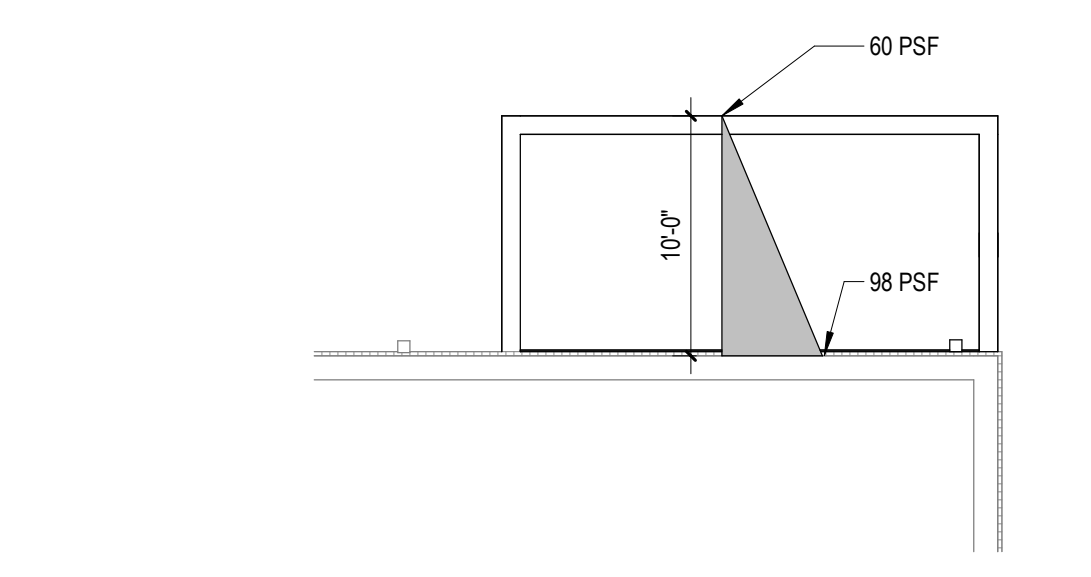
D3 CONCRETE STOOP
1/2" = 1'-0" | S101



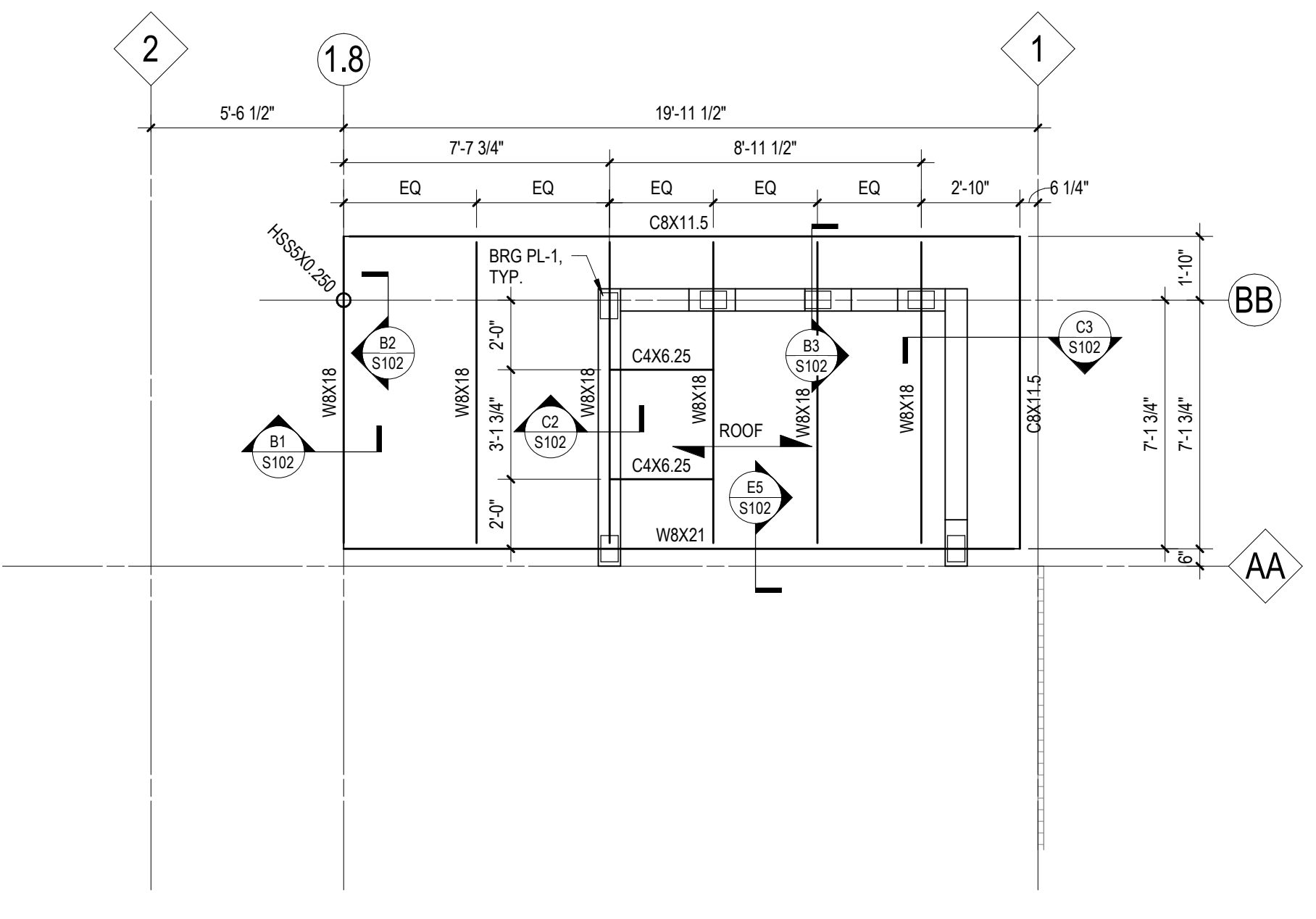
D2 FOUNDATION WALL AT STOREFRONT
1/2" = 1'-0" | S101



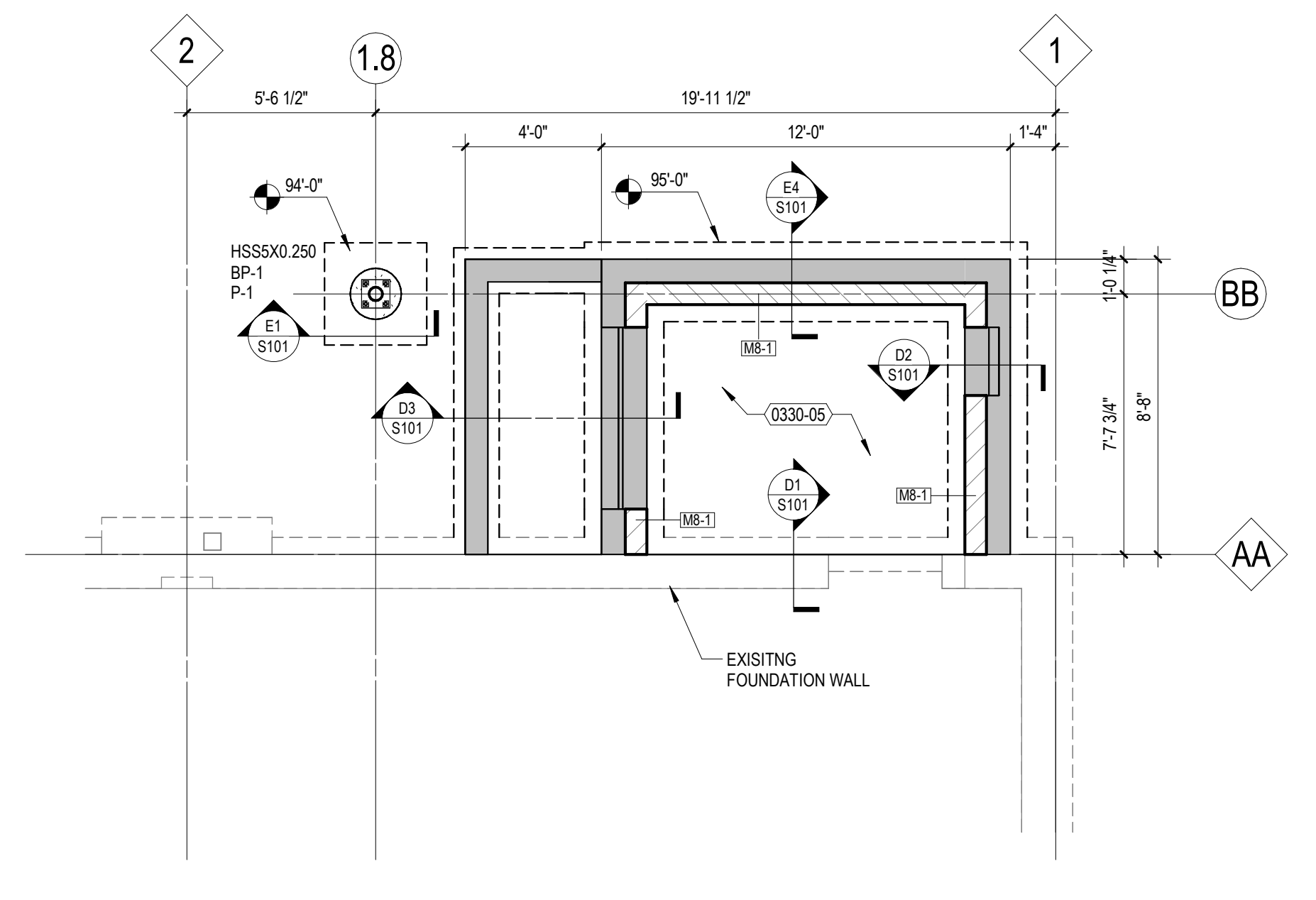
D1 FLOOR SLAB AT EXISTING FOUNDATION
1/2" = 1'-0" | S101



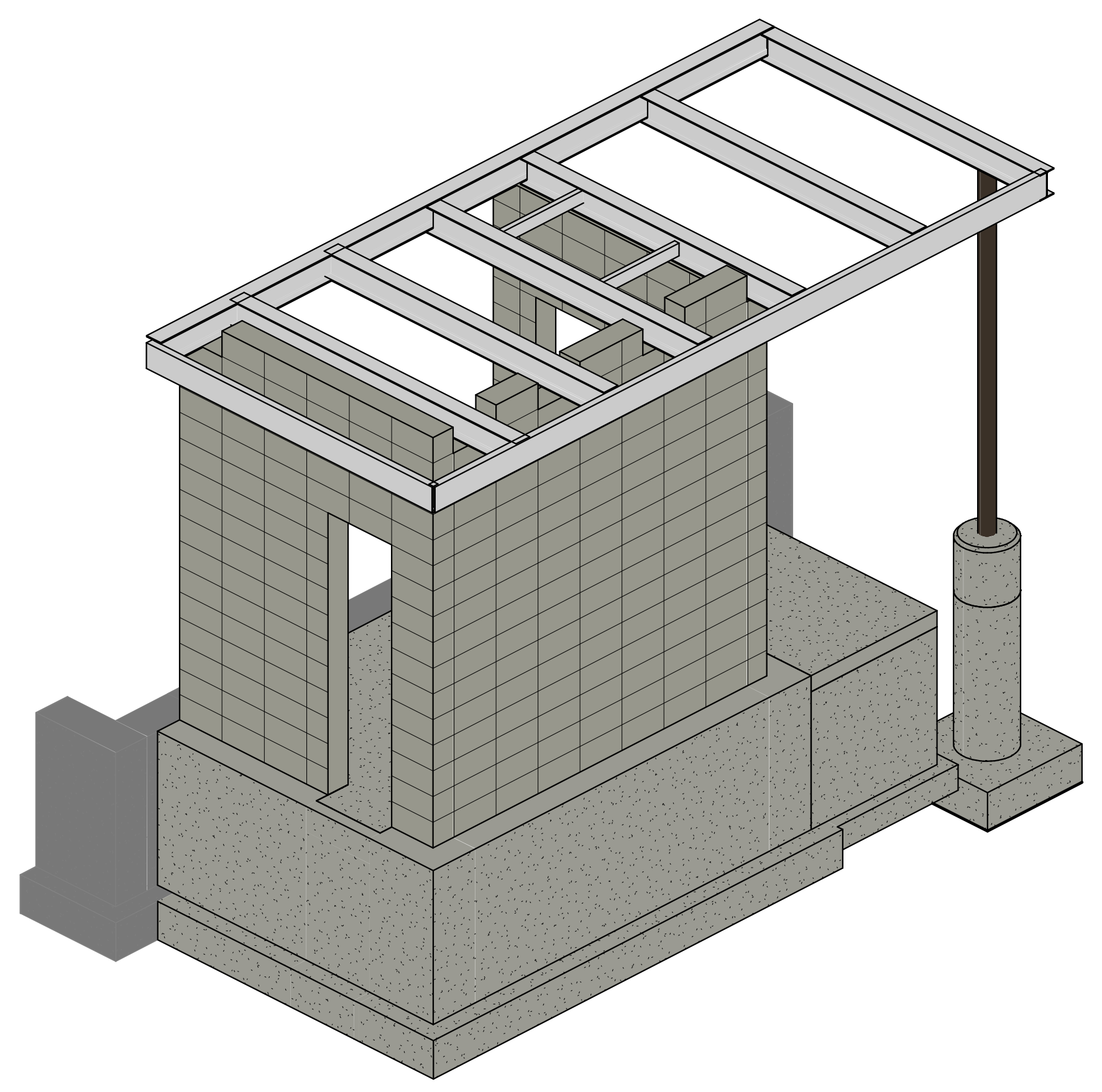
B6 SNOWDRIFT PLAN
1/8" = 1'-0" | S101



A4 ROOF FRAMING PLAN
1/4" = 1'-0" | S101



A6 FOUNDATION PLAN
1/4" = 1'-0" | S101



A1 3D - STRUCTURAL
FOR REFERENCE ONLY | S101

E

PROJECT INFORMATION

Belmark Plant 5 - Vestibule

d 675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 10/22/2024 | CONSTRUCTION DOCUMENTS |

C

KEY PLAN

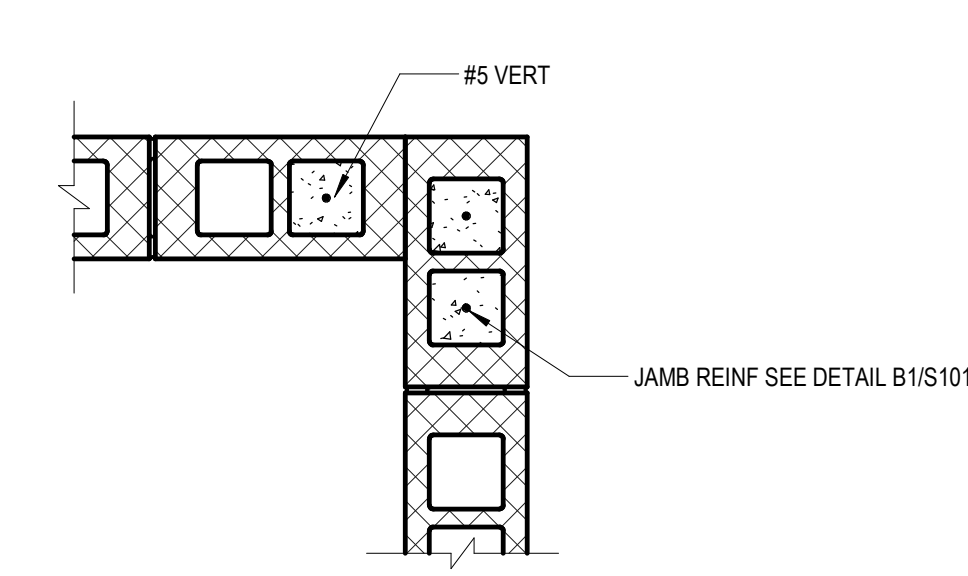
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SHEET INFORMATION

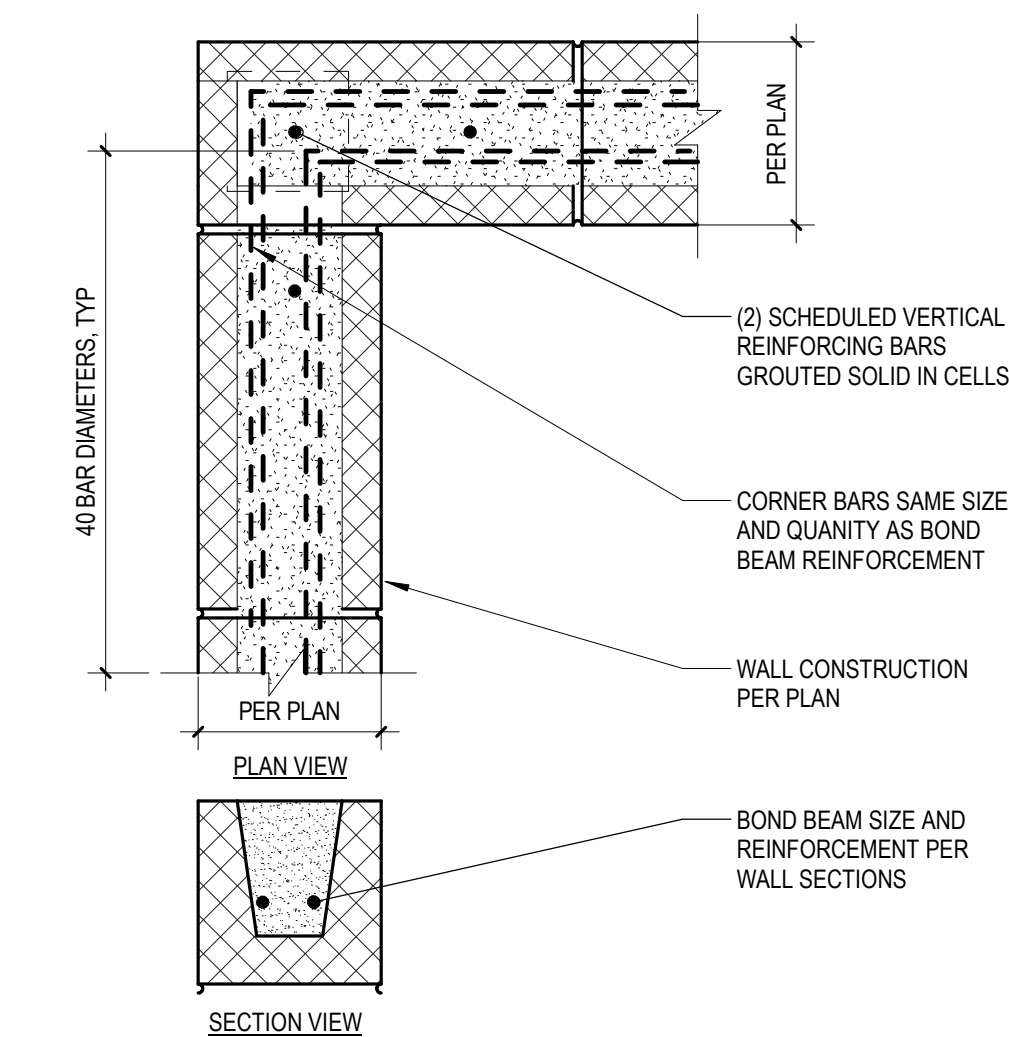
PROJECT MANAGER MVL
PROJECT NUMBER 924446

DETAILS

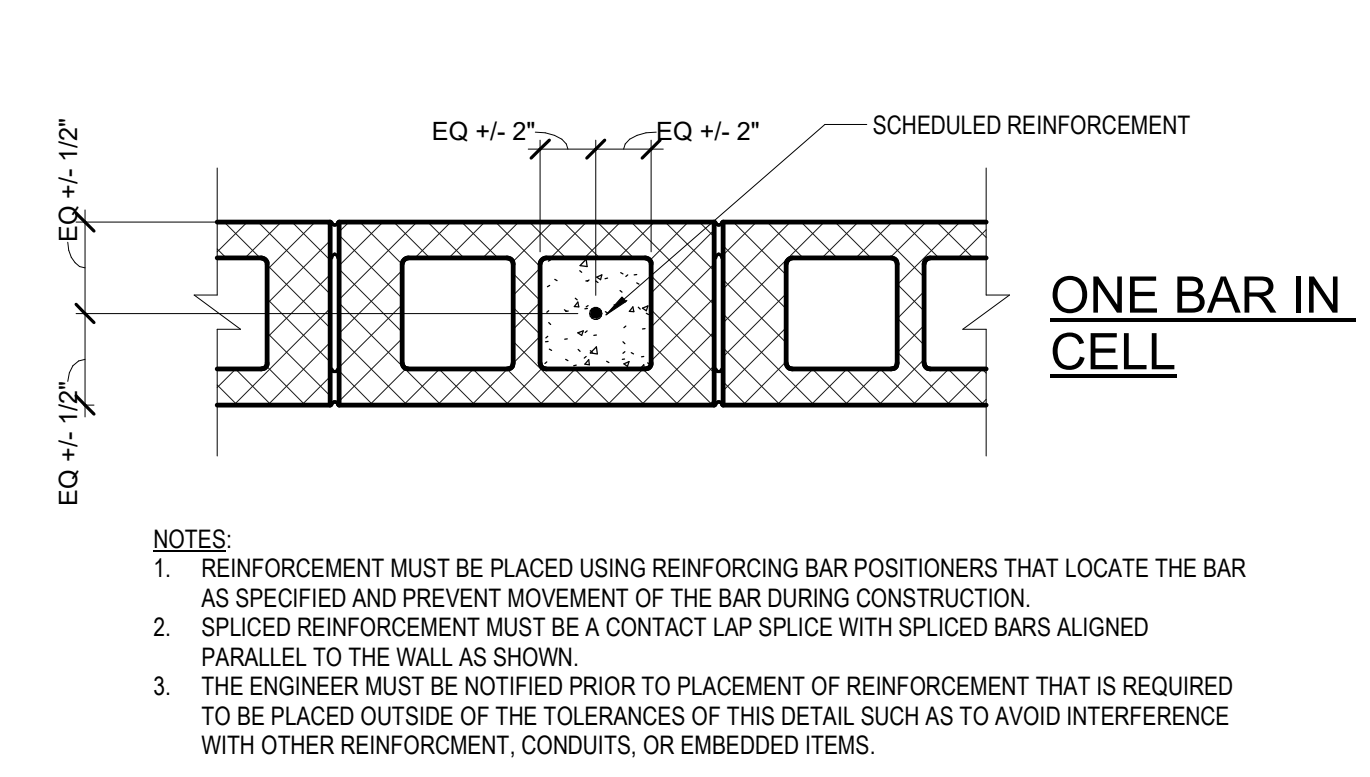
S102



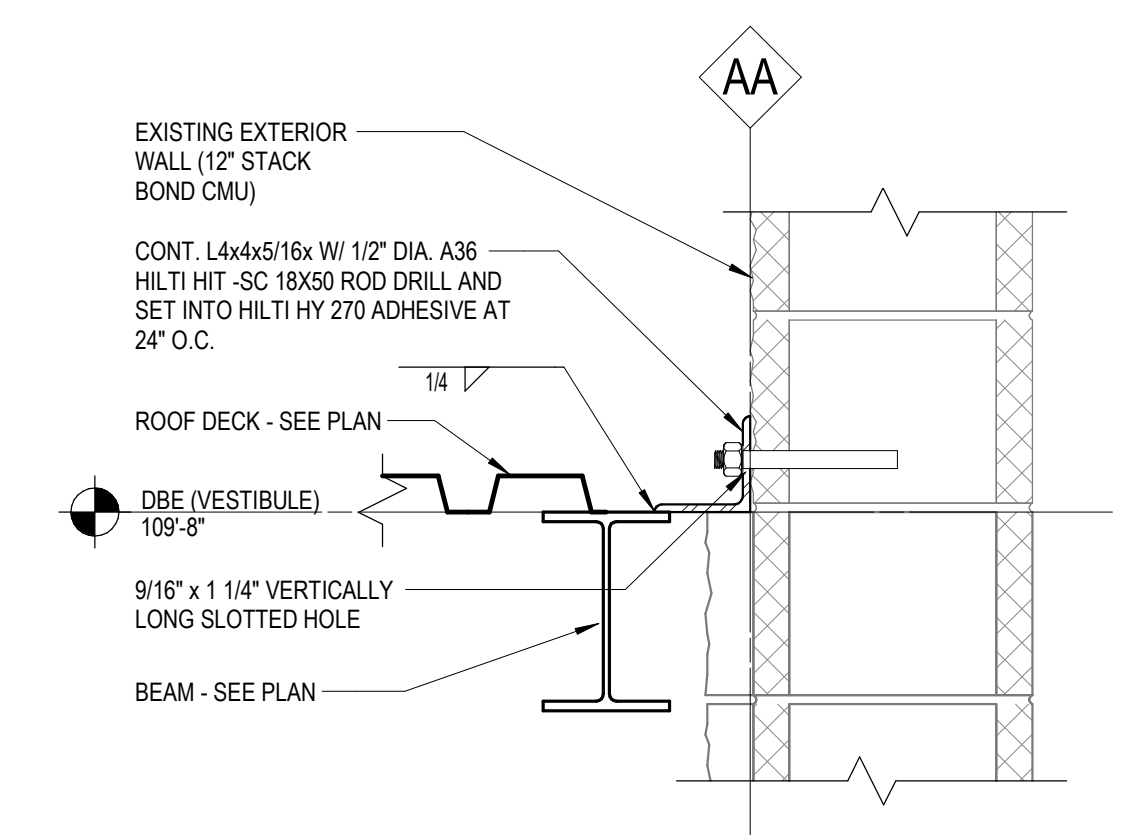
D1 TYPICAL REINFORCING AT CMU WALLS
1 1/2" = 1'-0" | S102



D2 BOND BEAM AT WALL CORNER DETAIL
1 1/2" = 1'-0" | S102



E4 TYPICAL CMU VERTICAL BAR PLACEMENT
1 1/2" = 1'-0" | S102



E5 FRAMING DETAIL AT EX. WALL
1 1/2" = 1'-0" | S102

TYPICAL CMU VERTICAL BAR DEVELOPMENT AND LAP SPLICE LENGTHS

| BAR SIZE | 8" CMU | |
|----------|------------|--|
| | 1 BAR/CELL | |
| #3 | 16 | |
| #4 | 21 | |
| #5 | 27 | |
| #6 | 31 | |
| #7 | 33 | |
| #8 | 36 | |
| #9 | 42 | |

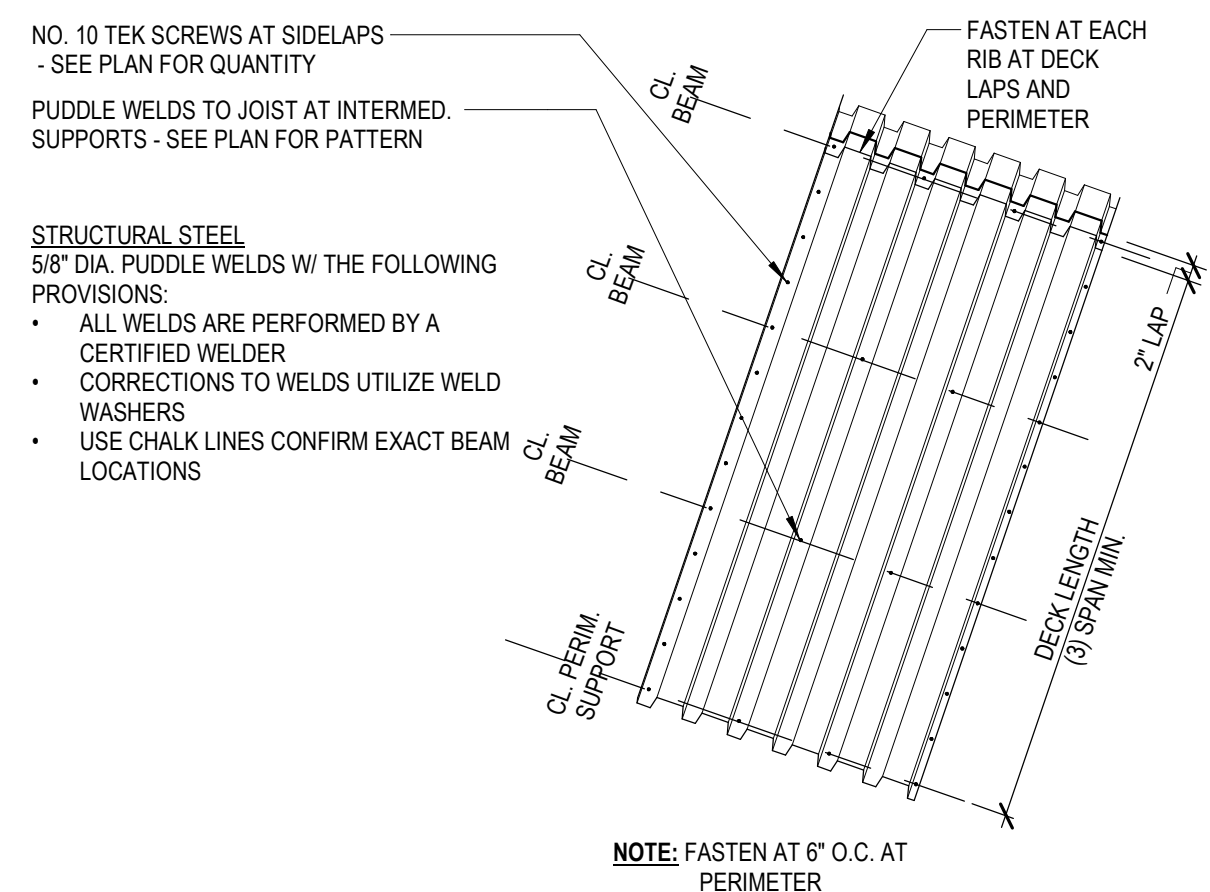
- NOTES:
 1. ALL DEVELOPMENT AND LAP SPLICE LENGTHS ARE IN INCHES.
 2. THIS TABLE SHALL BE USED FOR ALL REINFORCED CMU WALLS, PILASTERS, AND COLUMNS UNLESS NOTED OTHERWISE IN DETAILS.
 3. INCREASE TABULATED VALUES BY 50% FOR EPOXY COATED REINFORCEMENT.
 4. WITH APPROVAL BY THE ENGINEER, WELDED SPLICES AND MECHANICAL SPLICES DEVELOPING AT LEAST 125% OF THE YIELD STRENGTH, F_y OF THE BAR MAY BE SUBSTITUTED IN SOME LOCATIONS.
 5. WHEN LAP SPLICING BARS OF DIFFERENT SIZES, THE LAP LENGTH IS DETERMINED BY THE SMALLER BAR.
 6. REFER TO "TYPICAL CMU VERTICAL BAR PLACEMENT" FOR BAR POSITIONING IN CELLS.

MASONRY WALL SCHEDULE

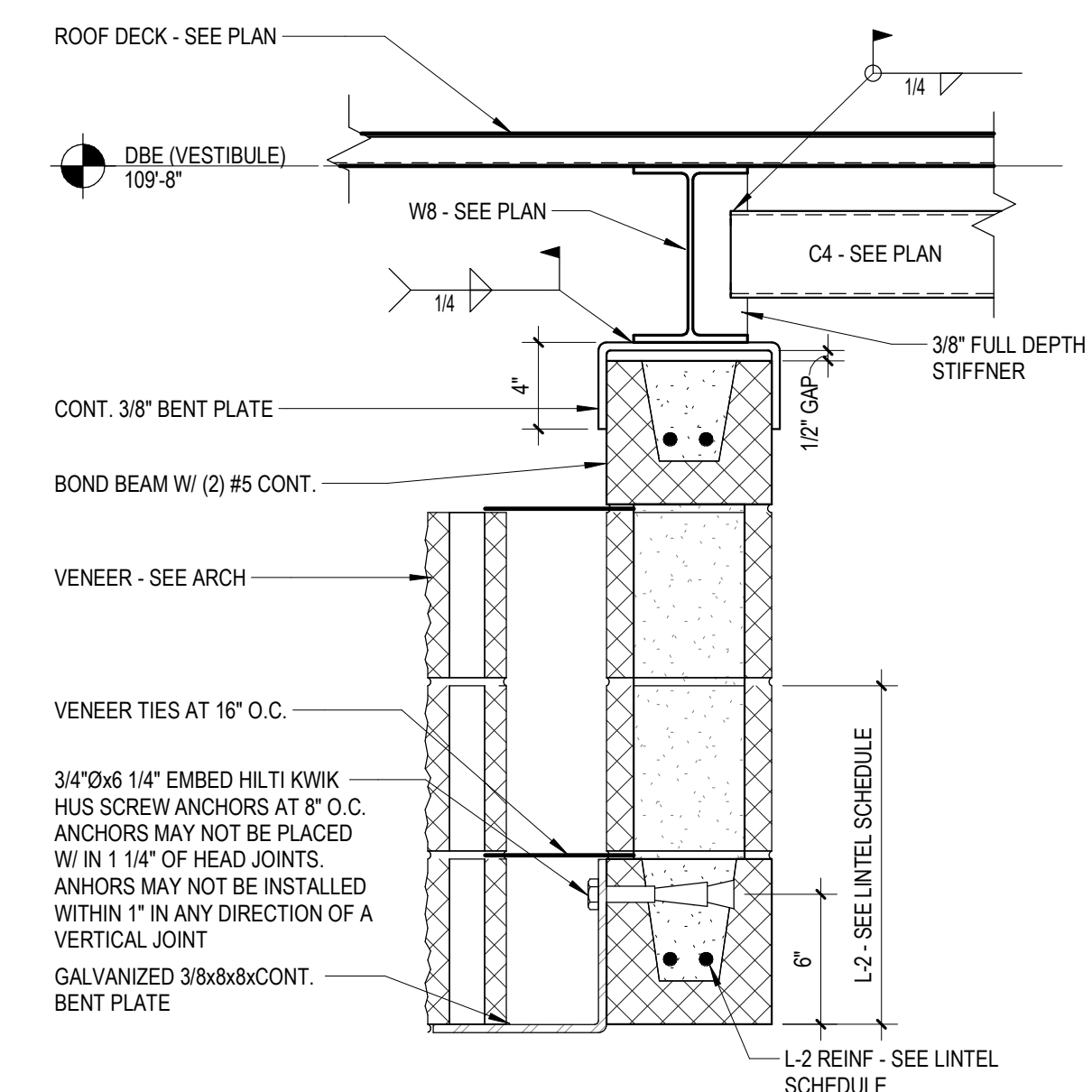
| MARK | STRUCTURAL USAGE | THICKNESS | REINFORCING | | REMARKS |
|------|------------------|-----------|----------------|------------|----------------|
| | | | VERTICAL | HORIZONTAL | |
| M8-1 | Bearing | 8" | #5 AT 32" O.C. | | STACK BOND CMU |

CMU LINTEL SCHEDULE

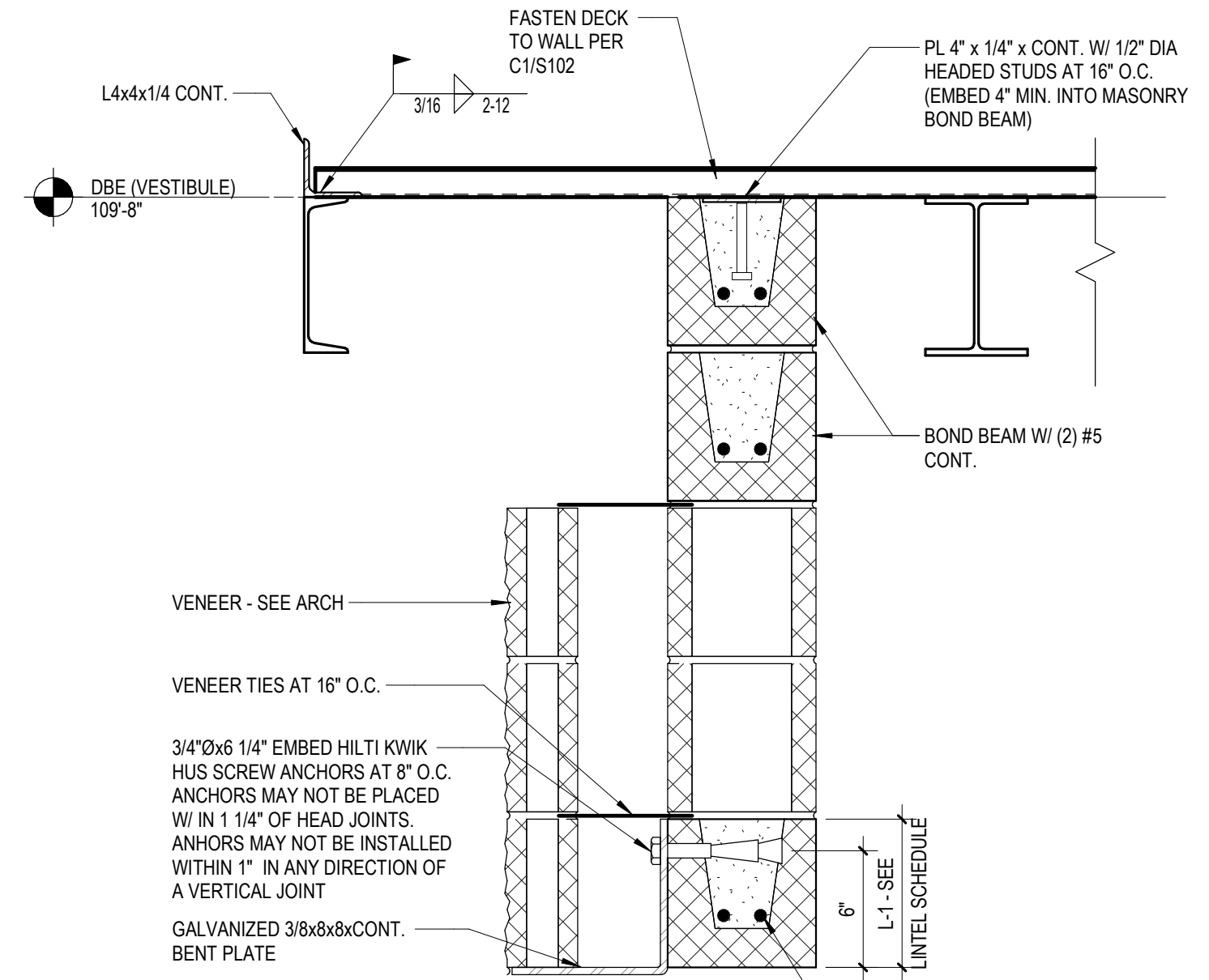
| MARK | LINTEL | BEARING LENGTH EACH END | | REMARKS |
|------|-----------------------------------|-------------------------|------------|--------------------|
| | | VERTICAL | HORIZONTAL | |
| L-1 | 8" x 8" CMU LINTEL W/ (2) #5 BOT | 8" | 8" | SEE DETAIL C3/S102 |
| L-2 | 8" x 16" CMU LINTEL W/ (2) #5 BOT | 16" | | SEE DETAIL C2/S102 |



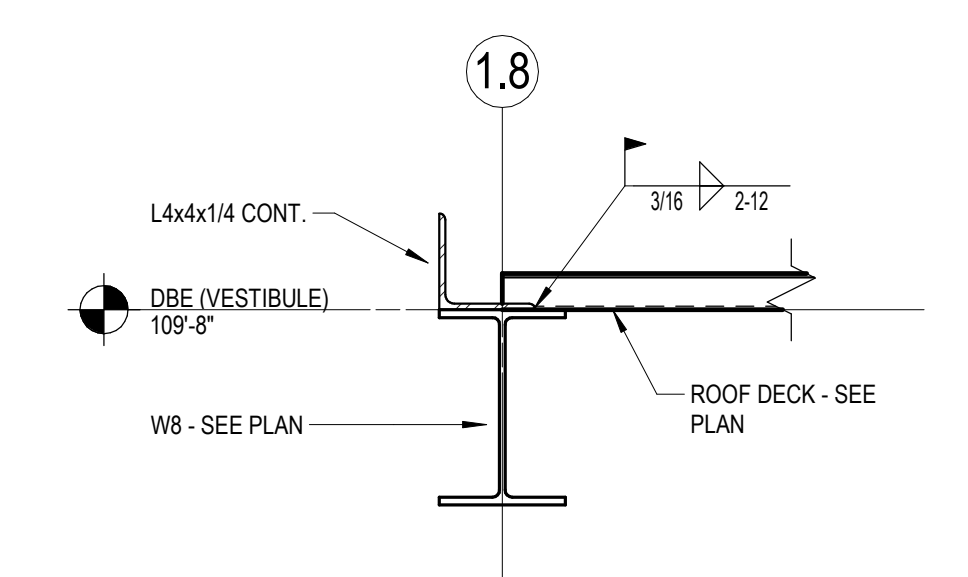
C1 DECK FASTENING PATTERN
1 1/2" = 1'-0" | S102



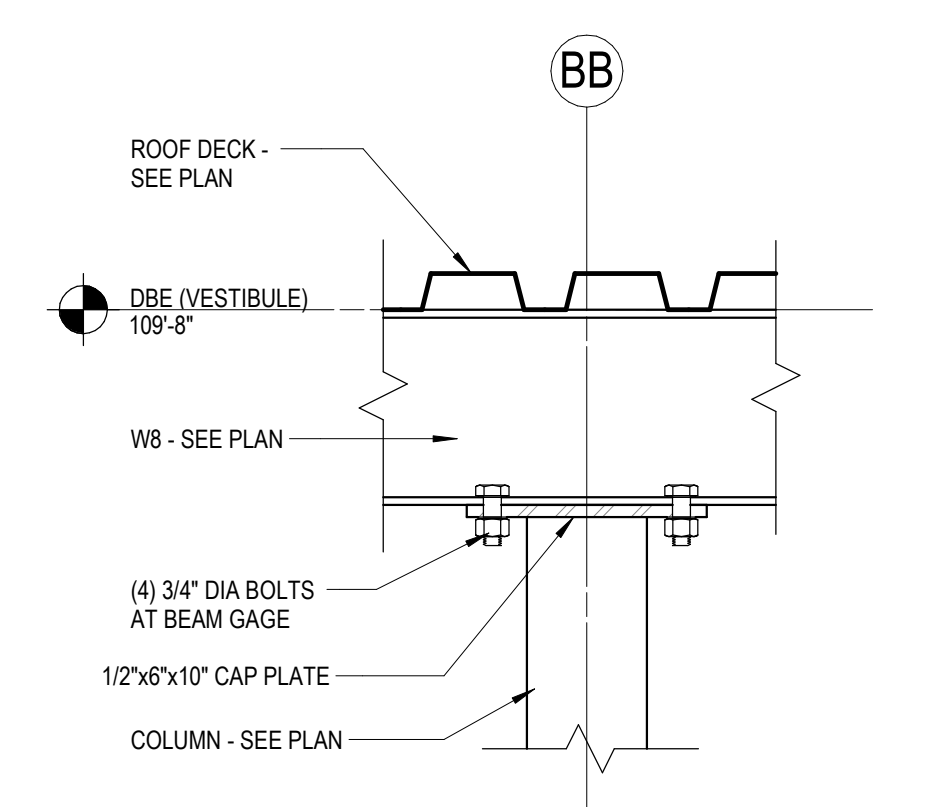
C2 L-2 LINTEL FRAMING DETAIL
1 1/2" = 1'-0" | S102



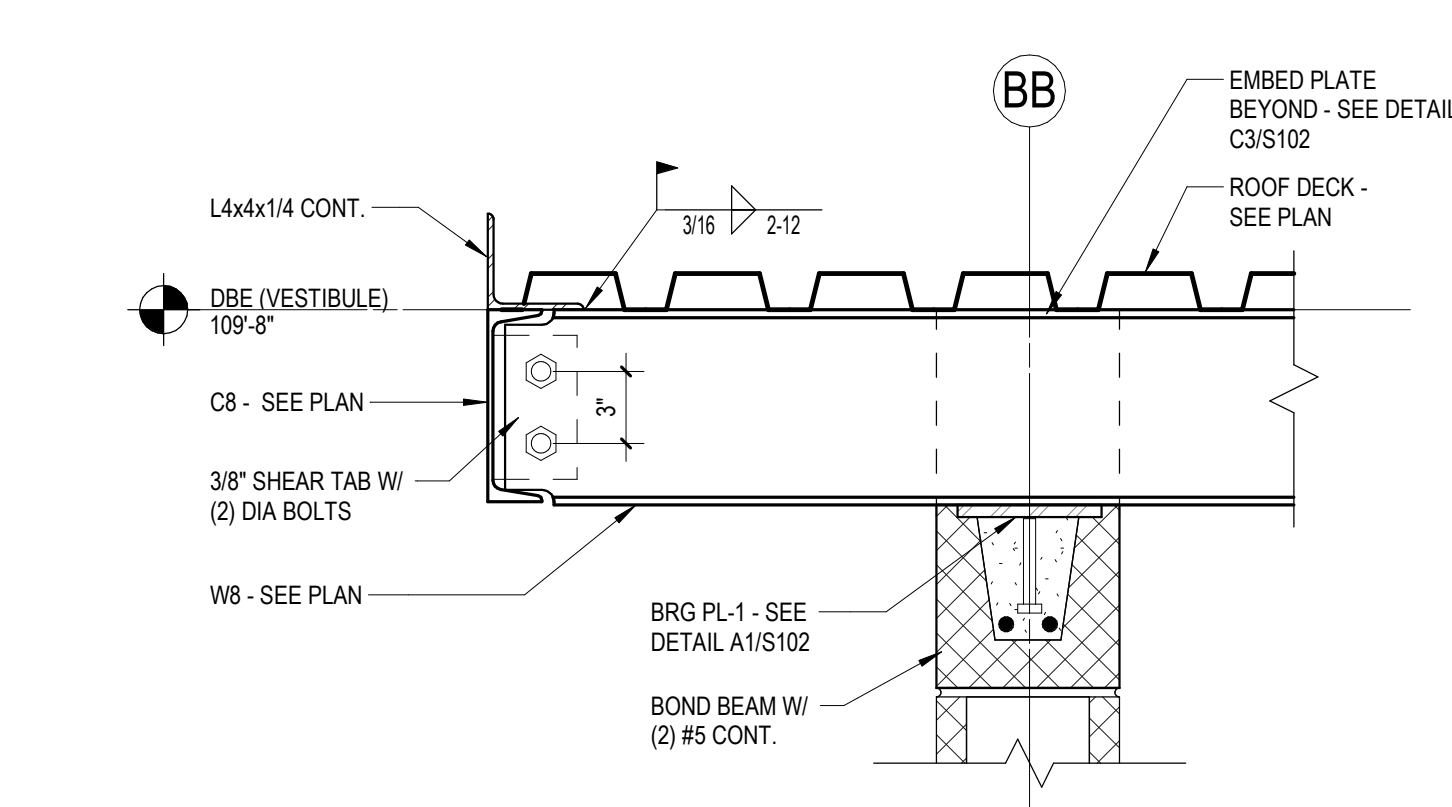
C3 L-1 LINTEL FRAMING DETAIL / EMBED PLATE
1 1/2" = 1'-0" | S102



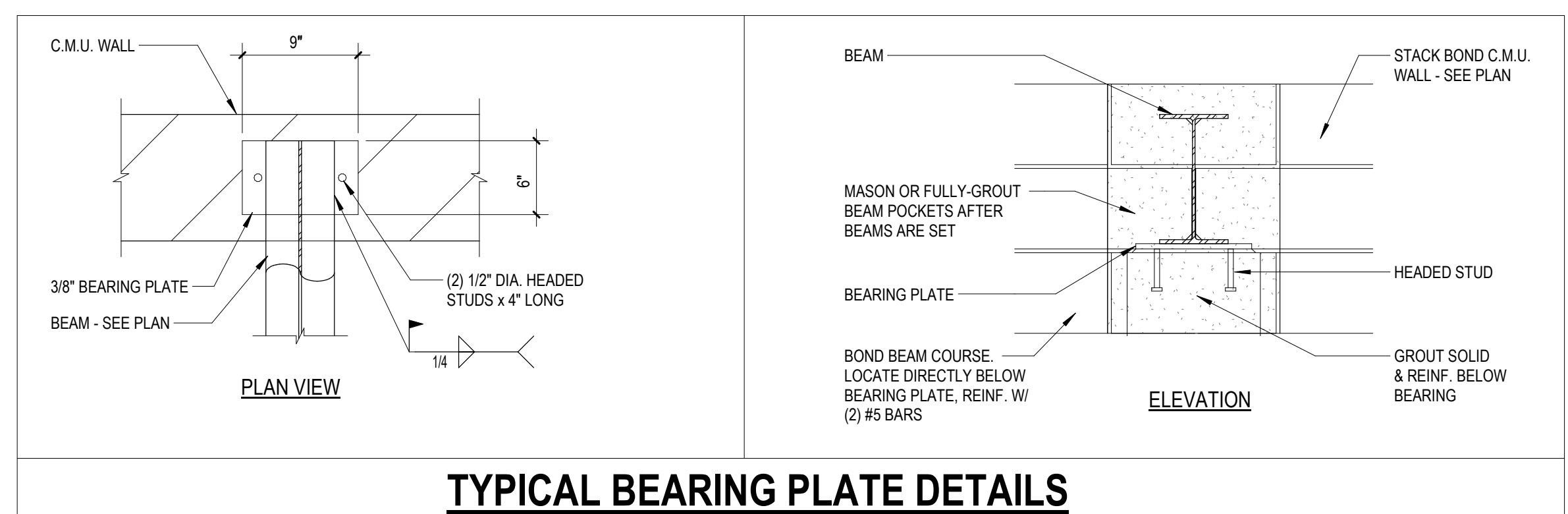
B1 FRAMING DETAIL AT CANOPY EDGE
1 1/2" = 1'-0" | S102



B2 FRAMING DETAIL AT COLUMN
1 1/2" = 1'-0" | S102



B3 FRAMING DETAIL AT OVERHANG
1 1/2" = 1'-0" | S102



A1 FR-BEARING PLATE DETAIL
1/8" = 1'-0" | S102

074293 SOFFIT PANELS

- PART 1 - GENERAL**
- A. PROVIDE SHOP DRAWINGS:
1. INCLUDE FABRICATION AND INSTALLATION LAYOUTS OF METAL PANELS; DETAILS OF EDGE CONDITIONS, JOINTS, PANEL PROFILES, CORNERS, ANCHORAGES, ATTACHMENT SYSTEM, TRIM, FLASHINGS, CLOSURES AND ACCESSORIES, AND SPECIAL DETAILS.
- B. SAMPLES REQUIRED FOR VERIFICATION:
1. METAL PANEL EXPOSED FINISH
- C. WARRANTY: MANUFACTURER'S STANDARD.
- PART 2 - PRODUCTS**
- A. FLUSH PROFILE METAL SOFFIT PANELS: SOLID PANELS FORMED WITH VERTICAL PANEL EDGES AND FLAT PAN BETWEEN EDGES; WITH FLUSH JOINTS BETWEEN PANELS.
1. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
- a. ATAS
 - b. CENTRIA
 - c. FABRAL
 - d. PAC-CLAD
2. ALUMINUM SHEET: COIL-COATED SHEET, ASTM B209, ALLOY AS STANDARD WITH MANUFACTURER, WITH TEMPER AS REQUIRED TO SUIT FORMING OPERATIONS AND STRUCTURAL PERFORMANCE REQUIRED.
- a. THICKNESS: 0.040 INCH
 - b. SURFACE: SMOOTH FLAT FINISH
 - c. EXTERIOR FINISH: THREE-COAT FLUOROPOLYMER
 - d. COLOR: MATCH EXISTING. CONFIRM WITH ARCHITECT.
3. PANEL COVERAGE: 12 INCHES
4. PANEL HEIGHT: 1.0 INCH

084113 ALUMINUM FRAMED ENTRANCES & STOREFRONTS

- PART 1 - GENERAL**
- A. PROVIDE SHOP DRAWINGS FOR: FOR ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS: INCLUDE PLANS, ELEVATIONS, SECTIONS, FULL-SIZE DETAILS, AND ATTACHMENTS TO OTHER WORK.
- B. NO SAMPLES REQUIRED.
- C. DELEGATED DESIGN SUBMITTAL: FOR ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS INCLUDING ANALYSIS DATA SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.
- D. WARRANTY: MANUFACTURER'S STANDARD.
- PART 2 - PRODUCTS**
- A. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
1. KAWNEER
 2. OLDCASTLE
 3. WAUSAU WINDOWS
 4. YKK AP AMERICA INC.
- B. BASIS OF DESIGN:
1. EXTERIOR STOREFRONT: KAWNEER 451T
 - a. DARK BRONZE FINISH
 2. STOREFRONT DOORS: KAWNEER 500 STANDARD
 - a. DARK BRONZE FINISH

088000 GLAZING

- PART 1 - GENERAL**
- A. PROVIDE SHOP DRAWINGS:
1. PRODUCT DATA: FOR EACH TYPE OF PRODUCT
- B. SAMPLES REQUIRED FOR VERIFICATION:
1. INSULATING GLASS
 2. DELEGATED DESIGN
- C. DELEGATED DESIGN
- D. WARRANTY:
1. MANUFACTURER'S SPECIAL WARRANTY FOR COATED, LAMINATED AND INSULATED PRODUCTS. PERIOD 10 YEARS FROM SUBSTANTIAL COMPLETION.
- PART 2 - PRODUCTS**
- A. MANUFACTURERS
1. SOURCE LIMITATION: OBTAIN GLASS FROM SINGLE SOURCE FROM SINGLE MANUFACTURER.
- B. GLASS PRODUCTS
1. FULLY TEMPERED FLOAT GLASS: ASTM C1048, KIND FT
 2. REFLECTIVE AND LOW-E-COATED VISION GLASS: ASTM C1376
 - a. BASIS OF DESIGN: VITRO SOLARBAN 60 BRONZE LOW-E WITH ARGON
 - b. OVERALL UNIT THICKNESS: 1 INCH
 - c. SUMMERTIME U-FACTOR: 0.24 MAXIMUM
 - d. SHGC: 0.32 MAXIMUM
- PART 3 - EXECUTION**
- A. EXAMINE FRAMING, GLAZING CHANNELS, AND STOPS WITH INSTALLER PRESENT FOR COMPLIANCE WITH THE FOLLOWING:
1. MANUFACTURING AND INSTALLATION TOLERANCES, INCLUDING THOSE FOR SIZE, SQUARENESS, AND OFFSETS AT CORNERS.
 2. PRESENCE OF FUNCTIONING WEEP SYSTEMS.
 3. MINIMUM REQUIRED FACE AND EDGE CLEARANCES.
 4. EFFECTIVE SEALING BETWEEN JOINTS OF GLASS FRAMING MEMBERS.

CONSTRUCTION NOTES

- A. ALL WORK OF THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING LAWS, CODES, ORDINANCES, RULES AND REGULATIONS OF THE VILLAGE, COUNTY, STATE AND GENERAL JURISDICTION.
- B. THE DRAWINGS ARE NOT TO BE SCALED.
- C. MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- E. ALL PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE SEALED.
- F. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS AND SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING CONSTRUCTION.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PATCHING OF DISTURBED EXISTING CONDITIONS REQUIRED TO MAINTAIN FIRE RATINGS. FIELD VERIFICATION OF EXISTING CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CHANGE ORDERS FOR THIS TYPE OF WORK WILL NOT BE HONORED.
- H. VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL BUILT-IN EQUIPMENT PRIOR TO PERFORMING WORK.
- I. CONTRACTOR SHALL PROVIDE FIRE-TREATED BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES AND OTHER DEVICES.
- J. PENETRATIONS IN WALLS REQUIRING PROTECTED OPENINGS SHALL BE FIRESTOPPED USING UL TESTED OR EQUIVALENT TESTING AGENT MATERIALS, METHODS AND ASSEMBLIES AND MUST PASS LOCAL AUTHORITY INSPECTION.
- K. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- L. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.

KEYNOTES PER SHEET

| | |
|---------|--|
| 0420-01 | CONCRETE MASONRY UNITS |
| 0531-01 | METAL ROOF DECK |
| 0540-01 | COLD-FORMED METAL FRAMING |
| 0721-10 | BOARD INSULATION |
| 0725-01 | AIR BARRIER & WATER-RESISTIVE VAPOR RETARDER |
| 0742-02 | METAL COMPOSITE MATERIAL WALL PANEL |
| 0753-01 | ROOF MEMBRANE |
| 0753-05 | BOARD INSULATION |
| 0921-03 | EXTERIOR SHEATHING BOARD |



milwaukee | madison | green bay | denver | atlanta

E

PROJECT INFORMATION

Belmark Plant 5 - Vestibule

D

675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 10/22/2024 | CONSTRUCTION DOCUMENTS |

C

KEY PLAN

B

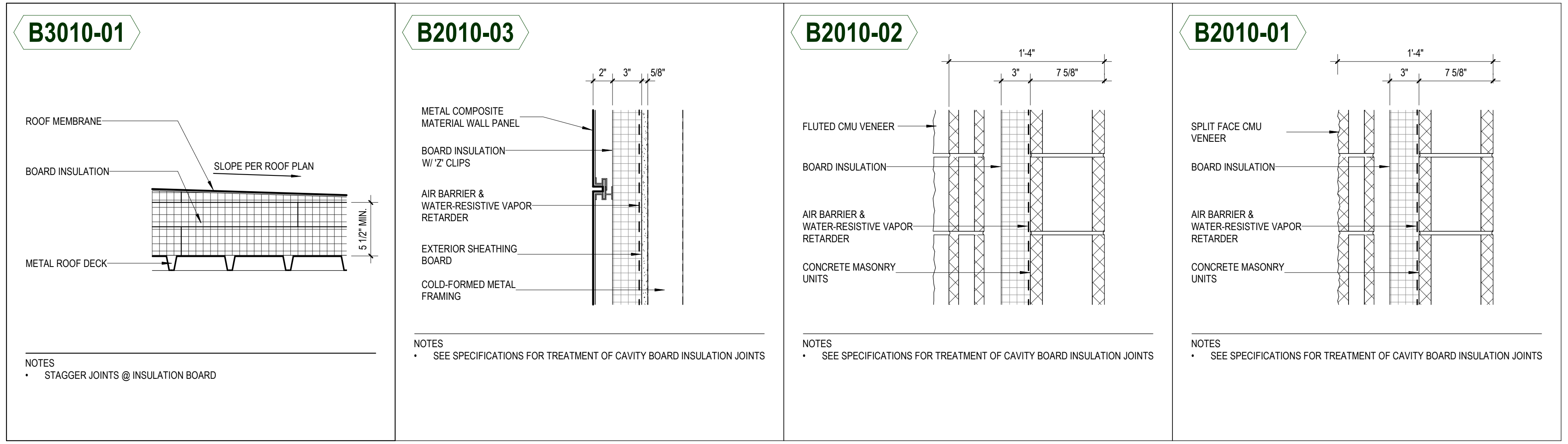
SHEET INFORMATION

PROJECT MANAGER MVL
PROJECT NUMBER 924446

BUILDING SYSTEMS & NOTES, SPECS

A000

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| NUMBER | DOOR AND FRAME SCHEDULE | | | | | | | | | | | | NUMBER | | | | | | | | | | |
|---------------|-------------------------|-------|-------|------|------|-------|--------------------|--------|----------|---------|-----|-----|--------|-------|---------|---------|----------|--------------|---------|--|--|-------|-------|
| | DOOR | | | | | | SIDELITE & TRANSOM | | | FRAME | | | | | | | | | | | | | |
| | LEAF QTY | WIDTH | HGT | TYPE | MAT | FIN | SL WIDTH | SL HGT | TRNS HGT | GL TYPE | MAT | FIN | | HEAD | JAMB | SILL | HDWE TAG | RATING (MIN) | REMARKS | | | | |
| WAREHOUSE FLR | | | | | | | | | | | | | | | | | | | | | | | |
| 101-1 | 1 | 3'-2" | 7'-2" | FG-A | ALUM | ANOD. | | | | | | | ALUM | ANOD. | A1/A102 | A2/A103 | A5/A103 | AL1 | | | | 101-1 | |
| 102-2 | 1 | 3'-0" | 7'-2" | FG-A | ALUM | ANOD. | | | | | | | 01 | ALUM | ANOD. | B5/A103 | A2/A103 | A4/A103 | AL2 | | | 1 | 102-2 |

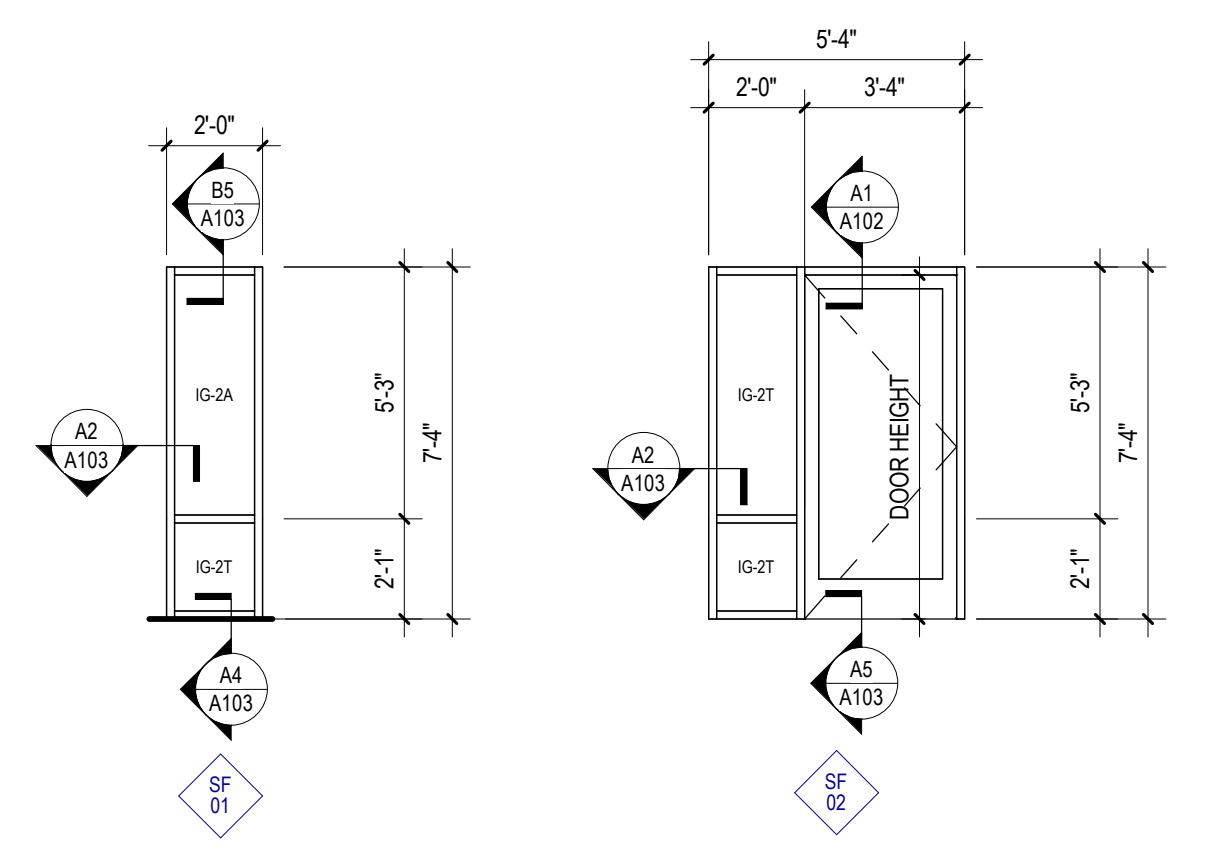
| DOOR AND FRAME SCHEDULE | |
|---------------------------|--|
| GENERAL NOTES AND REMARKS | |
| REMARKS: | 1. NEW DOOR AND FRAME IN EXISTING OPENING. VIF |

| 087100 DOOR HARDWARE | |
|--|------------------------------|
| SET A1.1 | |
| 1 EA CONTINUOUS HINGE | 780-112HD DKB HAGER |
| 1 EA RIM EXIT DEVICE | 33A-NL-OP 710 VON DUPRIN |
| 1 EA PRIMUS CYLINDER | AS REQUIRED 613 SCHLAGE |
| 1 EA OFFSET PULL | BF158 613E ROCKWOOD |
| 1 EA CLOSER | 4110 EDA x 18 x 61 DKB LCN |
| 1 EA OVERHEAD STOP | 100 SERIES 613 GLYNN JOHNSON |
| 1 EA SWEEP | 200N DKB NSP |
| 1 EA THRESHOLD | 8425 MIL NSP |
| 1 EA DOOR POS. SWITCH | BY SECURITY CONTRACTOR |
| * SEALS BY DOOR MANUFACTURER. | |
| SET A1.2 | |
| 1 EA CONTINUOUS HINGE | 780-112HD DKB HAGER |
| 1 EA RIM EXIT DEVICE | 33A-NL-OP 710 VON DUPRIN |
| 1 EA PRIMUS CYLINDER | AS REQUIRED 613 SCHLAGE |
| 1 EA OFFSET PULL | BF158 613E ROCKWOOD |
| 1 EA ELECTRIC STRIKE | 9600 613 HES |
| 1 EA CLOSER | 4110 EDA x 18 x 61 DKB LCN |
| 1 EA OVERHEAD STOP | 100 SERIES 613 GLYNN JOHNSON |
| 1 EA SWEEP | 200N DKB NSP |
| 1 EA THRESHOLD | 8425 MIL NSP |
| 1 EA DOOR POS. SWITCH | BY SECURITY CONTRACTOR |
| 1 EA CARD READER | BY SECURITY CONTRACTOR |
| * SEALS BY DOOR MANUFACTURER. | |
| * OPERATIONAL DESCRIPTION: DOOR NORMALLY CLOSED AND LOCKED. VALID CREDENTIAL ALLOWS ENTRY. DOOR REMAINS LOCKED UPON LOSS OF POWER. INSIDE PUSH PAD ALWAYS FREE FOR EGRESS. | |

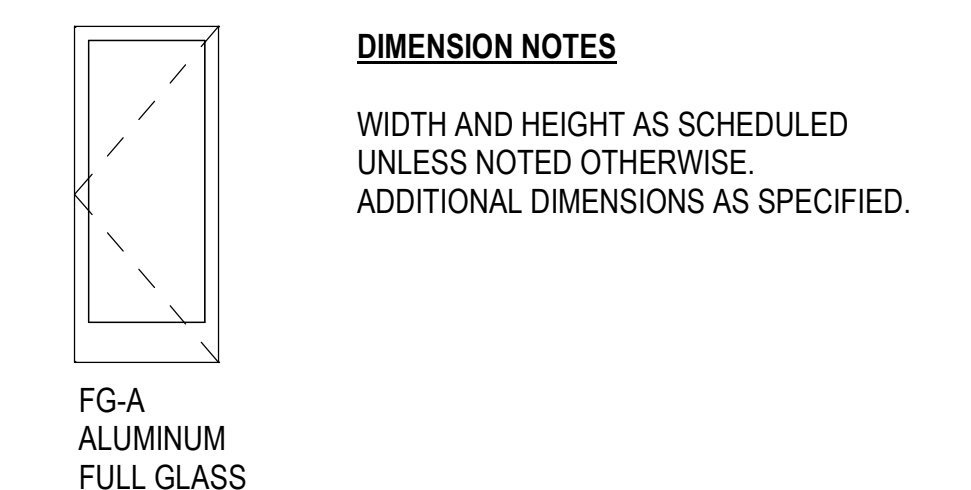
| FLOOR PLAN NOTES | |
|------------------|--|
| A. | BEFORE BEGINNING WORK, VERIFY THE EXISTENCE AND LOCATION OF PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY. |
| B. | ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE. |
| C. | REPAIR, PATCH AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION. MAKE APPEAR NEW, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES. SKIM COAT AND PREPARE ALL DAMAGED OR UNFINISHED SURFACES. |

| DEMOLITION NOTES | |
|------------------|---|
| A. | PRIOR TO BEGINNING WORK, NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED BETWEEN THE PROPOSED SCOPE OF WORK AND THE EXISTING CONDITIONS. |
| B. | CONTRACTOR TO COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION AS SHOWN ON DRAWINGS. REPORT ANY CONFLICTS TO ARCHITECT BEFORE DEMOLITION WORK BEGINS. |
| C. | SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED BY THESE DRAWINGS BUT SHALL INCLUDE ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION. |
| D. | CONTRACTOR TO PROTECT AREAS ADJACENT TO DEMOLITION. ANY INADVERTENT DAMAGE DONE TO ADJACENT AREAS NOT SPECIFICALLY SCHEDULED FOR DEMOLITION SHALL BE REPLACED BY THE CONTRACTOR AT NO CHARGE TO THE OWNER. |
| E. | BUILDING TO REMAIN OPERATIONAL DURING REMODELING/ CONSTRUCTION. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION BARRIERS TO CONTROL DUST AND PROTECT THE PUBLIC FROM HARM FOR THE DURATION OF ALL CONSTRUCTION WORK. PROPER EGRESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION. |

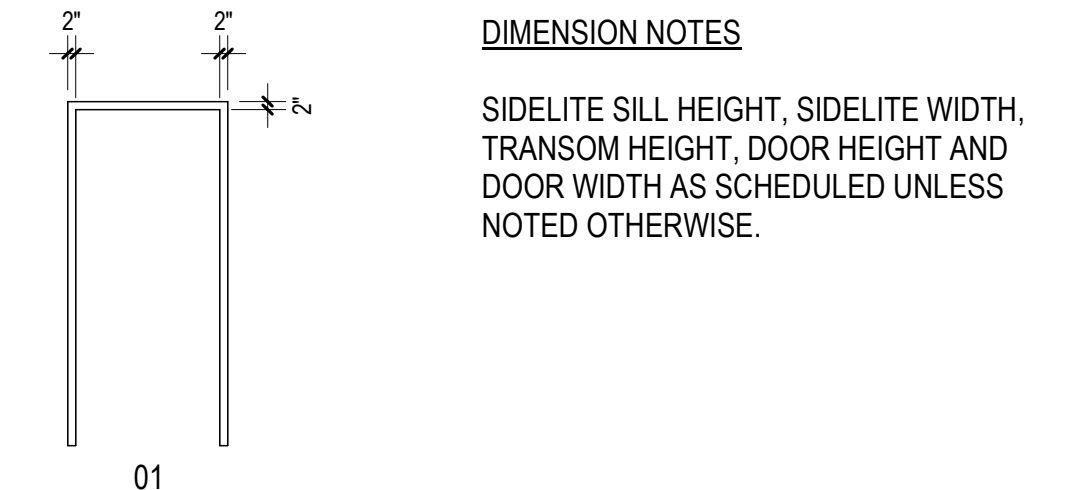
| KEYNOTES PER SHEET | |
|--------------------|--|
| 0420-10 | GRIND FLUTED CMU SMOOTH FOR METAL PANEL CONNECTION. PROVIDE BACKER ROD AND SEALANT |
| B2010-03 | METAL PANEL, RIGID INSULATION W/ 'Z' CLIPS, AIR BARRIER, EXTERIOR SHEATHING, COLD-FORMED METAL FRAMING |
| B3010-01 | FULLY ADHERED, 60 MIL, BLACK EPDM ROOFING MEMBRANE, TAPERED INSULATION, RIGID INSULATION, ROOF DECK |



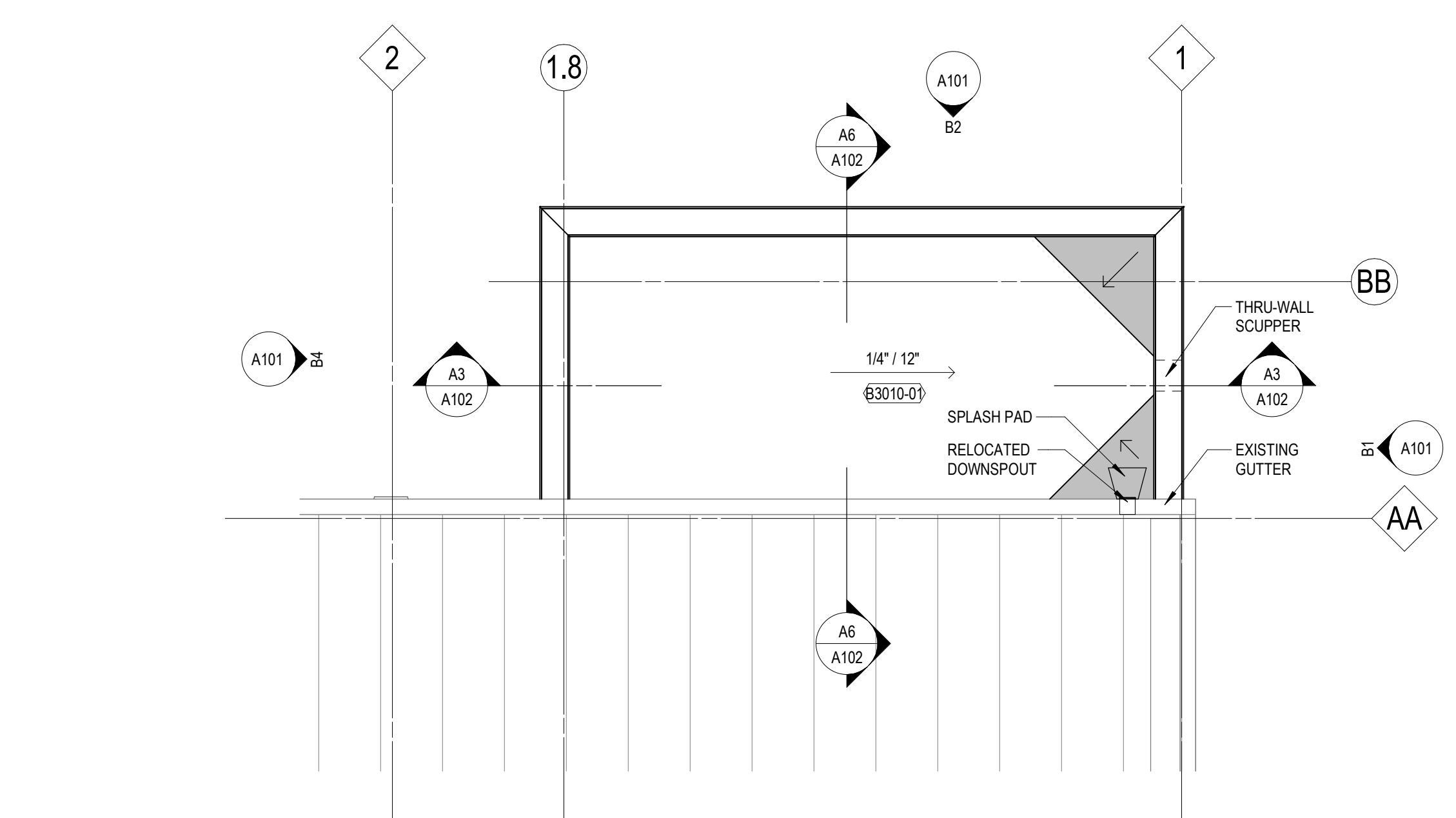
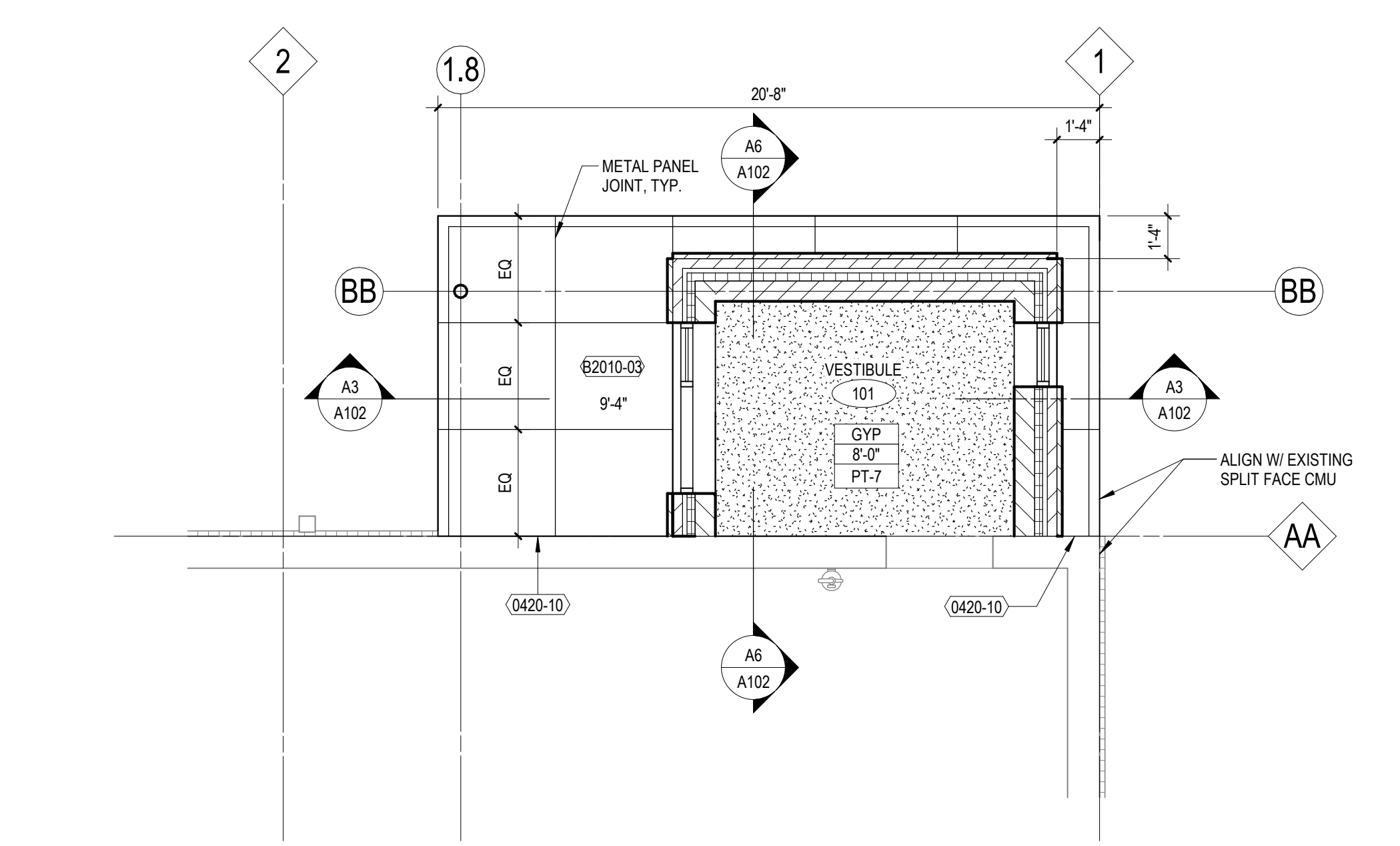
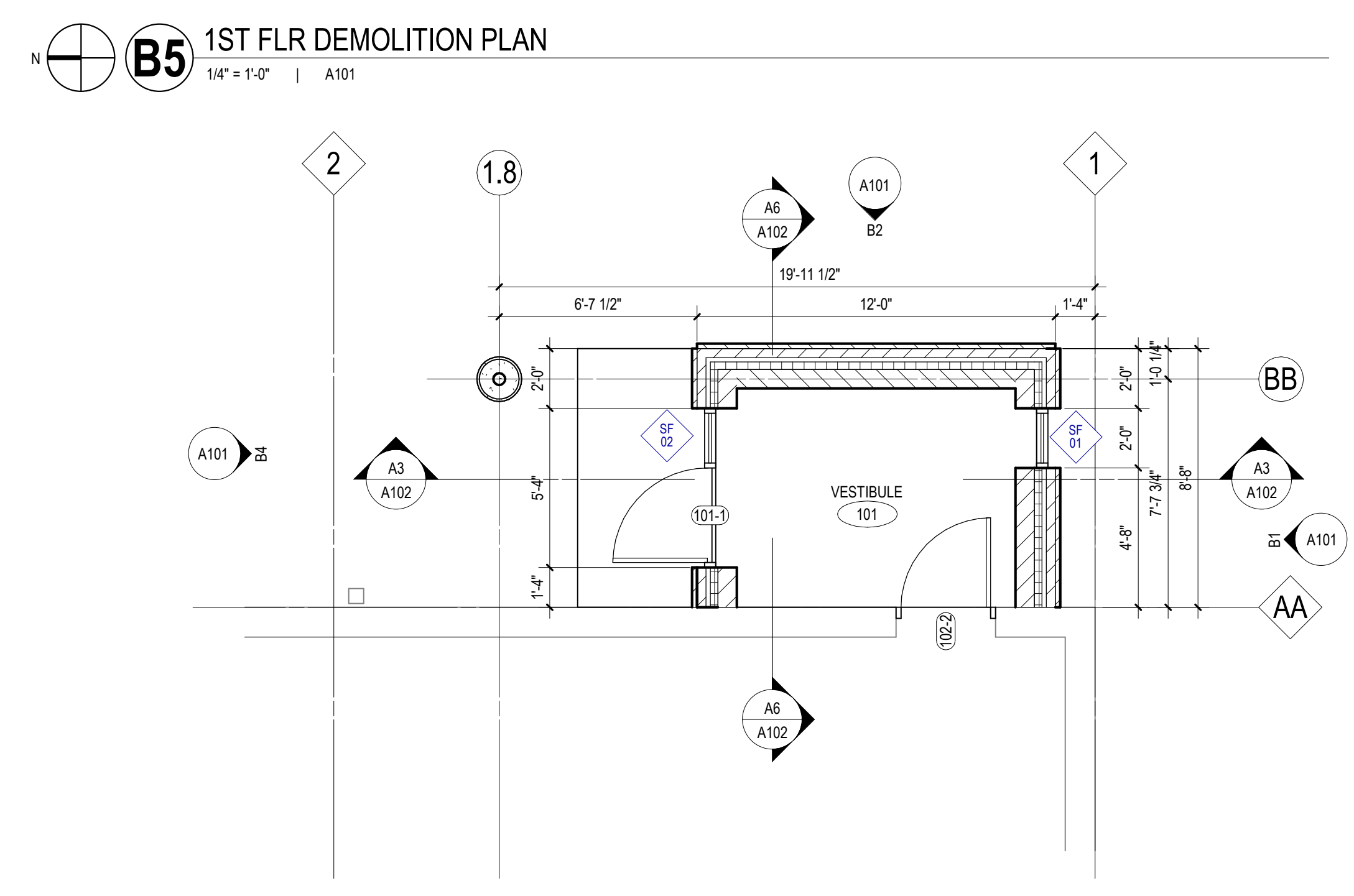
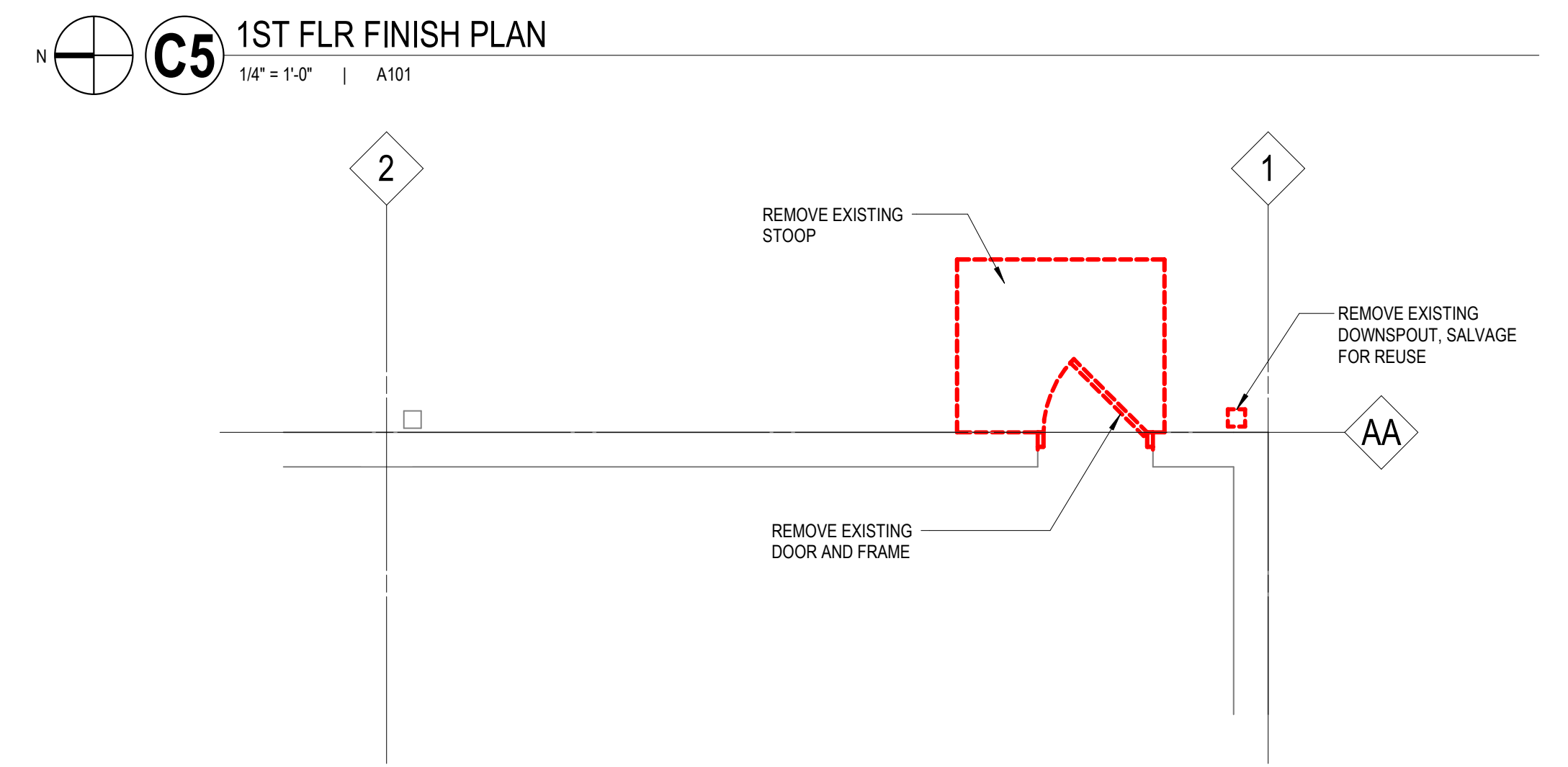
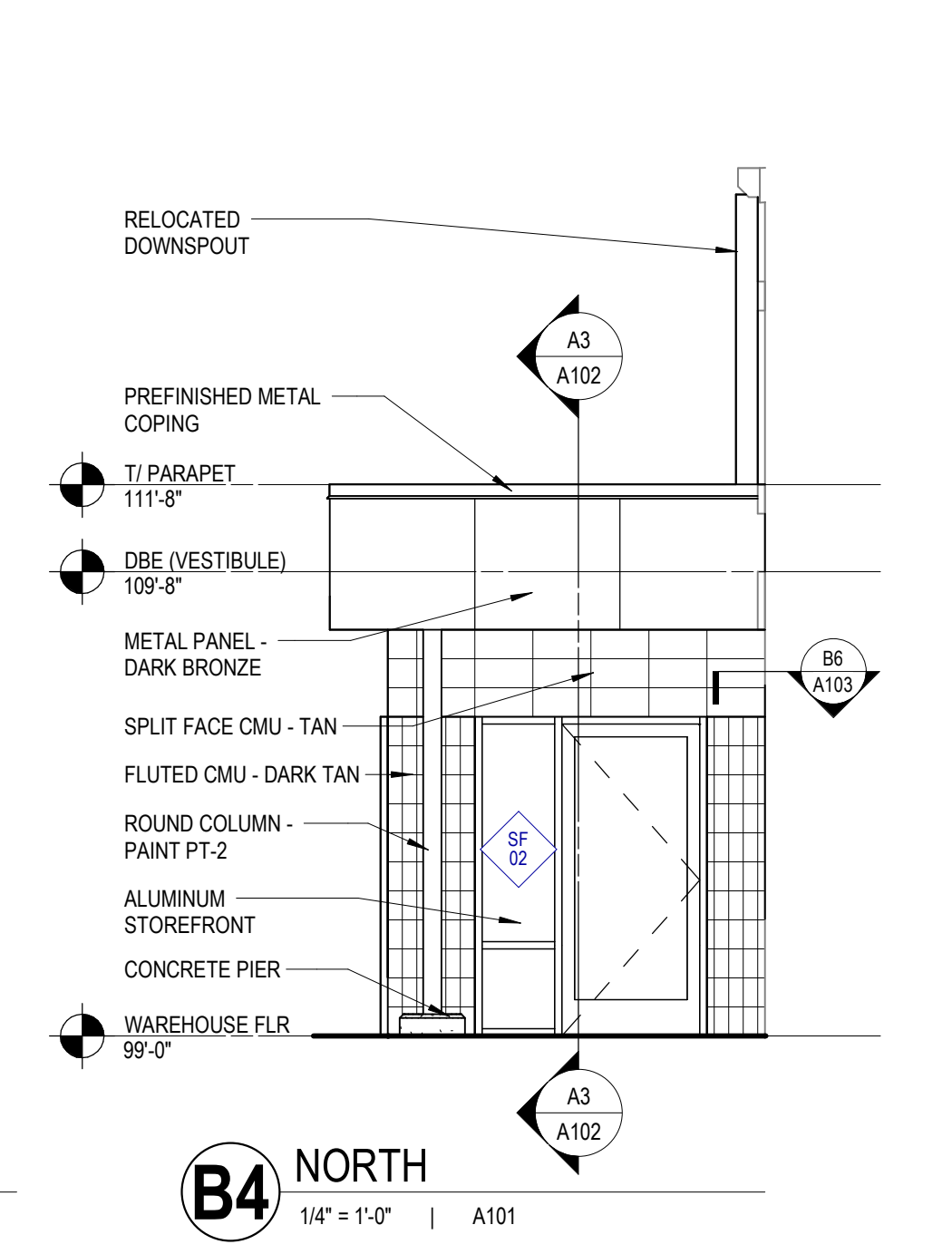
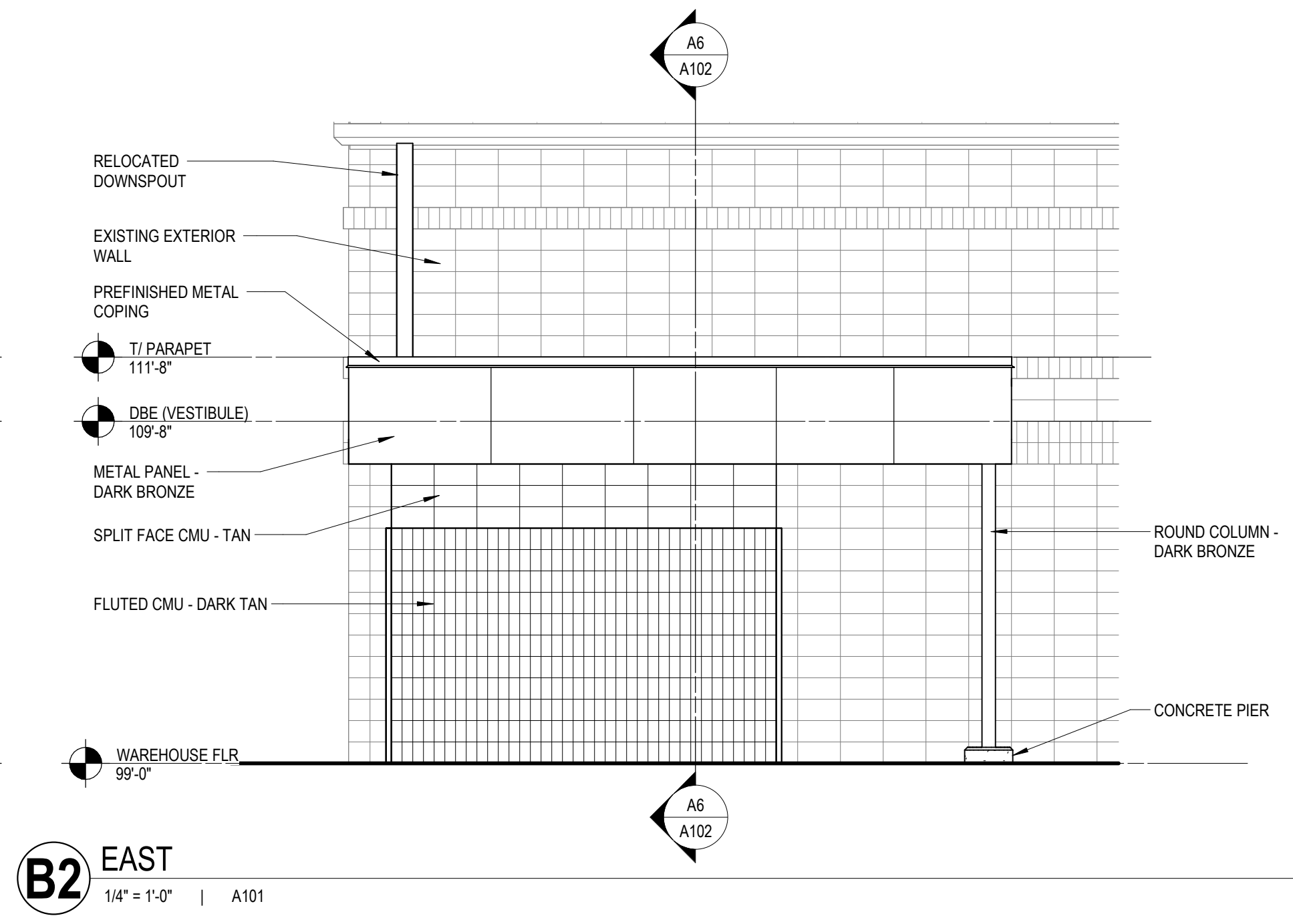
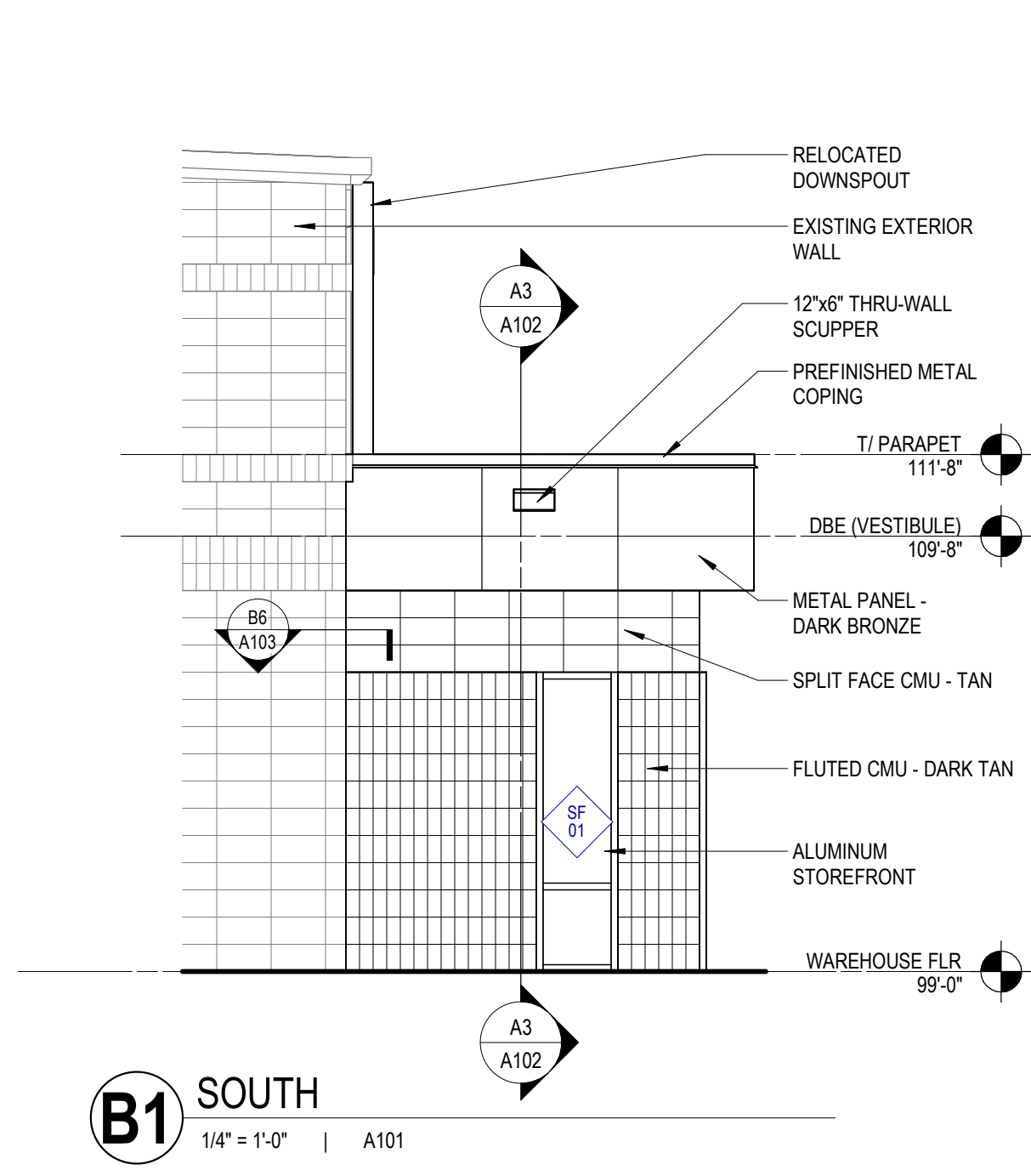
EXTERIOR FRAME TYPES
1/4" = 1'-0"



DOOR TYPES
1/4" = 1'-0"



FRAME TYPES
1/4" = 1'-0"



E

PROJECT INFORMATION
Belmark Plant 5 - Vestibule

D 675 Heritage Rd, De Pere, WI 54115

| ISSUANCE AND REVISIONS | |
|------------------------|------------------------|
| DATE | DESCRIPTION |
| 10/22/2024 | CONSTRUCTION DOCUMENTS |

C

KEY PLAN

B

SHEET INFORMATION

PROJECT MANAGER MVL
PROJECT NUMBER 924446

FLR PLANS, ELEVATIONS, DOOR SCHEDULE

A101

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| KEYNOTES PER SHEET | |
|--------------------|--|
| 0420-05 | TERMINATION BAR |
| 0420-06 | STAINLESS STEEL DRIP EDGE FLASHING |
| 0420-07 | CAVITY MORTAR CONTROL |
| 0420-08 | WEEPI VENT |
| 0610-04 | WOOD BLOCKING/NAILER |
| 0610-13 | 3/4" FIRE RETARDANT TREATED PLYWOOD |
| 0610-15 | FIRE RETARDANT TREATED WOOD PARAPET BLOCKING |
| 0721-05 | SPRAY-APPLIED POLYURETHANE FOAM INSULATION |
| 0725-01 | AIR BARRIER & WATER-RESISTIVE VAPOR RETARDER |
| 0753-01 | ROOF MEMBRANE |
| 0753-10 | COMPRESSIBLE TUBE |
| 0762-02 | PREFINISHED METAL COPING |
| 0762-04 | PREFINISHED METAL COUNTER FLASHING |
| 0762-16 | PREFINISHED METAL SCUPPER |
| 0790-01 | SEALANT |
| 0790-02 | BACKER ROD & SEALANT |
| 0843-01 | ALUMINUM-FRAMED STOREFRONT |
| 82010-01 | SPLIT FACE CMU VENEER, AIR SPACE, RIGID INSULATION, AIR BARRIER, CMU |
| 82010-02 | FLUTED CMU VENEER, AIR SPACE, RIGID INSULATION, AIR BARRIER, CMU |
| 82010-03 | METAL PANEL, RIGID INSULATION W/ Z CLIPS, AIR BARRIER, EXTERIOR SHEATHING, COLD-FORMED METAL FRAMING |

E

PROJECT INFORMATION
Belmark Plant 5 - Vestibule

D 675 Heritage Rd, De Pere, WI 54115

| ISSUANCE AND REVISIONS | |
|------------------------|------------------------|
| DATE | DESCRIPTION |
| 10/22/2024 | CONSTRUCTION DOCUMENTS |

C

KEY PLAN

B

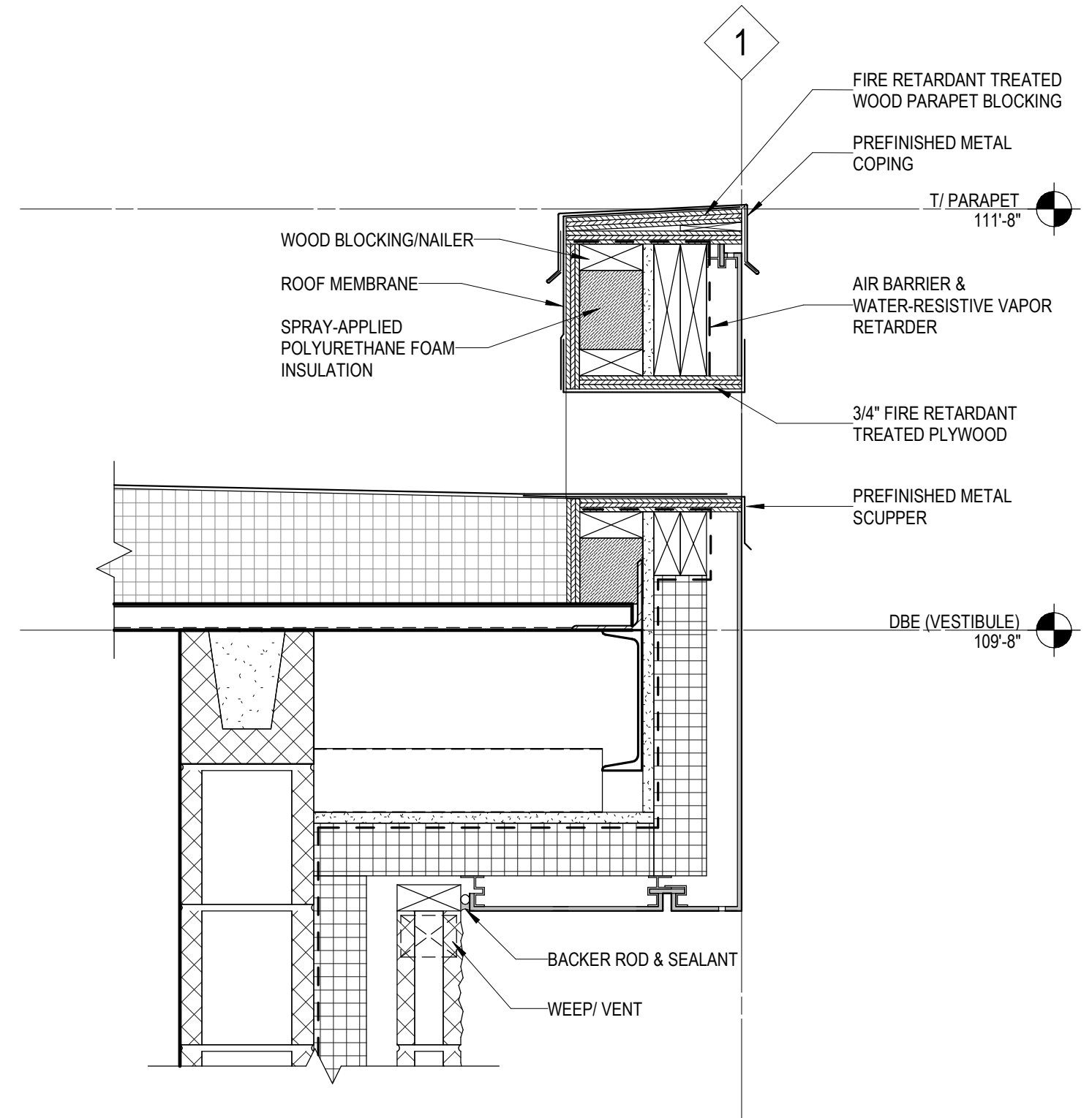
SHEET INFORMATION

PROJECT MANAGER MVL
 PROJECT NUMBER 924446

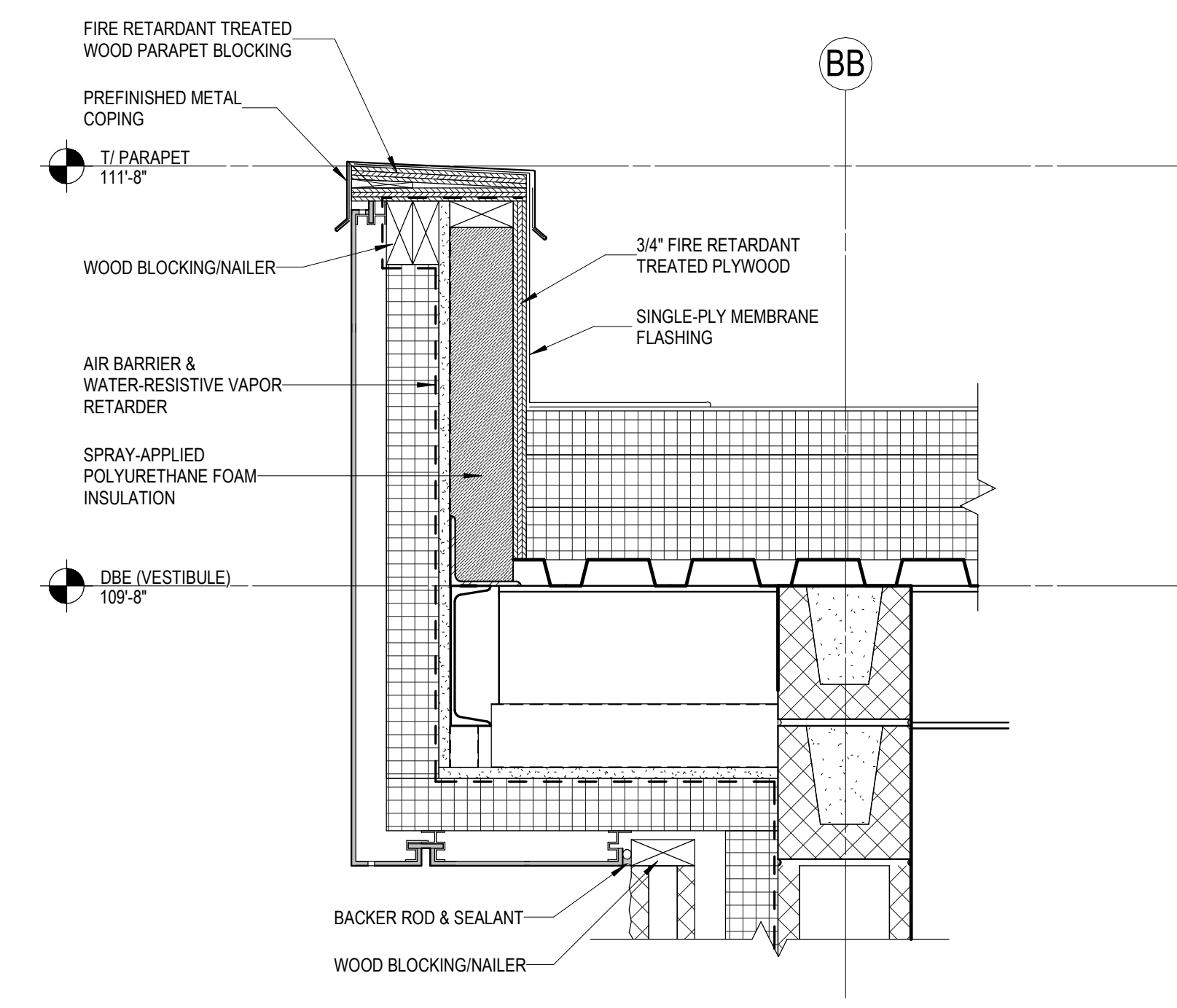
SECTIONS, DETAILS

A102

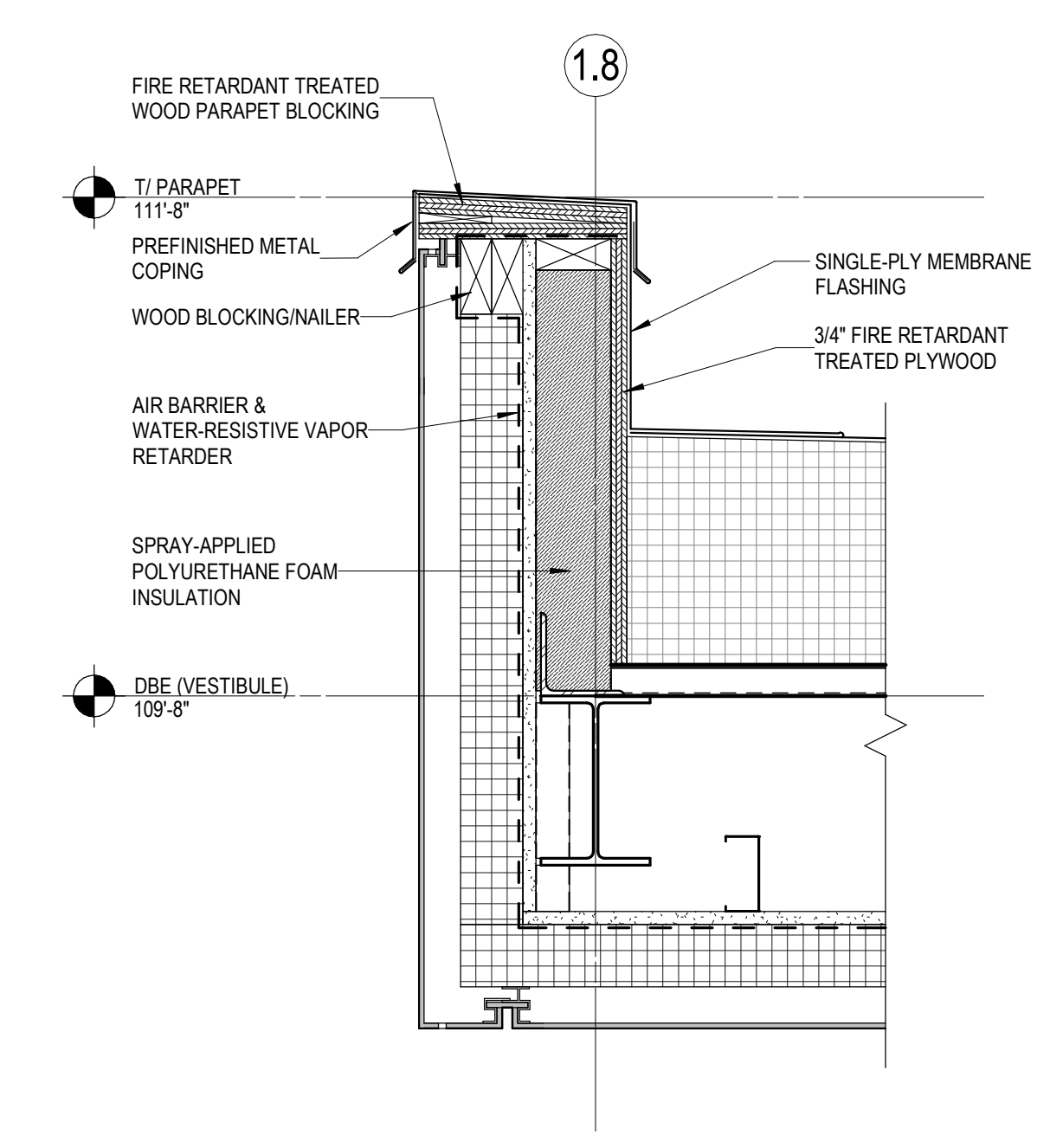
© 2024 Epstein Uhen Architects, Inc.



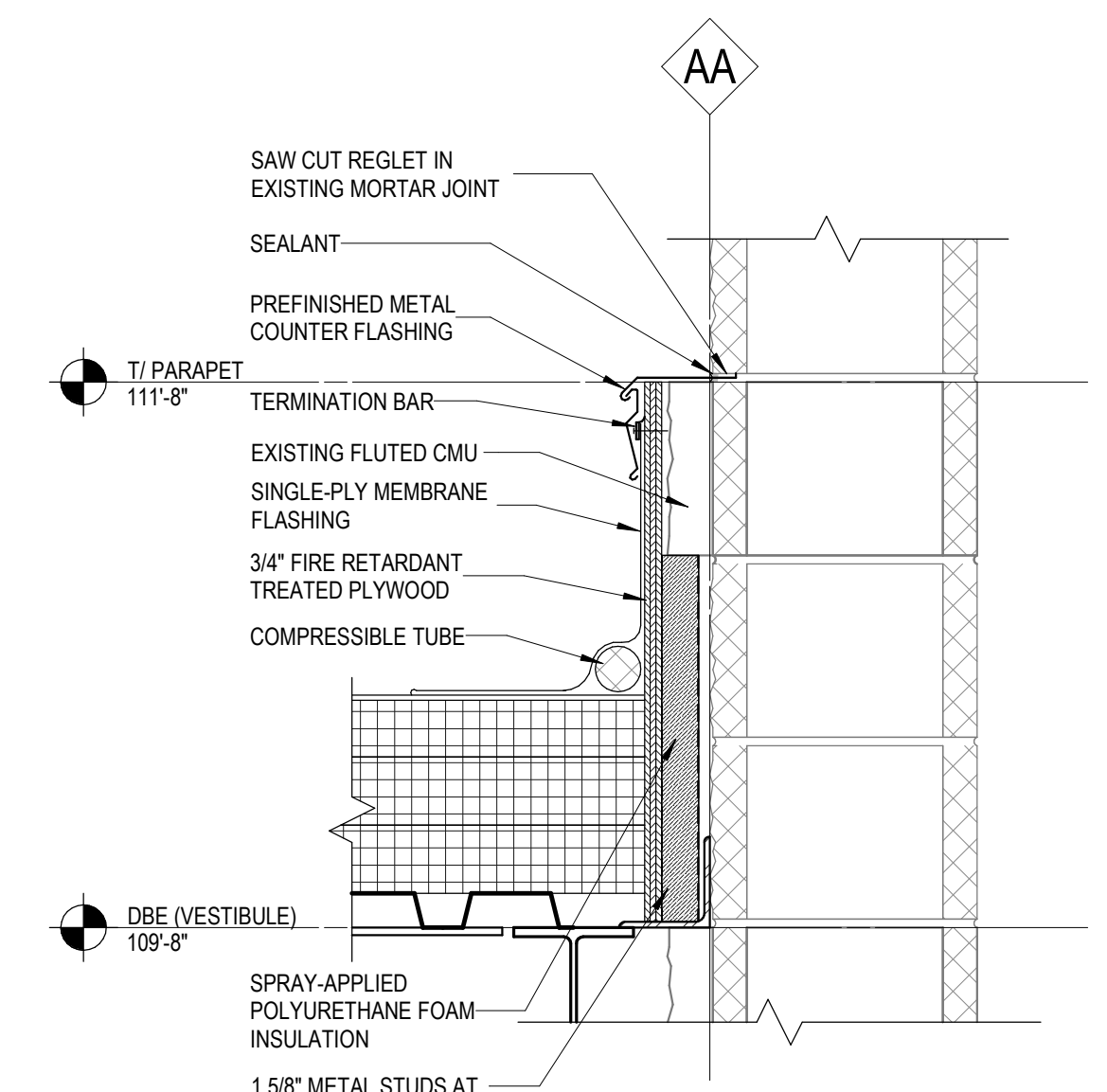
D1 PARAPET AT SCUPPER
 1 1/2" = 1'-0" | A102



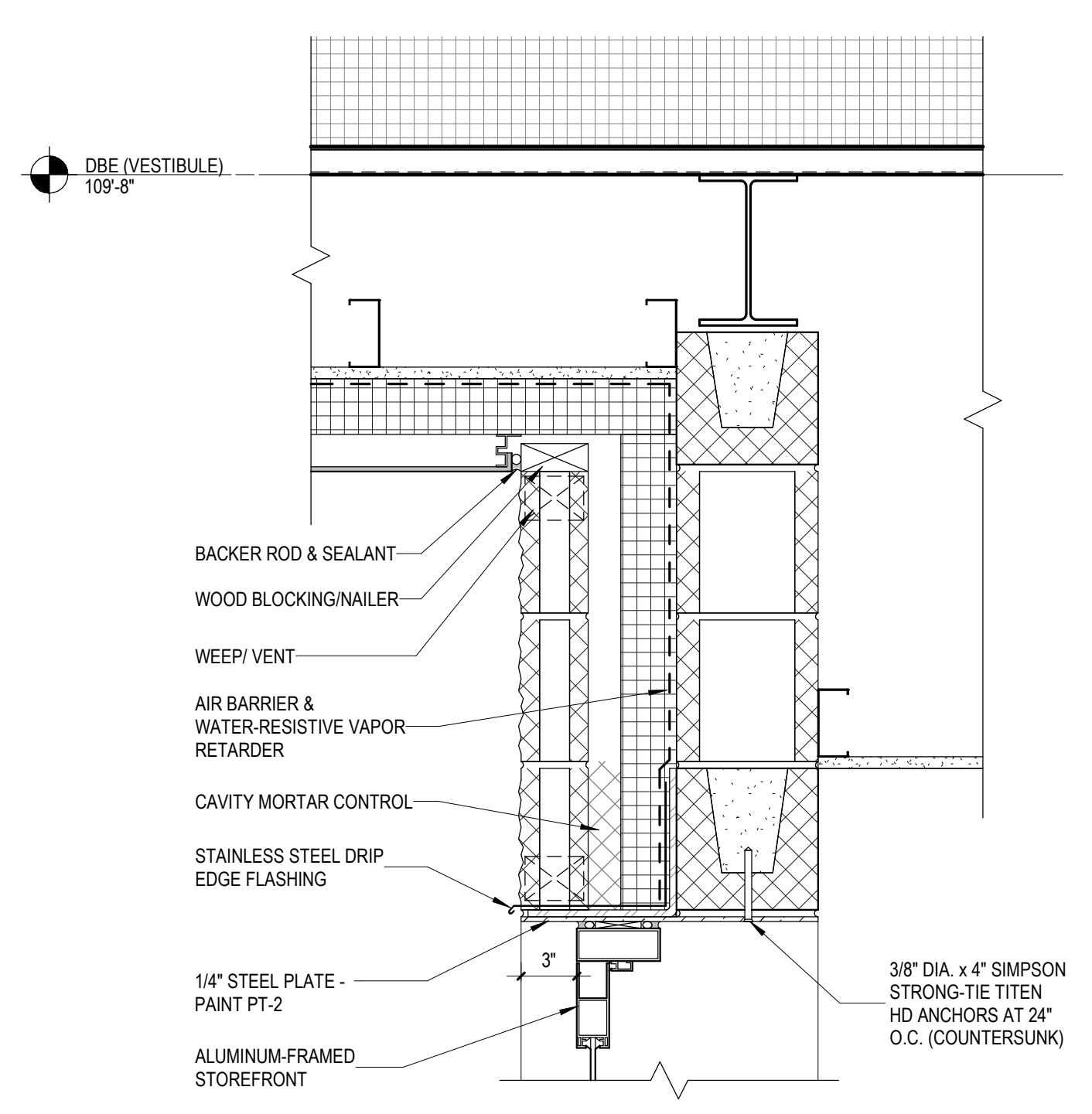
D3 PARAPET
 1 1/2" = 1'-0" | A102



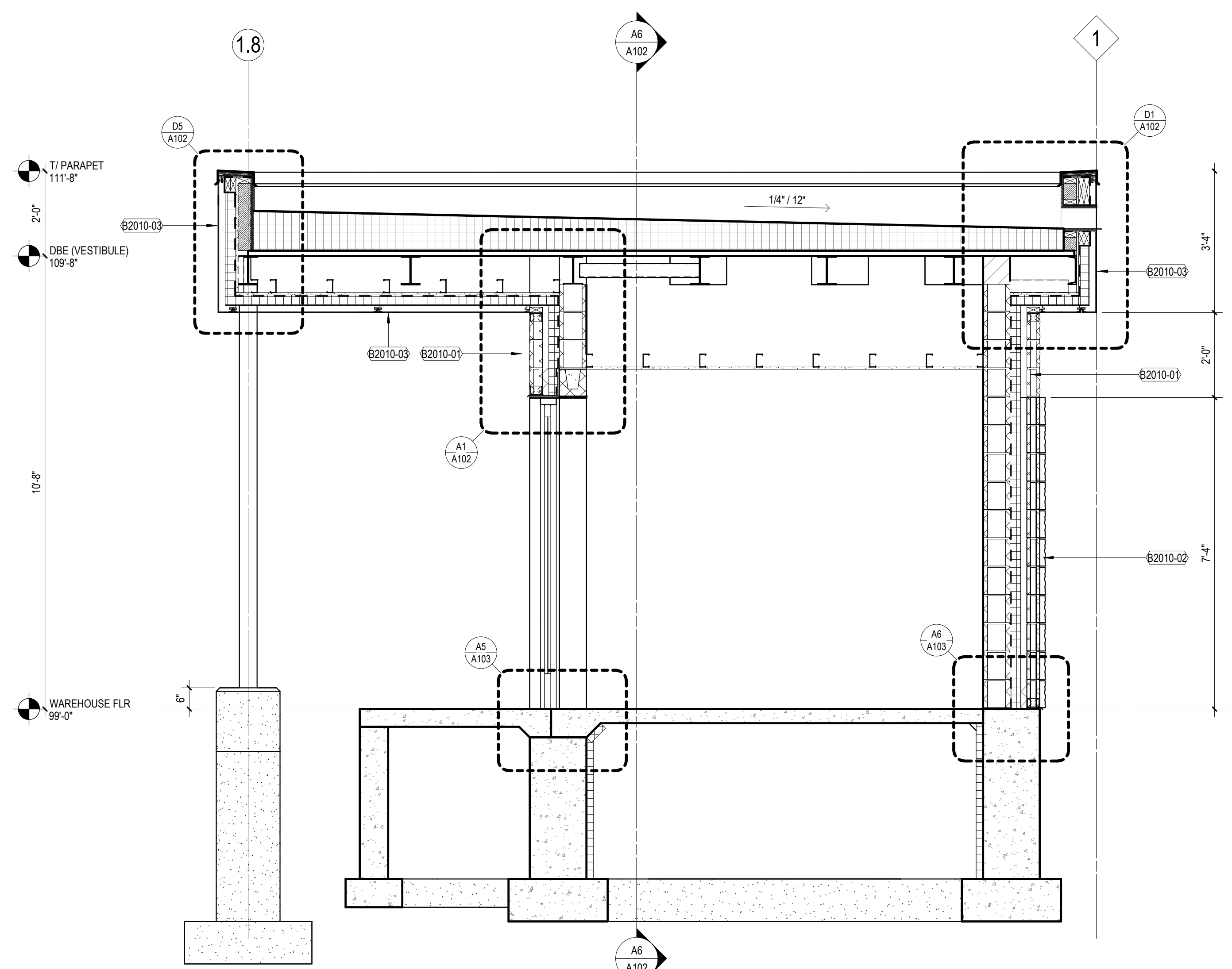
D5 PARAPET AT CANOPY
 1 1/2" = 1'-0" | A102



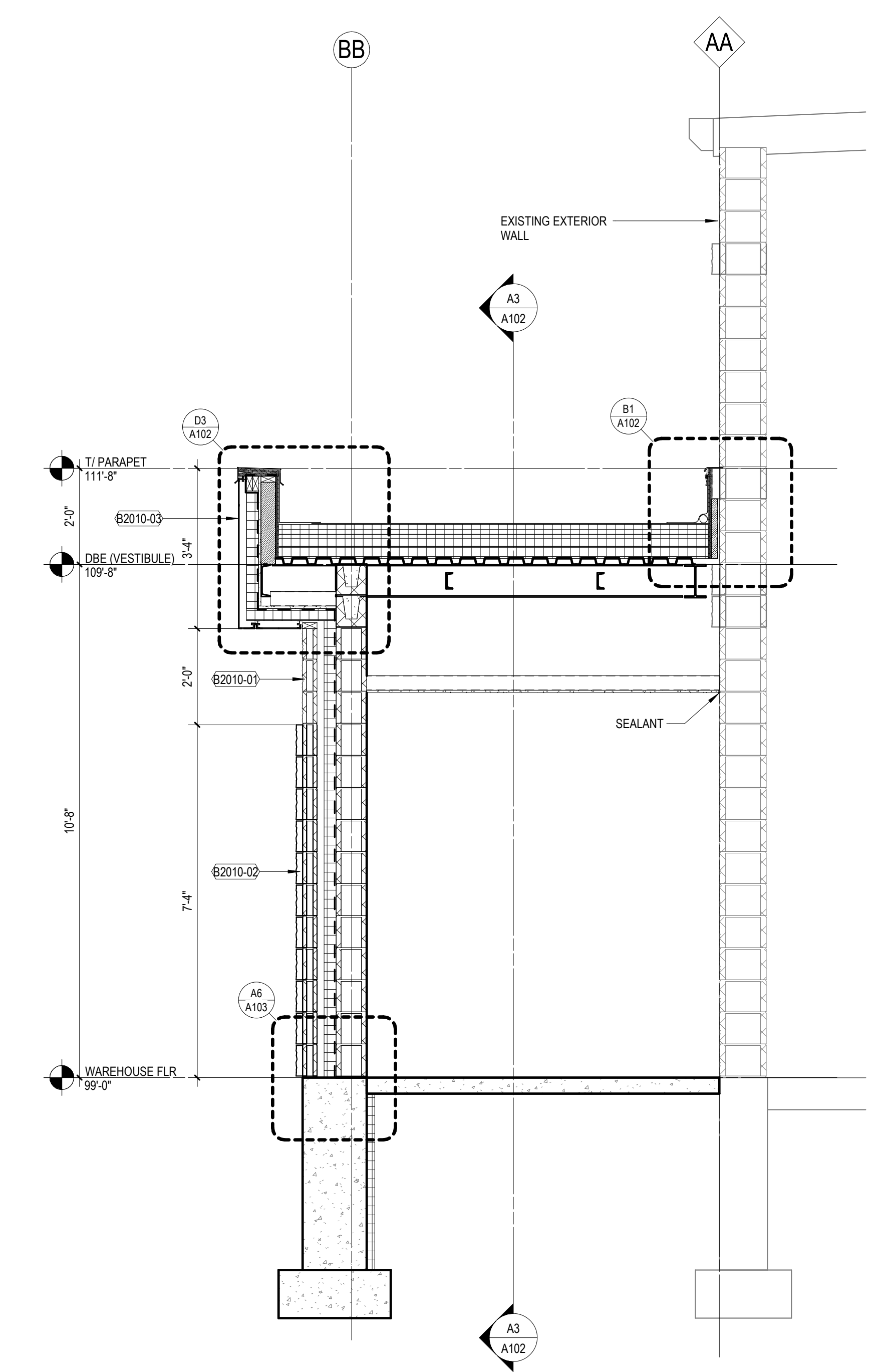
B1 COUNTERFLASHING
 1 1/2" = 1'-0" | A102



A1 WINDOW HEAD AT ENTRANCE
 1 1/2" = 1'-0" | A102



A3 VESTIBULE SECTION (N,S)
 1/2" = 1'-0" | A102



A6 VESTIBULE SECTION (E,W)
 1/2" = 1'-0" | A102

1

2

3

4

5

6

7

| FINISH SCHEDULE | | | | | | | |
|-----------------|----------------------------|------------------|--|-------------------------|---------------------|---------|--|
| TYPE MARK | DESCRIPTION | MANUFACTURER | PRODUCT | COLOR | FINISH/INSTALLATION | SIZE | COMMENT |
| CEILING | | | | | | | |
| PF-7 | PAINT - DRYWALL CEILING | SHERWIN WILLIAMS | PROMAR 200 ZERO VOC INTERIOR LATEX EG SHEL EXTRA WHITE | SW7010 WHITE DUCK | - | - | - |
| FLOORING | | | | | | | |
| LVT-1 | LUXURY VINYL TILE | RI TO MARKET | URBAN 20 CLASSICS | TM 2808 MLAN | BRICK | 12 x 24 | NOTE: OWNER PROVIDED MATERIAL. DO NOT NEED TO ORDER. |
| WALL | | | | | | | |
| PT-1 | PAINT - WALLS | SHERWIN WILLIAMS | PRIMER: PI HD BLOCK FILLER; FINISH: PI PRECAT SG EX WH | SW0037 MORRIS ROOM GREY | - | - | - |
| PT-2 | PAINT - HRT DOORS & FRAMES | SHERWIN WILLIAMS | PRIMER: PI PROCRYL PR OF W; FINISH: PI PRECAT SG EX WH | SW7020 BLACK FOX | - | - | - |
| WALL BASE | | | | | | | |
| VWB-1 | VINYL WALL BASE | JOHNSONITE | VINYL COVE 1/8" | 44 DARK BROWN | - | 4" | - |

| KEYNOTES PER SHEET | |
|--------------------|--|
| 0420-06 | STAINLESS STEEL DRIP EDGE FLASHING |
| 0420-07 | CAVITY MORTAR CONTROL |
| 0420-08 | WEEP VENT |
| 0610-04 | WOOD BLOCKING/NAILER |
| 0721-05 | SPRAY-APPLIED POLYURETHANE FOAM INSULATION |
| 0721-10 | BOARD INSULATION |
| 0725-01 | AIR BARRIER & WATER-RESISTIVE VAPOR RETARDER |
| 0763-07 | PREFINISHED METAL DRIP EDGE |
| 0790-02 | BACKER ROD & SEALANT |
| 0843-01 | ALUMINUM-FRAMED STOREFRONT |



milwaukee | madison | green bay | denver | atlanta

PROJECT INFORMATION

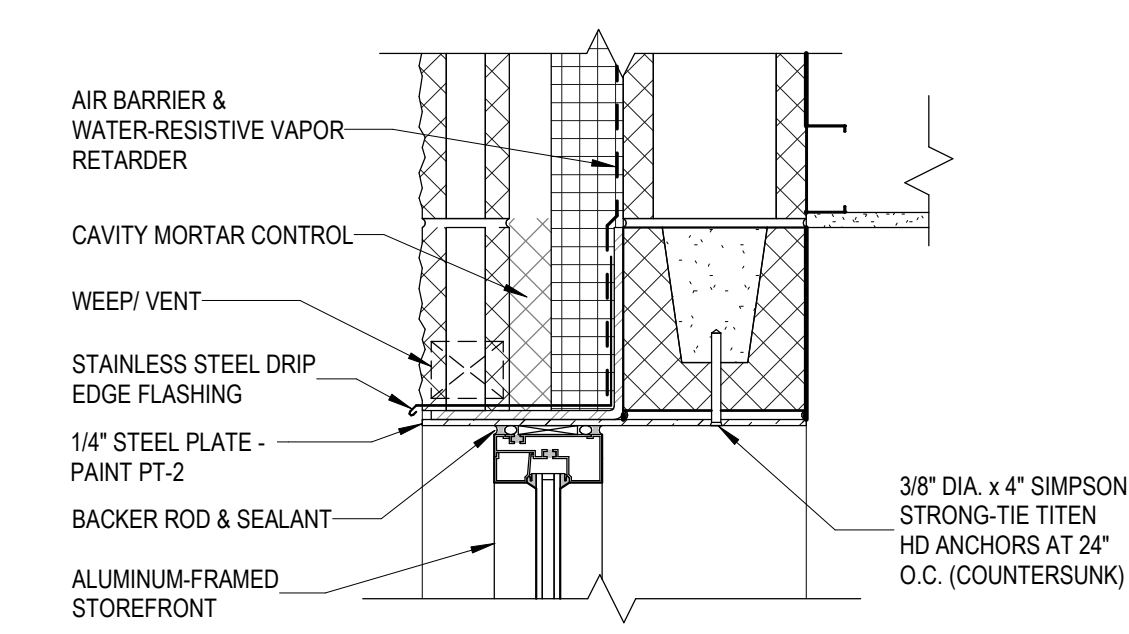
Belmark Plant 5 - Vestibule

675 Heritage Rd, De Pere, WI 54115

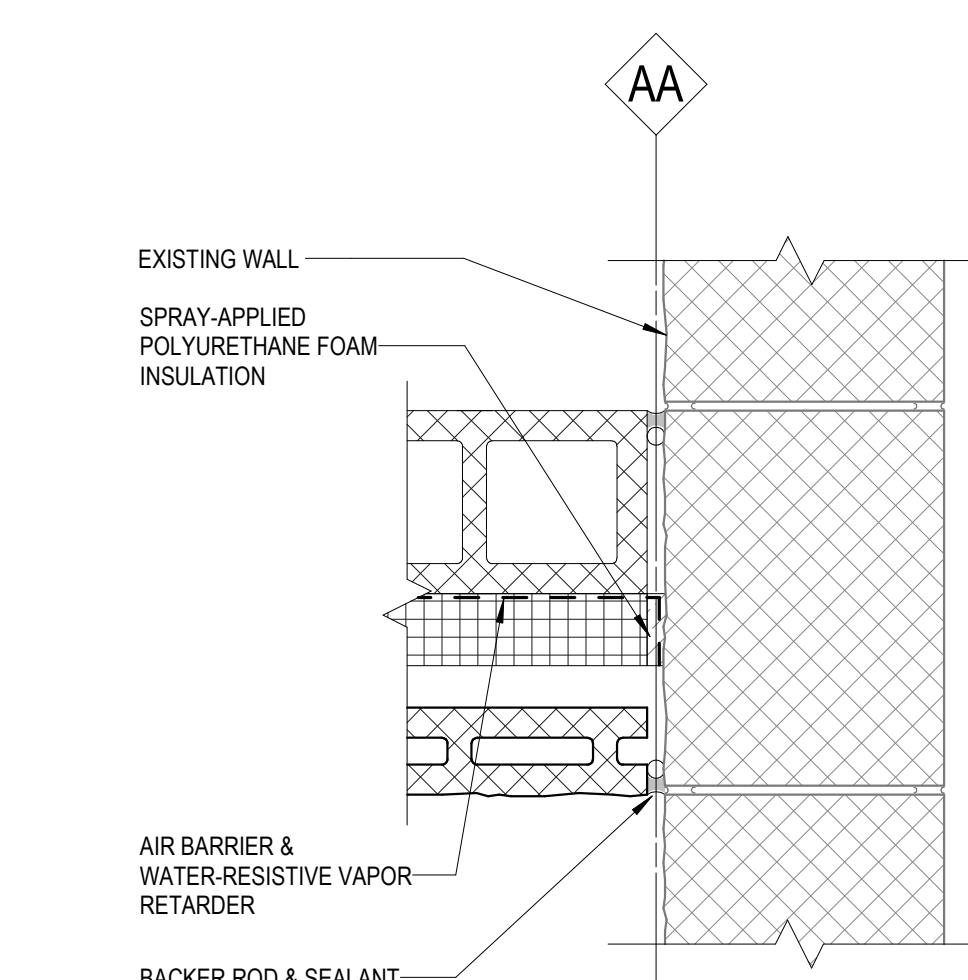
ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|------------------------|
| 10/22/2024 | CONSTRUCTION DOCUMENTS |

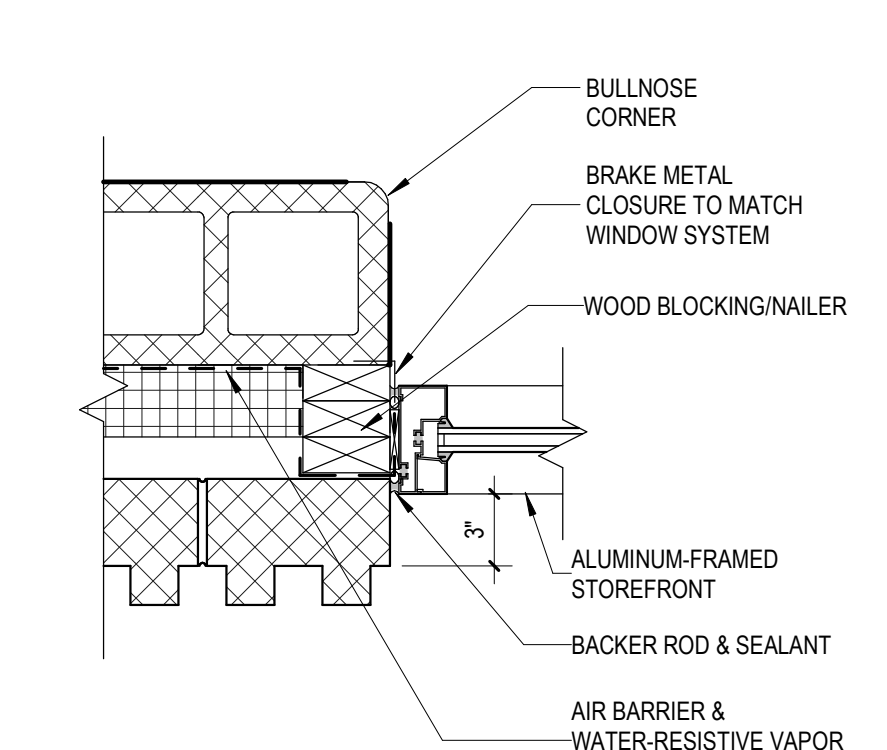
KEY PLAN



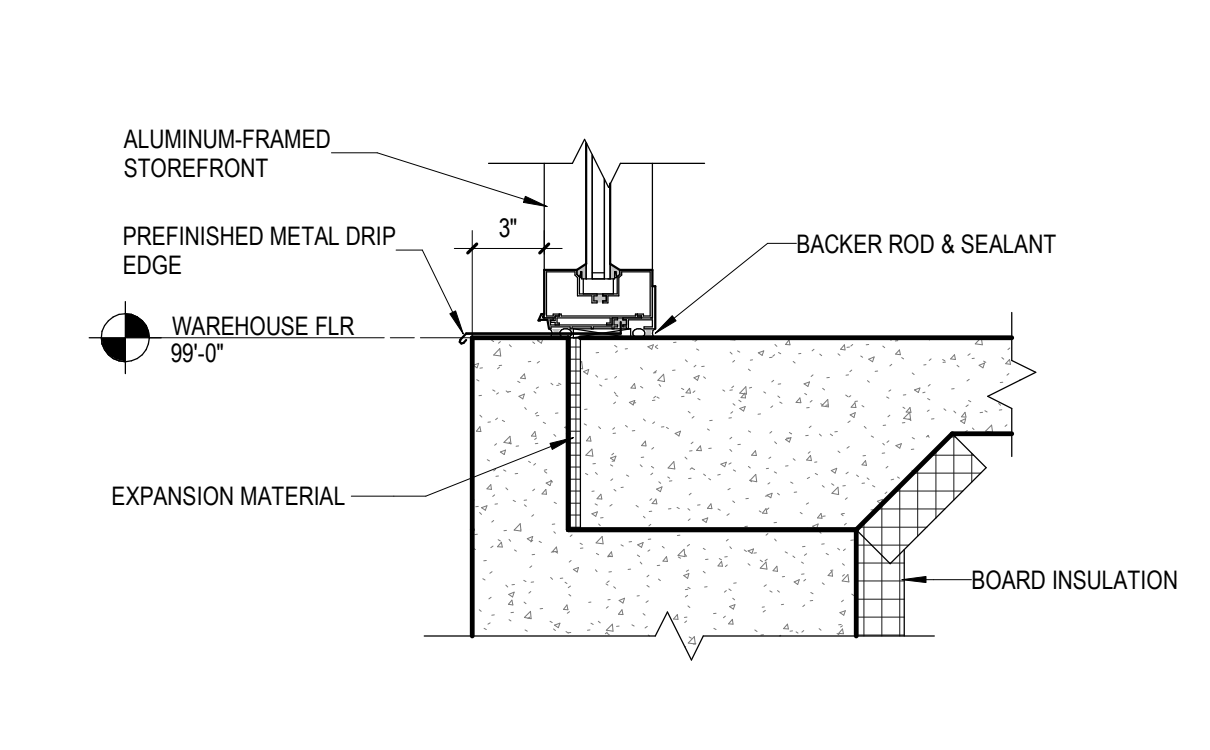
B5 WINDOW HEAD
1 1/2" = 1'-0" | A103



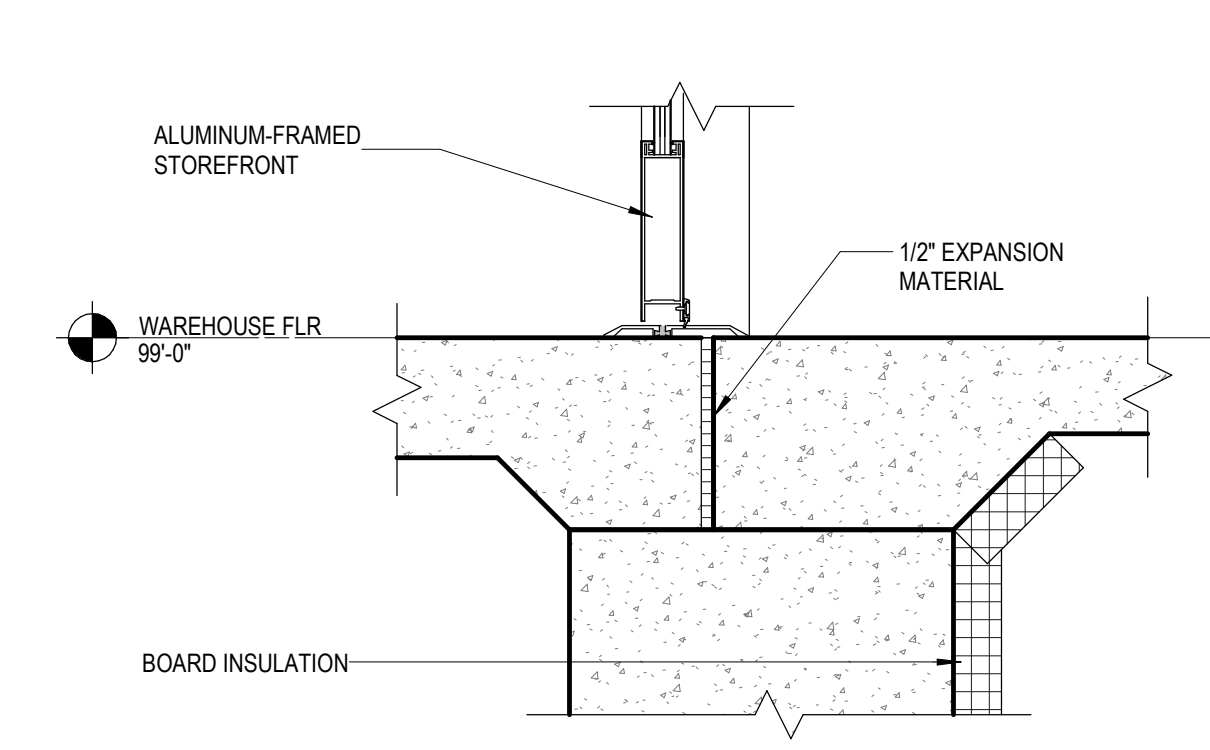
B6 WALL JAMB AT EXISTING WALL
1 1/2" = 1'-0" | A103



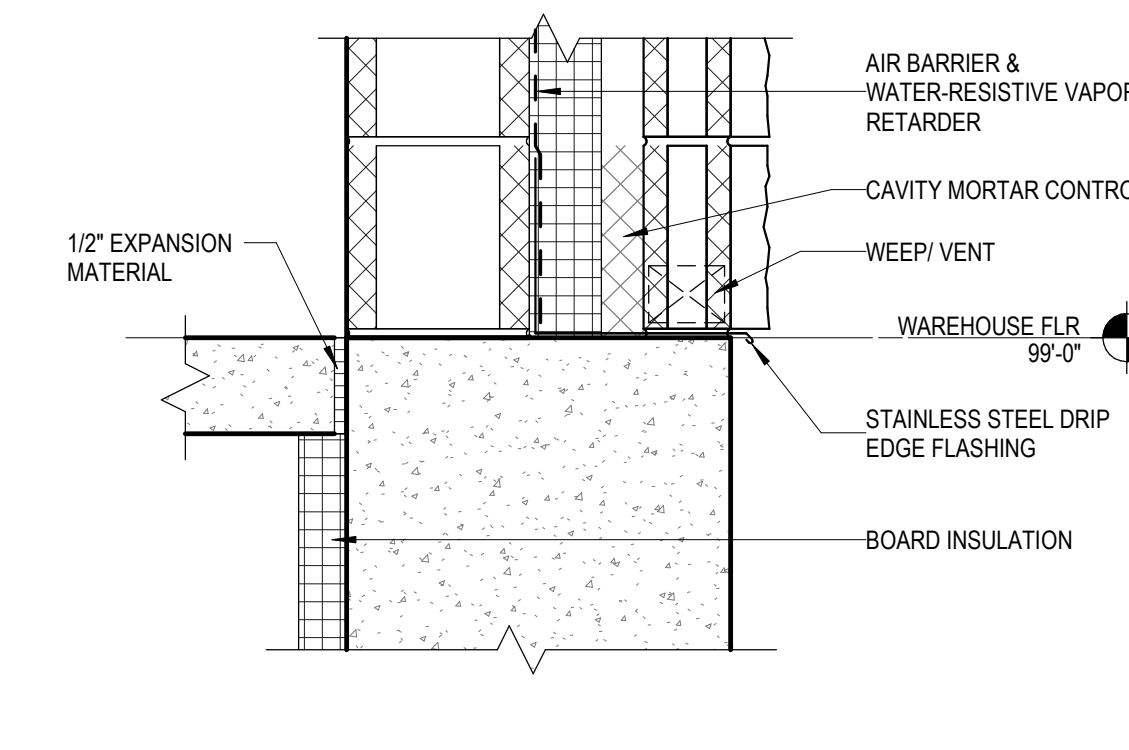
A2 WINDOW JAMB
1 1/2" = 1'-0" | A103



A4 WINDOW SILL
1 1/2" = 1'-0" | A103



A5 WINDOW SILL AT STOOP
1 1/2" = 1'-0" | A103



A6 WALL BASE
1 1/2" = 1'-0" | A103

SHEET INFORMATION

PROJECT MANAGER MVL
PROJECT NUMBER 924446

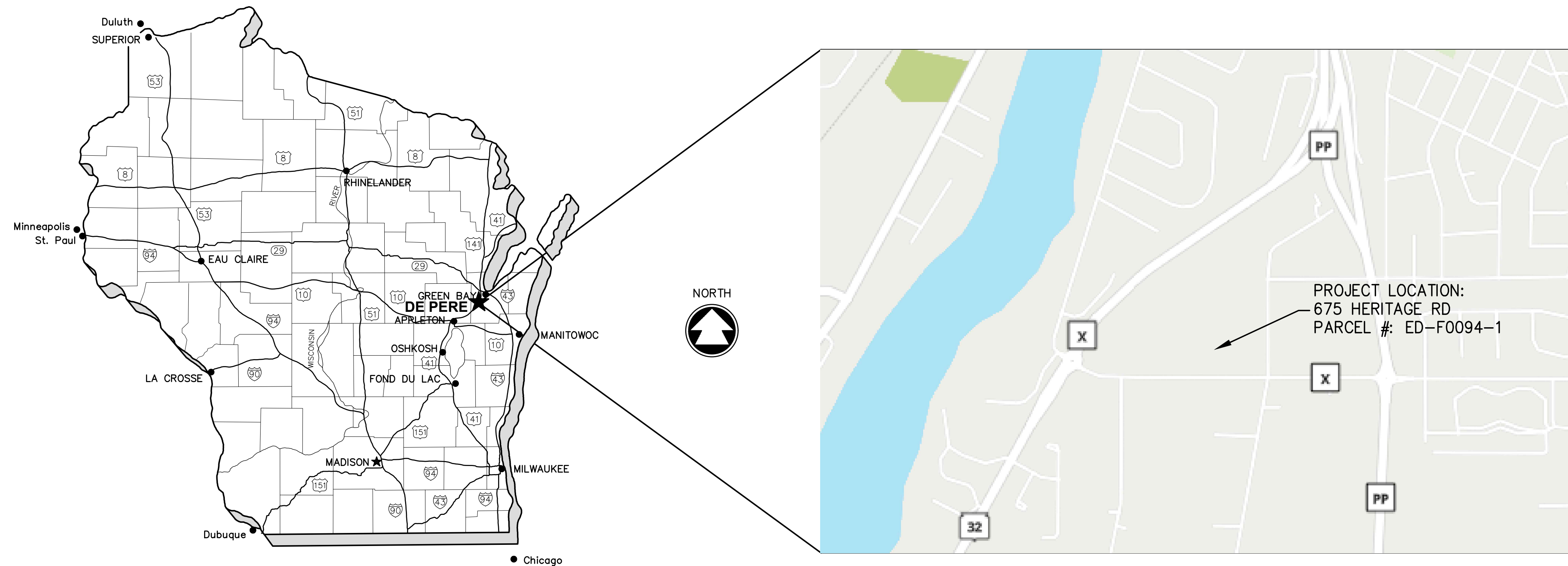
DETAILS, FINISH SCHEDULE

A103

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BELMARK PLANT 5 PARKING LOT ADDITION CITY OF DE PERE

BROWN COUNTY, WISCONSIN
MCM # B0039-09-24-00600



Owner:
Belmark, Inc.
Attn: Garrett Willems, Facilities Team Manager
600 Heritage Road - PO Box 5310
De Pere, WI, 54115
(920) 330-9789
garrett.willems@belmark.com

Designer:
McMahon Associates, Inc.
Attn: Ron Wolf
1445 McMahon Drive
Neenah, WI 54956
920-751-4200
rwolf@mcngrp.com

Project Manager:
The Boldt Company
Attn: Tony Meeuwsen
3049 Ramada Way
Suite 150
Green Bay, WI 54304
920-450-3255
tony.meeuwsen@boldt.com

DIGGERSHOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

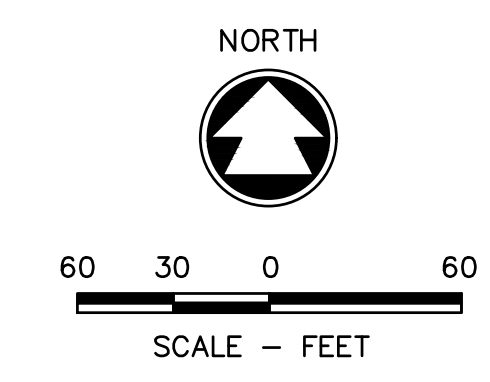
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ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

WISCONSIN
RONALD J. WOLF
E-29987
NEENAH
WIS.
PROFESSIONAL ENGINEER
Ron Wolf
9/11/2024

cad:\w\PROJECTS\B0039\092400600\CADD\Civil\3D\Plan_Sheets\With_Curb_Islands\COVER NOTES DETAILS.dwg, 00_cover_Plot_Date: 10/30/2024 2:31 PM, xref:none

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10/30/24
PROJECT NO.
B0039-09-24-00600

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| VERTICAL BENCHMARK CONTROL | | |
|----------------------------|-----------|------------------------------------|
| POINT # | ELEVATION | DESCRIPTION |
| 2 | 659.13 | NGS 4K86 DL2640 DISK (NOT SHOWN) |
| 5 | 637.08 | HYDRANT BURY BOLT |
| 6 | 637.24 | FIRST FLOOR BUILDING |
| 7 | 638.59 | TOP CONCRETE LIGHT POLE SOUTH SIDE |
| 12 | 640.75 | HYDRANT ARROW |
| 13 | 634.99 | FIRST FLOOR BUILDING |

| HORIZONTAL CONTROL POINTS | | | |
|---------------------------|-----------|----------|-------------|
| POINT # | NORTHING | EASTING | DESCRIPTION |
| 3 | 536192.79 | 87710.85 | MAG NAIL |
| 4 | 536200.79 | 87292.10 | HUB TACK |
| 8 | 536365.62 | 87154.71 | MAG NAIL |
| 9 | 536169.74 | 87116.30 | MAG NAIL |
| 25 | 536099.86 | 87091.95 | MAG NAIL |
| 26 | 536126.20 | 87097.39 | MAG NAIL |
| 27 | 536224.32 | 87116.42 | MAG NAIL |
| 28 | 536272.04 | 87126.24 | MAG NAIL |

VERTICAL DATUM:
 ELEVATIONS ARE REFERENCED TO NGS DATA:
 CONTROL POINT NAME: 4K86
 POINT ID: DL2640 NAVD 88 DATUM
 BY GPS OBSERVATION TO ELEVATION = 659.13 (2012 ADJUSTMENT)
 PER FIELD BOOK 1586 PAGES 21-22 & PAGES 28-29

HORIZONTAL DATUM:
 COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR BROWN COUNTY NAD 83 (1991)

NOTE:
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

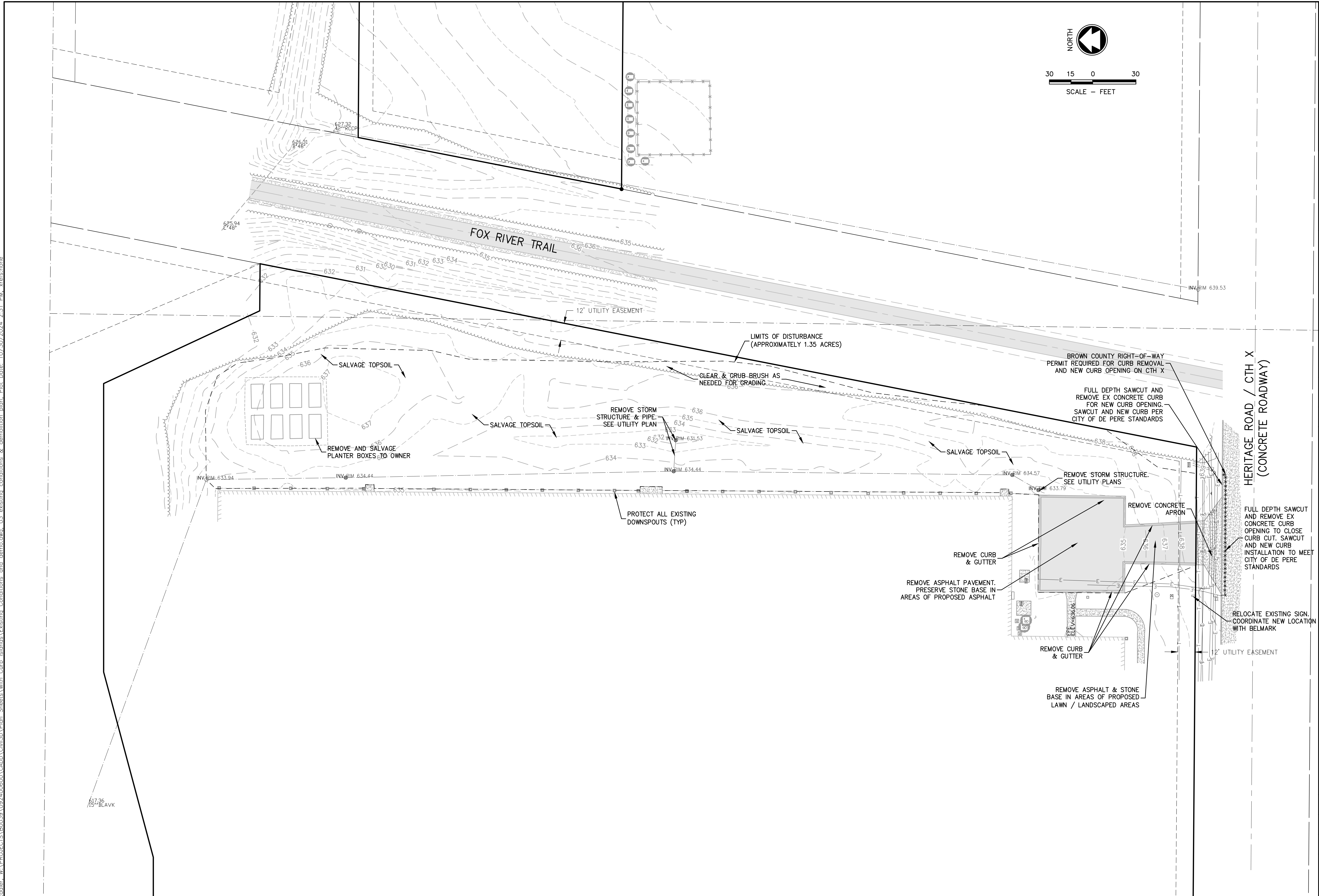
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BELMARK PLANT 5 PARKING LOT ADDITION
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI
SURVEY CONTROL

| | |
|----------------------------------|--------------|
| DESIGNED ### | DRAWN ### |
| PROJECT NO. B0039-09-24-00600 | |
| DATE 10/30/24 | |
| SHEET NO. 02 | |

cadler_w\PROJECTS\B0039\092400600\CADD\Civil3D\Plan_Sheets\With_Curb_Islands\Existing_Conditions_and_demo.dwg, 03 existing conditions & demolition plan, Plot Date: 10/30/2024 2:31 PM, xref:stone



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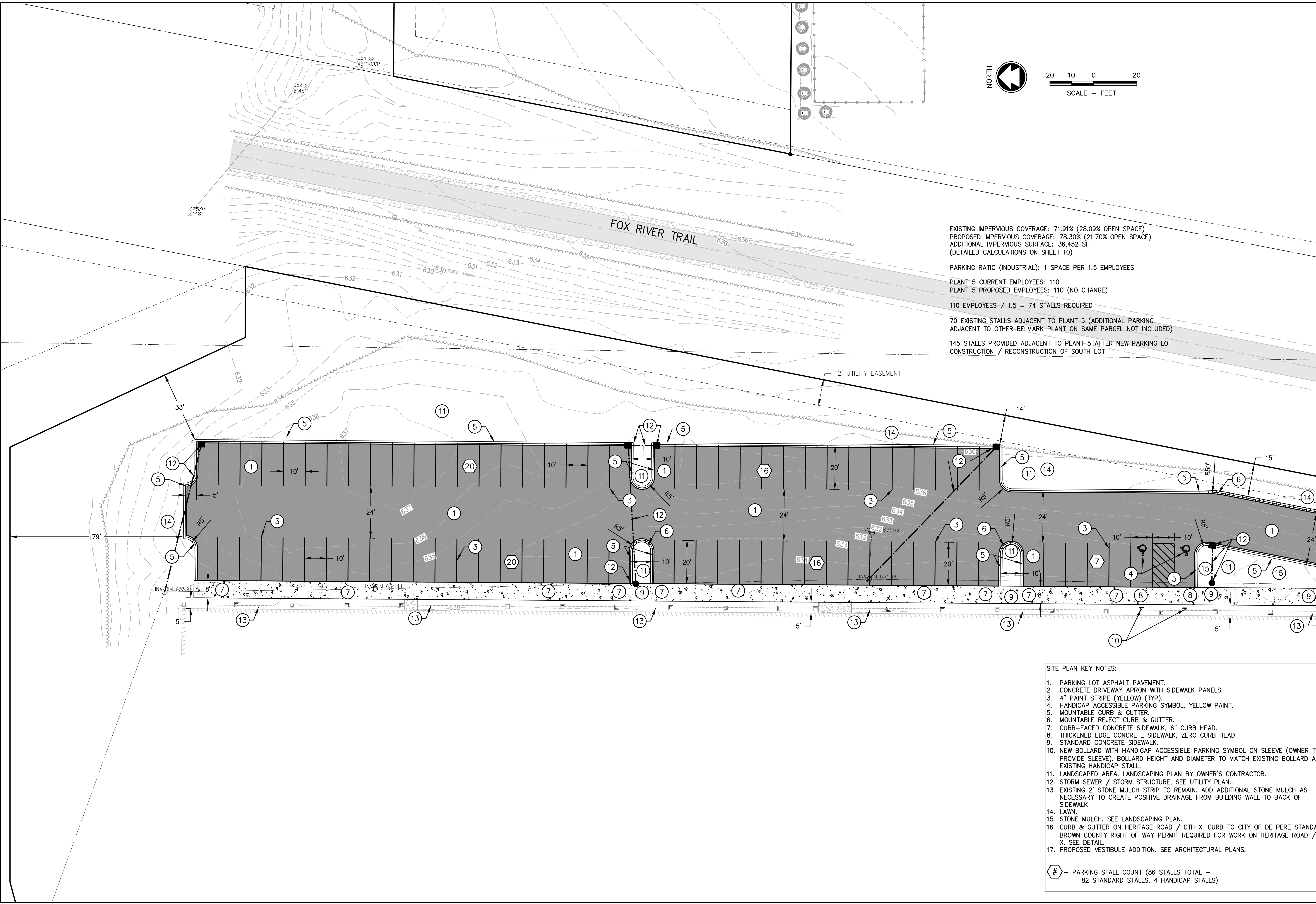
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BELMARK PLANT 5 PARKING LOT ADDITION
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI
EXISTING CONDITIONS & DEMOLITION PLAN

| | |
|----------------------------------|--------------|
| DESIGNED RJV | DRAWN CKA |
| PROJECT NO. B0039-09-24-00600 | |
| DATE 10/30/24 | |
| SHEET NO. 03 | |

codler, W:\PROJECTS\B0039\092400600\CADD\Civil3D\Plan Sheets\With Curb Islands\PROPOSED SITE.dwg, 04 proposed site & dimensions, Plot Date: 10/30/2024, 2:31 PM, xrefs: (x=) exist shade belmark plant 5 parking lot deperre, x=) exist topo belmark plant 5 parking lot deperre, belmark plant 5 compo mk, x=) proposed shade, x=) proposed linework, x=) aerial, 2023



EXISTING IMPERVIOUS COVERAGE: 71.91% (28.09% OPEN SPACE)
 PROPOSED IMPERVIOUS COVERAGE: 78.30% (21.70% OPEN SPACE)
 ADDITIONAL IMPERVIOUS SURFACE: 36,452 SF
 (DETAILED CALCULATIONS ON SHEET 10)

PARKING RATIO (INDUSTRIAL): 1 SPACE PER 1.5 EMPLOYEES
 PLANT 5 CURRENT EMPLOYEES: 110
 PLANT 5 PROPOSED EMPLOYEES: 110 (NO CHANGE)
 110 EMPLOYEES / 1.5 = 74 STALLS REQUIRED

70 EXISTING STALLS ADJACENT TO PLANT 5 (ADDITIONAL PARKING ADJACENT TO OTHER BELMARK PLANT ON SAME PARCEL NOT INCLUDED)
 145 STALLS PROVIDED ADJACENT TO PLANT 5 AFTER NEW PARKING LOT CONSTRUCTION / RECONSTRUCTION OF SOUTH LOT

- SITE PLAN KEY NOTES:**
1. PARKING LOT ASPHALT PAVEMENT.
 2. CONCRETE DRIVEWAY APRON WITH SIDEWALK PANELS.
 3. 4" PAINT STRIPE (YELLOW) (TYP).
 4. HANDICAP ACCESSIBLE PARKING SYMBOL, YELLOW PAINT.
 5. MOUNTABLE CURB & GUTTER.
 6. MOUNTABLE REJECT CURB & GUTTER.
 7. CURB-FACED CONCRETE SIDEWALK, 6" CURB HEAD.
 8. THICKENED EDGE CONCRETE SIDEWALK, ZERO CURB HEAD.
 9. STANDARD CONCRETE SIDEWALK.
 10. NEW BOLLARD WITH HANDICAP ACCESSIBLE PARKING SYMBOL ON SLEEVE (OWNER TO PROVIDE SLEEVE). BOLLARD HEIGHT AND DIAMETER TO MATCH EXISTING BOLLARD AT EXISTING HANDICAP STALL.
 11. LANDSCAPED AREA. LANDSCAPING PLAN BY OWNER'S CONTRACTOR.
 12. STORM SEWER / STORM STRUCTURE, SEE UTILITY PLAN.
 13. EXISTING 2' STONE MULCH STRIP TO REMAIN. ADD ADDITIONAL STONE MULCH AS NECESSARY TO CREATE POSITIVE DRAINAGE FROM BUILDING WALL TO BACK OF SIDEWALK.
 14. LAWN.
 15. STONE MULCH. SEE LANDSCAPING PLAN.
 16. CURB & GUTTER ON HERITAGE ROAD / CTH X. CURB TO CITY OF DE PERE STANDARD BROWN COUNTY RIGHT OF WAY PERMIT REQUIRED FOR WORK ON HERITAGE ROAD / X. SEE DETAIL.
 17. PROPOSED VESTIBULE ADDITION. SEE ARCHITECTURAL PLANS.
- # - PARKING STALL COUNT (86 STALLS TOTAL - 82 STANDARD STALLS, 4 HANDICAP STALLS)

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BELMARK PLANT 5 PARKING LOT ADDITION

675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI

PROPOSED SITE & DIMENSIONS

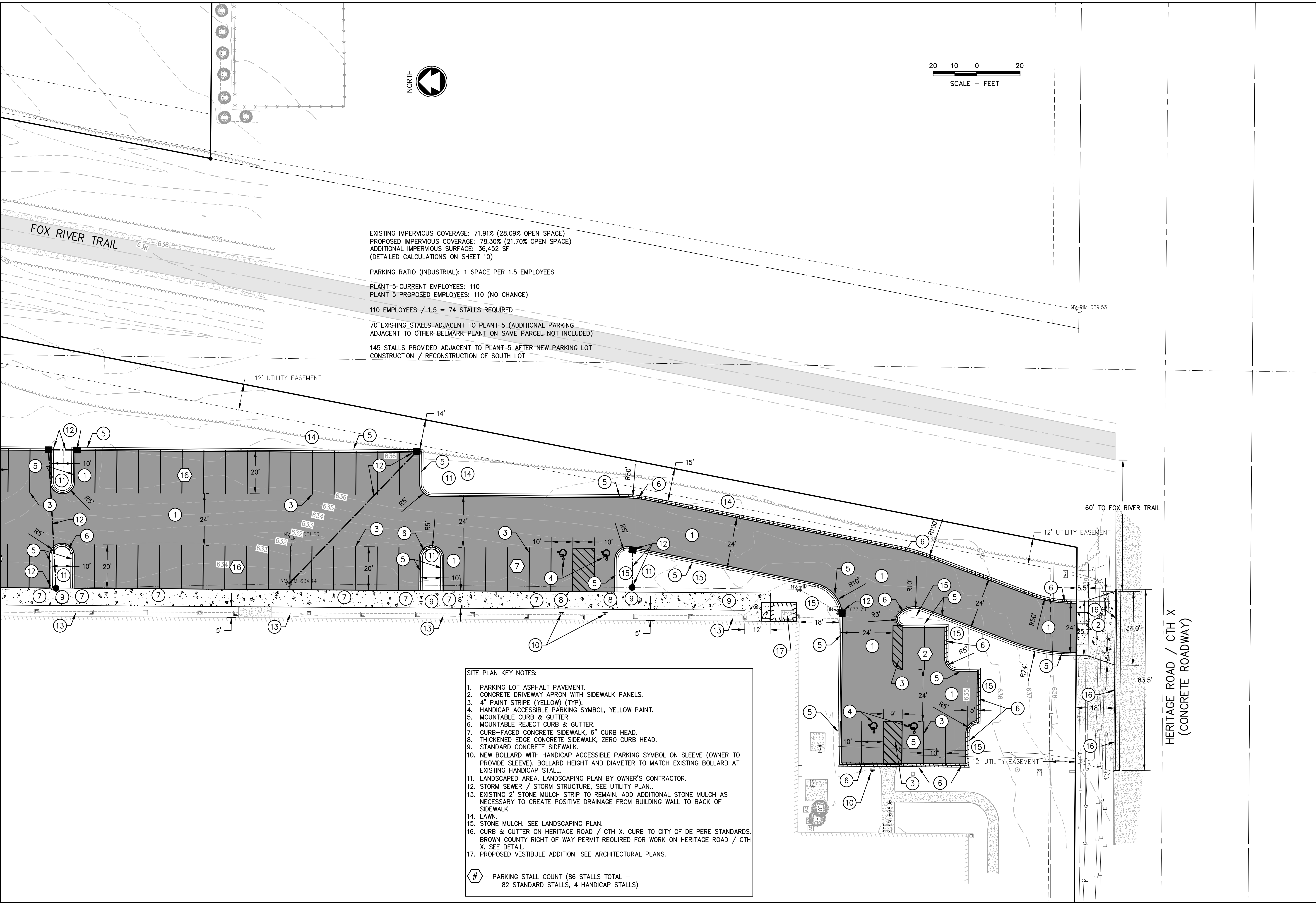
| | |
|----------|-------|
| DESIGNED | DRAWN |
| RJV | CKA |

PROJECT NO.
B0039-09-24-00600

DATE
10/30/24

SHEET NO.
04

codler, W:\PROJECTS\B0039\092400600\CADD\Civil3D\Plan Sheets\With Curb Islands\PROPOSED SITE.dwg, 05 proposed site & dimensions, Plot Date: 10/30/2024, 2:31 PM, xrefs: (x-exist shade belmark plant 5 parking lot deperre, x-exist topo belmark plant 5 parking lot deperre, (x-exist shade belmark plant 5 parking lot deperre, x-proposed shade, x-proposed linework, x-aerial, 2023)



EXISTING IMPERVIOUS COVERAGE: 71.91% (28.09% OPEN SPACE)
 PROPOSED IMPERVIOUS COVERAGE: 78.30% (21.70% OPEN SPACE)
 ADDITIONAL IMPERVIOUS SURFACE: 36,452 SF
 (DETAILED CALCULATIONS ON SHEET 10)

PARKING RATIO (INDUSTRIAL): 1 SPACE PER 1.5 EMPLOYEES

PLANT 5 CURRENT EMPLOYEES: 110
 PLANT 5 PROPOSED EMPLOYEES: 110 (NO CHANGE)

110 EMPLOYEES / 1.5 = 74 STALLS REQUIRED

70 EXISTING STALLS ADJACENT TO PLANT 5 (ADDITIONAL PARKING
 ADJACENT TO OTHER BELMARK PLANT ON SAME PARCEL NOT INCLUDED)

145 STALLS PROVIDED ADJACENT TO PLANT 5 AFTER NEW PARKING LOT
 CONSTRUCTION / RECONSTRUCTION OF SOUTH LOT

- SITE PLAN KEY NOTES:**
1. PARKING LOT ASPHALT PAVEMENT.
 2. CONCRETE DRIVEWAY APRON WITH SIDEWALK PANELS.
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 11. LANDSCAPED AREA. LANDSCAPING PLAN BY OWNER'S CONTRACTOR.
 12. STORM SEWER / STORM STRUCTURE, SEE UTILITY PLAN..
 13. EXISTING 2" STONE MULCH STRIP TO REMAIN. ADD ADDITIONAL STONE MULCH AS NECESSARY TO CREATE POSITIVE DRAINAGE FROM BUILDING WALL TO BACK OF SIDEWALK
 14. LAWN.
 15. STONE MULCH. SEE LANDSCAPING PLAN.
 16. CURB & GUTTER ON HERITAGE ROAD / CTH X. CURB TO CITY OF DE PERE STANDARDS. BROWN COUNTY RIGHT OF WAY PERMIT REQUIRED FOR WORK ON HERITAGE ROAD / CTH X. SEE DETAIL.
 17. PROPOSED VESTIBULE ADDITION. SEE ARCHITECTURAL PLANS.
- # - PARKING STALL COUNT (86 STALLS TOTAL -
 82 STANDARD STALLS, 4 HANDICAP STALLS)

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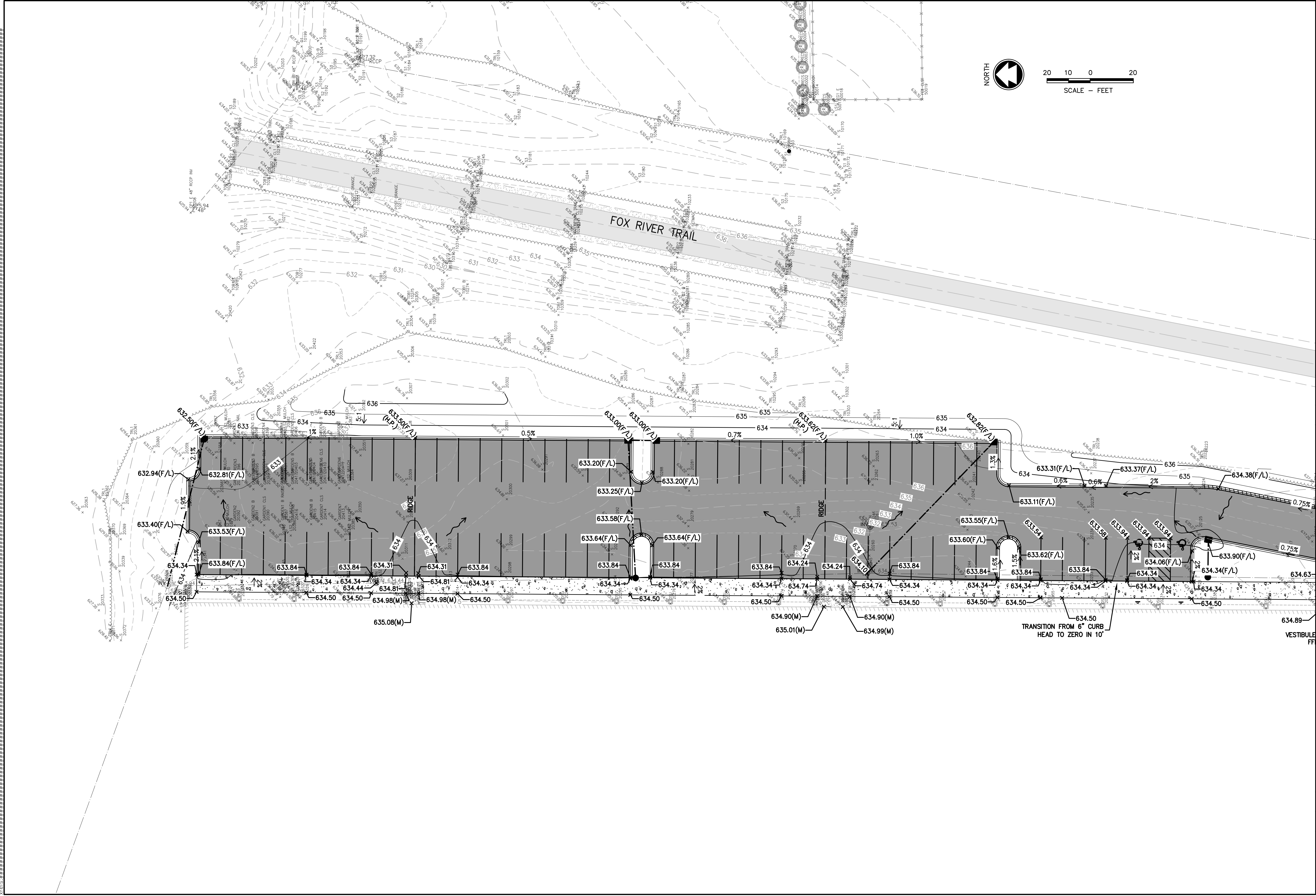
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BELMARK PLANT 5 PARKING LOT ADDITION
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI
PROPOSED SITE & DIMENSIONS

| | |
|----------------------------------|---------------|
| DESIGNED R JW | DRAWN C KA |
| PROJECT NO. B0039-09-24-00600 | |
| DATE 10/30/24 | |
| SHEET NO. 05 | |

codler, W:\PROJECTS\B0039\09240660\CADD\Civil3D\Plan Sheets\With Curb Island\GRADING AND UTILITY PLAN.dwg, 06 grading plan, Plot Date: 10/30/2024, 2:31 PM, xrefs:#####



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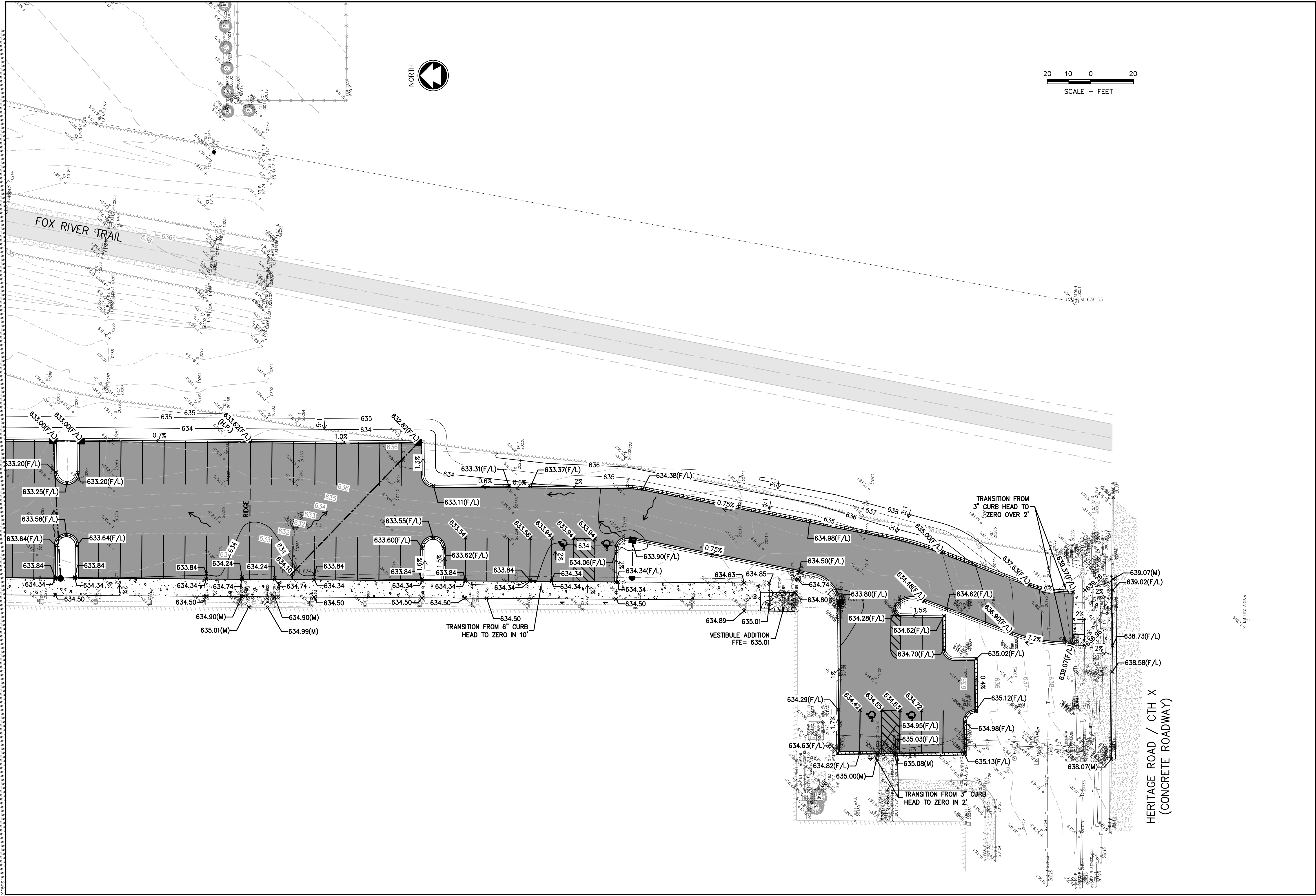
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BELMARK PLANT 5 PARKING LOT ADDITION
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI
GRADING PLAN

| | |
|----------------------------------|--------------|
| DESIGNED RJV | DRAWN CKA |
| PROJECT NO. B0039-09-24-00600 | |
| DATE 10/30/24 | |
| SHEET NO. 06 | |

codler, W:\PROJECTS\B0039 (92400600)\CADD\Civil3D\Plan Sheets\With Curb Islands\Grading and Utility\PLAN.dwg, 07 grading plan, Plot Date: 10/30/2024 2:31 PM, xref:#####



BELMARK PLANT 5 PARKING LOT ADDITION
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI
GRADING PLAN

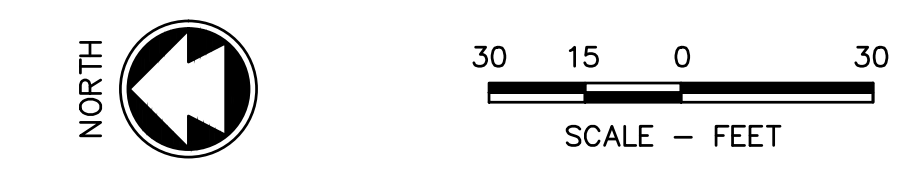
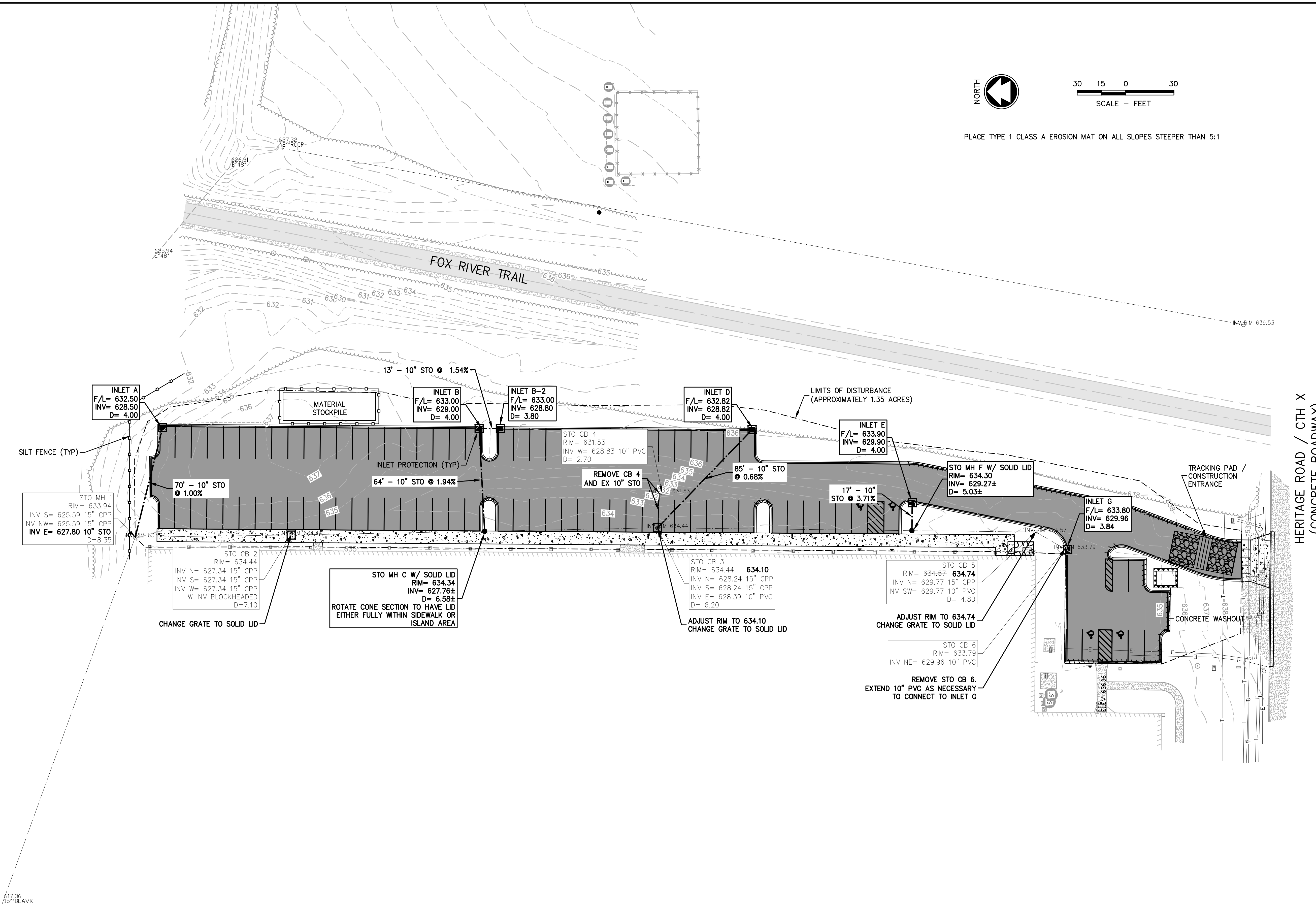
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|----------------------------------|-------|
| DESIGNED | DRAWN |
| RJW | CKA |
| PROJECT NO. B0039-09-24-00600 | |
| DATE 10/30/24 | |
| SHEET NO. 07 | |

| NO. | DATE | REVISION |
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codler, W:\PROJECTS\B0039 (92400600)\CADD\Civil3D\Plan Sheets\With Curb Islands\UTILITY AND EROSION CONTROL PLAN.dwg, 08 utility & erosion control plan, Plot Date: 10/30/2024 2:31 PM, xrefs: (x-exist shade belmark plant 5 parking lot deperre, x-exist topo belmark plant 5 parking lot deperre, x-proposed linework, x-proposed shade, belmark plant 5 comp mk, x-aerial 2023)



| Pipe ID | Pipe Attributes | Pipe Capacity [gpm] | Calculated Flow (gpm) | Acceptable (Y/N) |
|---------------------|-----------------|---------------------|-----------------------|------------------|
| INLET E - MH F | 10" PVC @ 3.71% | 2226 | 139 | Y |
| INLET D - CB 3 | 10" PVC @ 0.68% | 953 | 341 | Y |
| INLET B-2 - INLET B | 10" PVC @ 1.54% | 1434 | 202 | Y |
| INLET B - STO MH C | 10" PVC @ 1.94% | 1610 | 454 | Y |
| INLET A - STO MH 1 | 10" PVC @ 1.00% | 1156 | 248 | Y |

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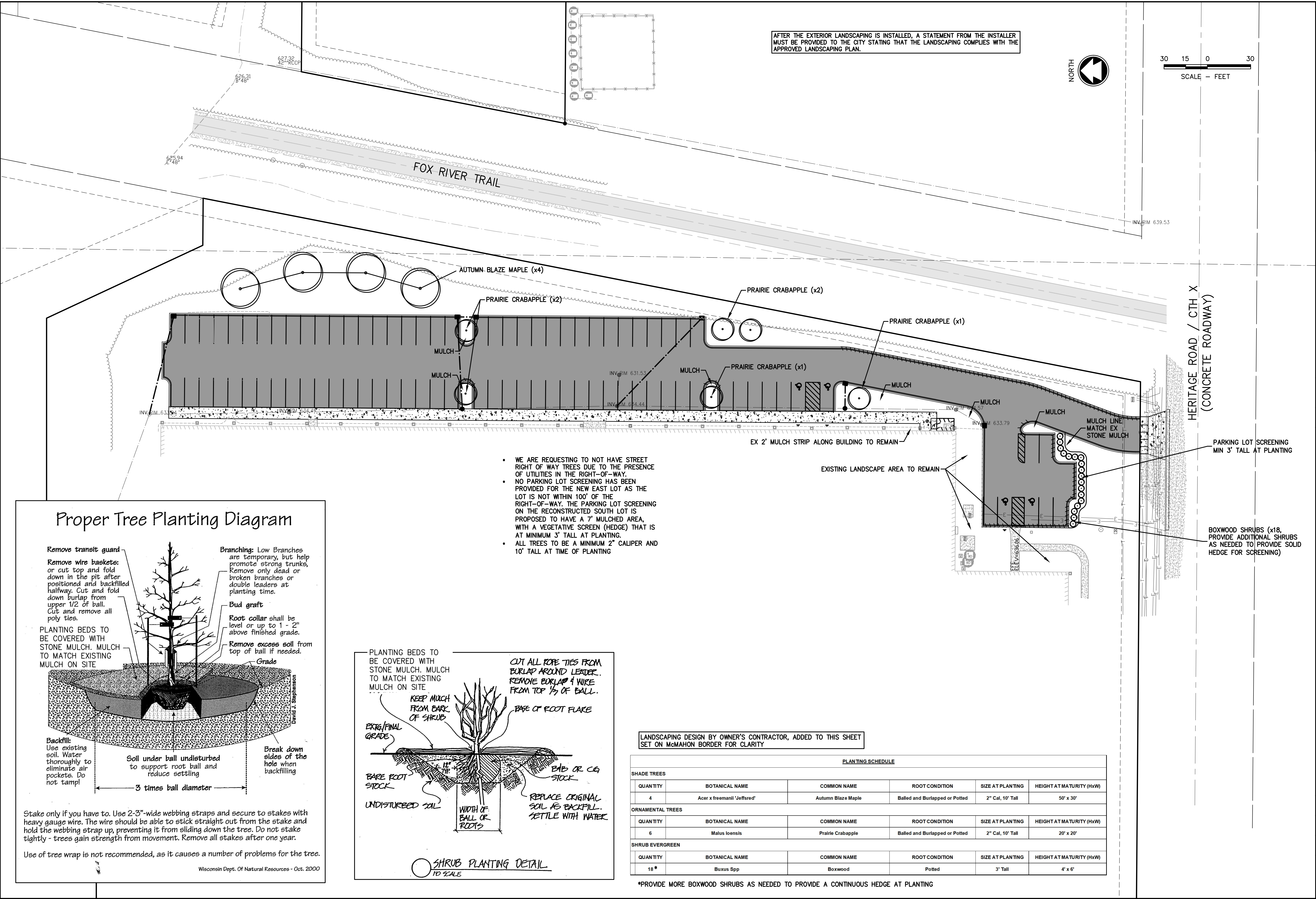
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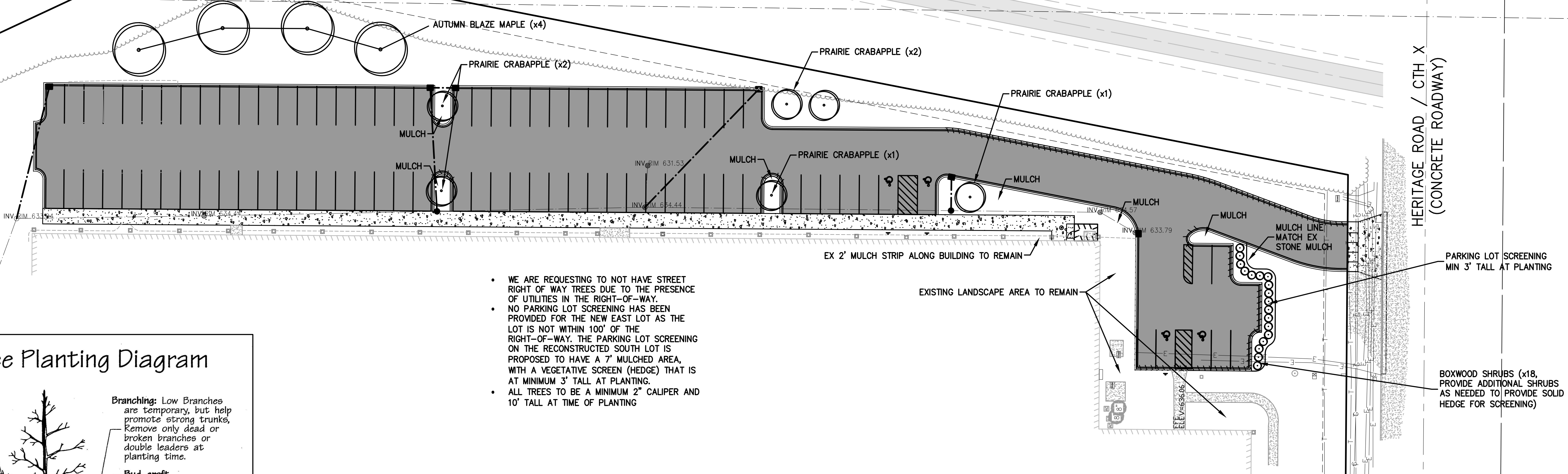
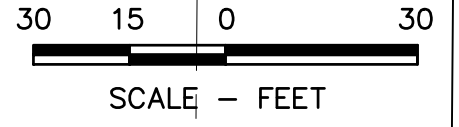
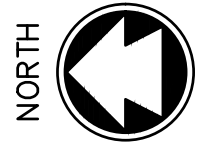
BELMARK PLANT 5 PARKING LOT ADDITION
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI
UTILITY & EROSION CONTROL PLAN

| | |
|----------------------------------|---------------|
| DESIGNED R JW | DRAWN C KA |
| PROJECT NO. B0039-09-24-00600 | |
| DATE 10/30/24 | |
| SHEET NO. 08 | |

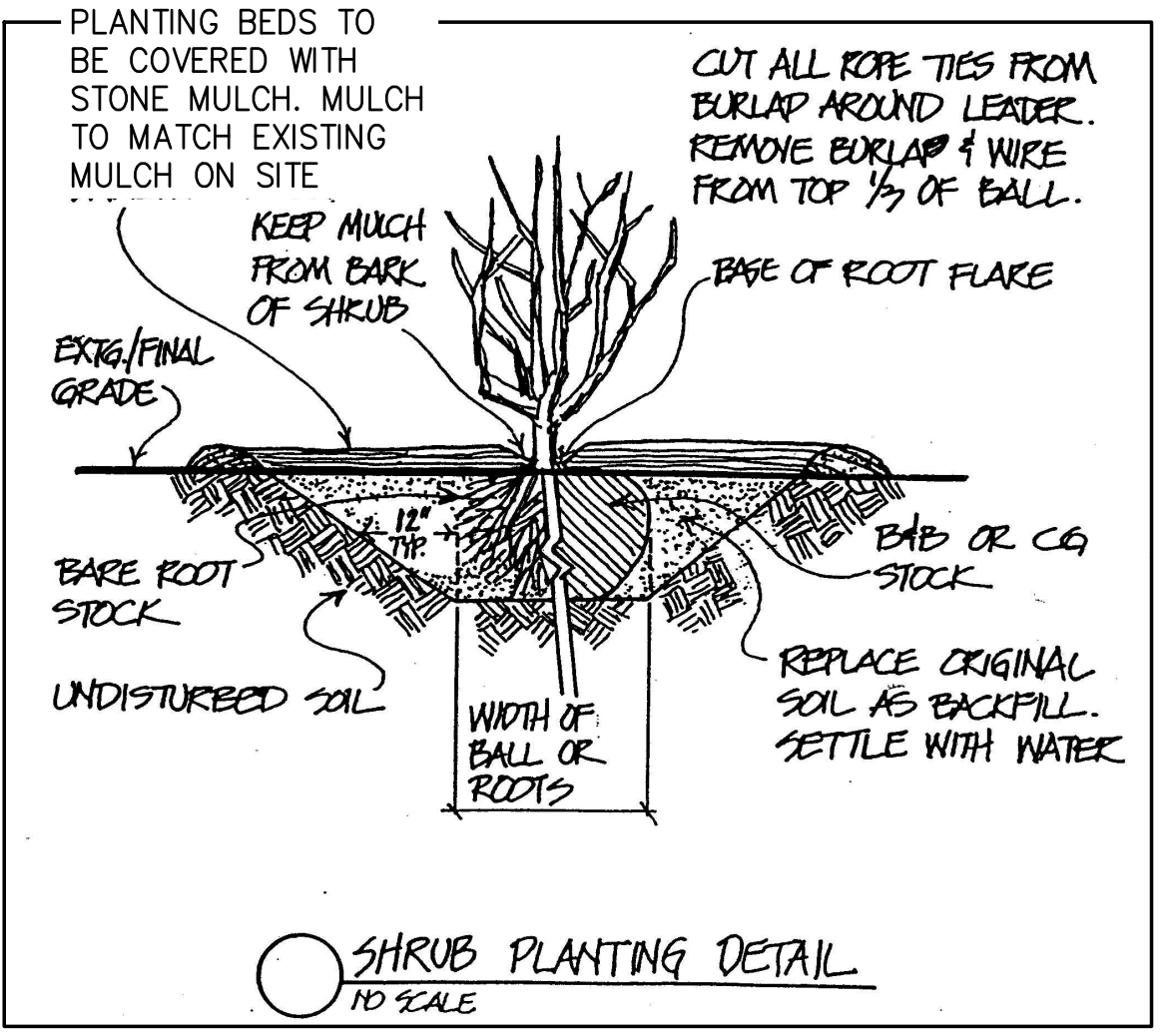
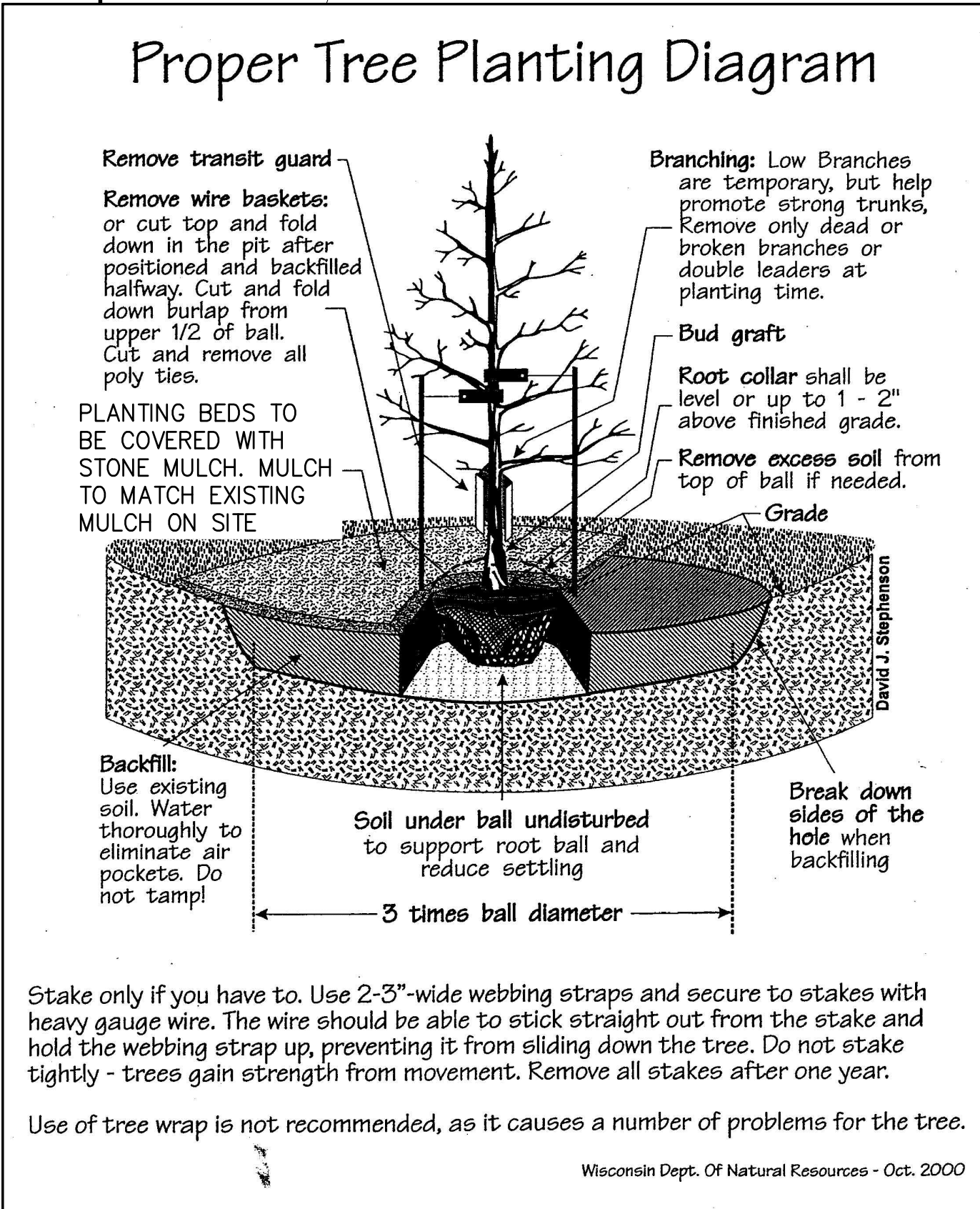
cadler, W:\PROJECTS\160039\092400600\CADD\Civil3D\Plan Sheets\With Curb Islands\Landscaping plan.dwg, 09 Landscaping plan, Plot Date: 10/30/2024, 2:32 PM, xrefs: (x=exist shade belmark plant 5 parking lot depere, x=exist topo belmark plant 5 parking lot depere, x=exist shade belmark plant 5 parking lot depere, x=proposed shade, x=proposed linework)



AFTER THE EXTERIOR LANDSCAPING IS INSTALLED, A STATEMENT FROM THE INSTALLER MUST BE PROVIDED TO THE CITY STATING THAT THE LANDSCAPING COMPLIES WITH THE APPROVED LANDSCAPING PLAN.



- WE ARE REQUESTING TO NOT HAVE STREET RIGHT OF WAY TREES DUE TO THE PRESENCE OF UTILITIES IN THE RIGHT-OF-WAY.
- NO PARKING LOT SCREENING HAS BEEN PROVIDED FOR THE NEW EAST LOT AS THE LOT IS NOT WITHIN 100' OF THE RIGHT-OF-WAY. THE PARKING LOT SCREENING ON THE RECONSTRUCTED SOUTH LOT IS PROPOSED TO HAVE A 7' MULCHED AREA, WITH A VEGETATIVE SCREEN (HEDGE) THAT IS AT MINIMUM 3' TALL AT PLANTING.
- ALL TREES TO BE A MINIMUM 2" CALIPER AND 10' TALL AT TIME OF PLANTING



LANDSCAPING DESIGN BY OWNER'S CONTRACTOR, ADDED TO THIS SHEET SET ON McMAHON BORDER FOR CLARITY

| PLANTING SCHEDULE | | | | | |
|-------------------|----------------------------|--------------------|--------------------------------|------------------|--------------------------|
| SHADE TREES | | | | | |
| QUANTITY | BOTANICAL NAME | COMMON NAME | ROOT CONDITION | SIZE AT PLANTING | HEIGHT AT MATURITY (HxW) |
| 4 | Acer x freemanii 'Jeffers' | Autumn Blaze Maple | Balled and Burlapped or Potted | 2" Cal, 10' Tall | 50' x 30' |
| ORNAMENTAL TREES | | | | | |
| QUANTITY | BOTANICAL NAME | COMMON NAME | ROOT CONDITION | SIZE AT PLANTING | HEIGHT AT MATURITY (HxW) |
| 6 | Malus loensis | Prairie Crabapple | Balled and Burlapped or Potted | 2" Cal, 10' Tall | 20' x 20' |
| SHRUB EVERGREEN | | | | | |
| QUANTITY | BOTANICAL NAME | COMMON NAME | ROOT CONDITION | SIZE AT PLANTING | HEIGHT AT MATURITY (HxW) |
| 18* | Buxus Spp | Boxwood | Potted | 3' Tall | 4' x 6' |

*PROVIDE MORE BOXWOOD SHRUBS AS NEEDED TO PROVIDE A CONTINUOUS HEDGE AT PLANTING

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NO. _____

DATE _____

REVISION _____

BELMARK PLANT 5 PARKING LOT ADDITION

675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI

LANDSCAPING PLAN

DESIGNED: RJW

DRAWN: CKA

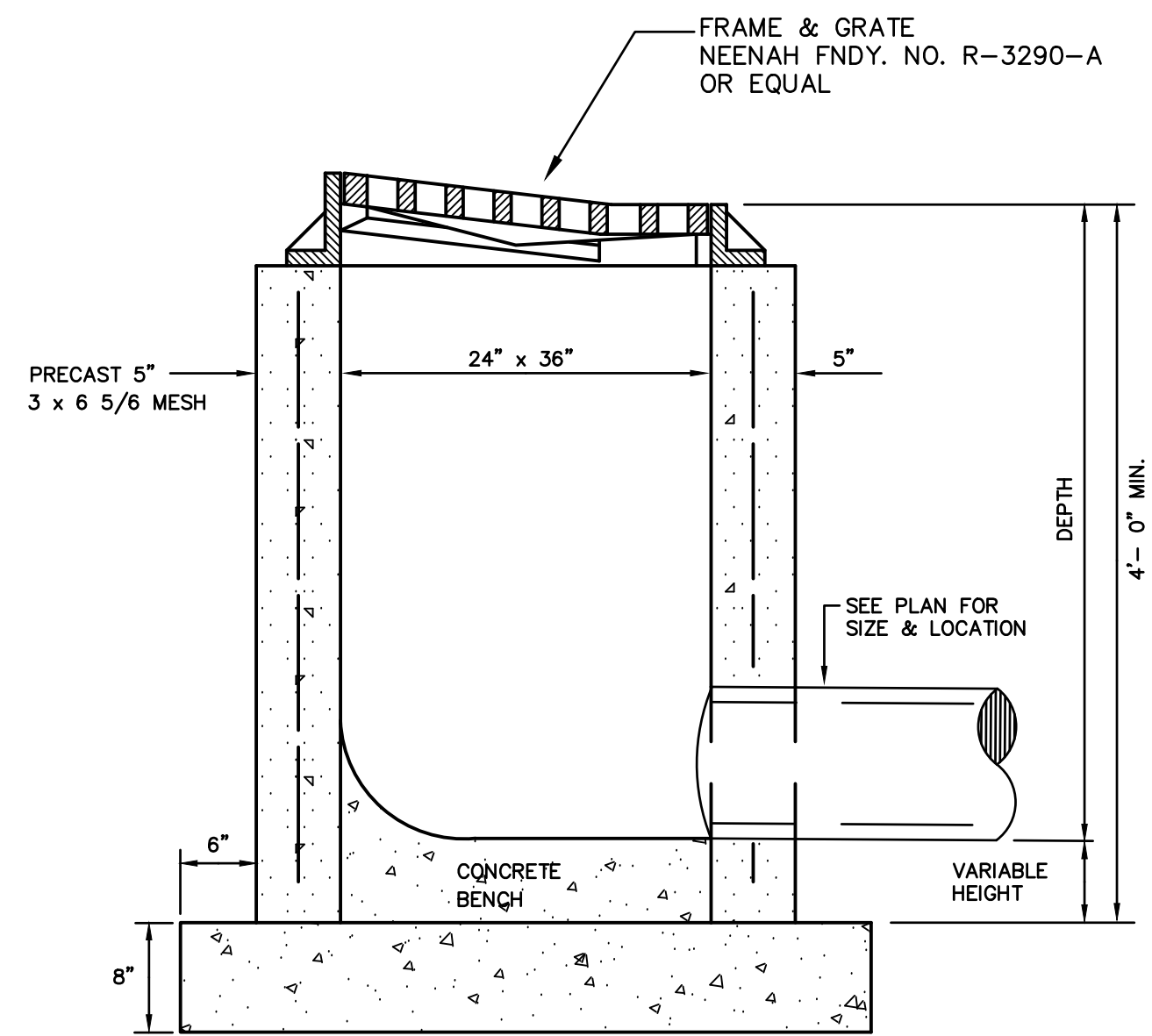
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DATE: 10/30/24

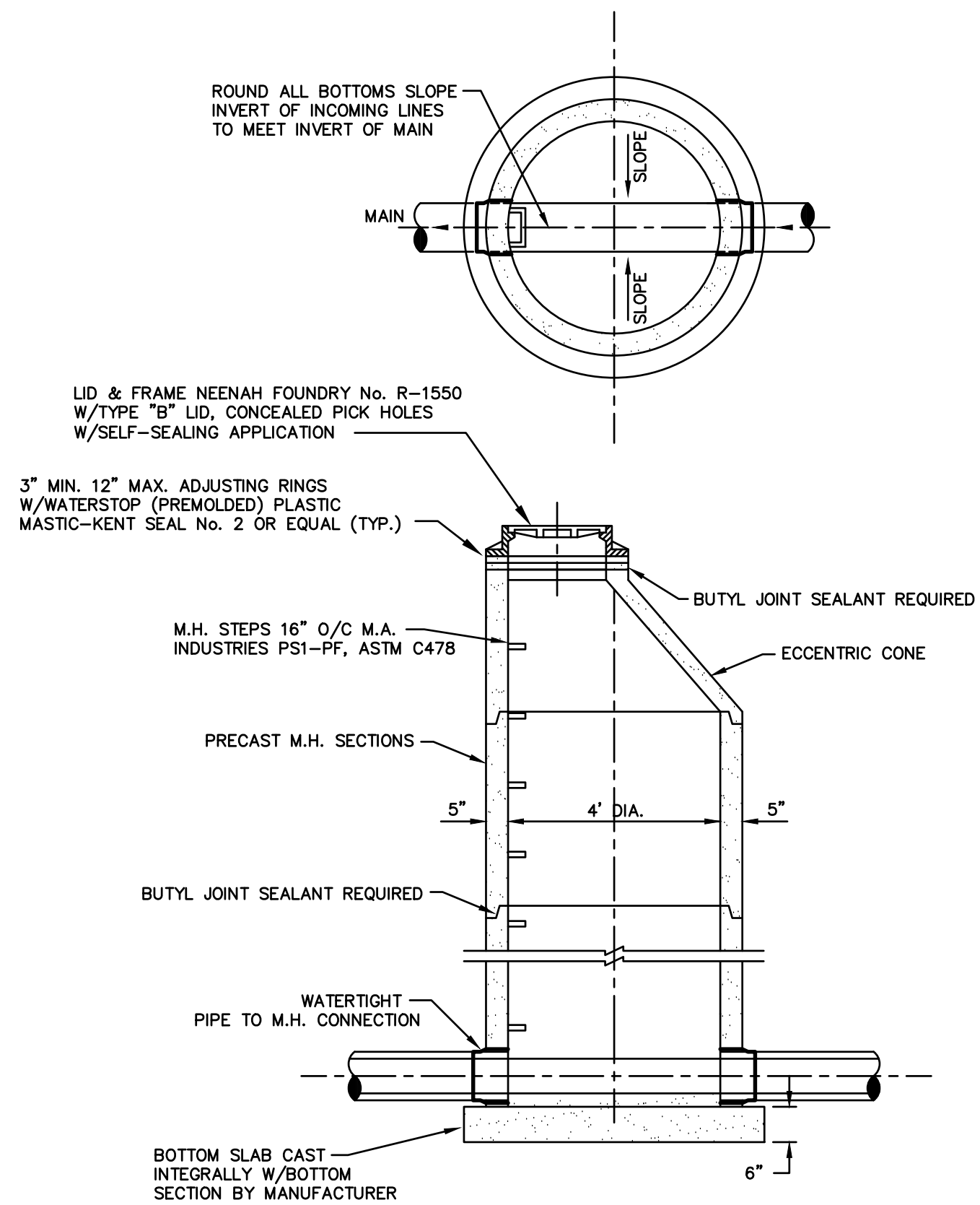
SHEET NO.

09

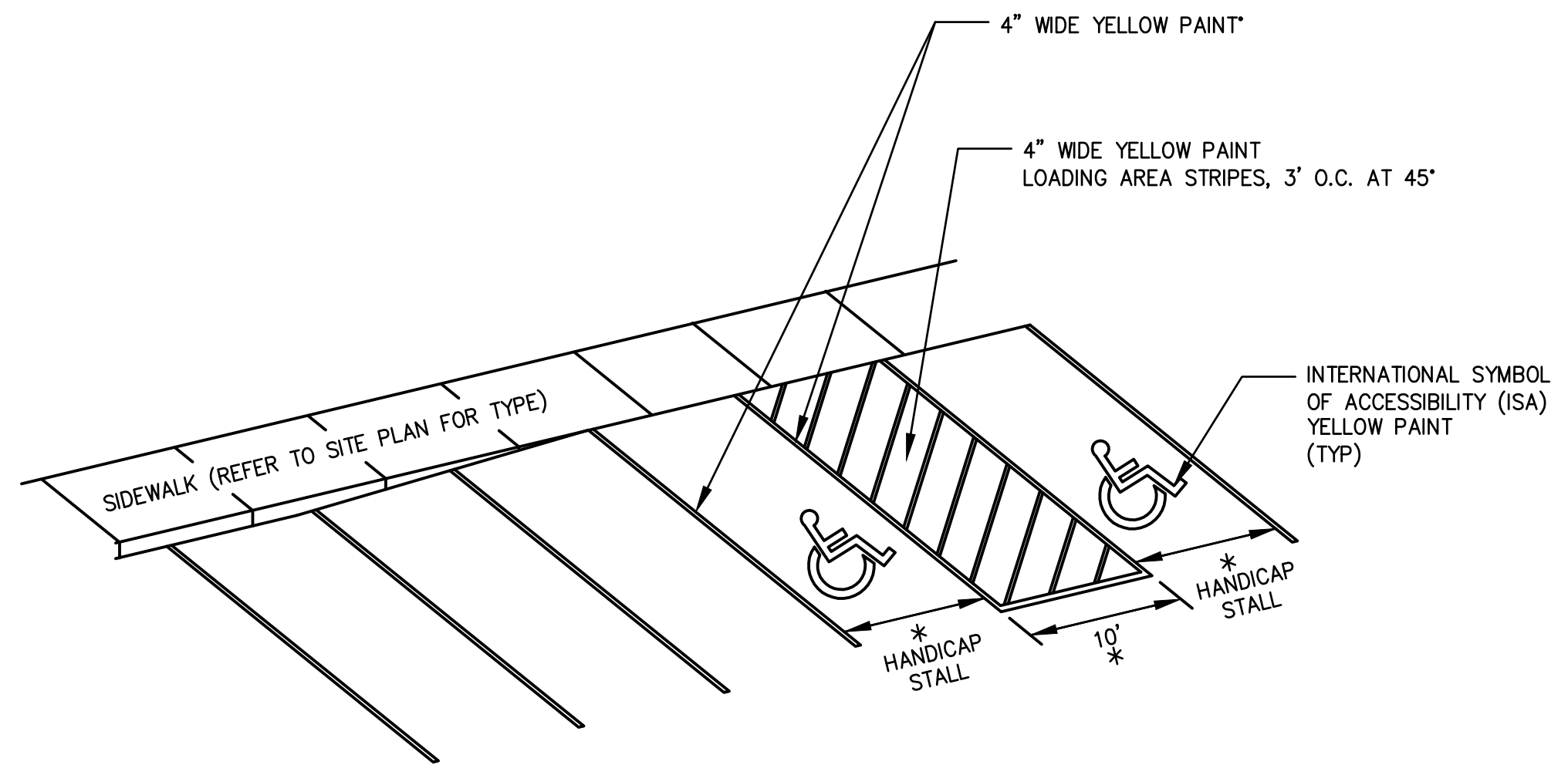
cadler_w:\PROJECTS\B0039\09240060\CADD\Civil\3D\Plan_Sheets\With_Curb_Islands\COVER NOTES DETAILS.dwg, 10 miscellaneous details, Plot Date: 10/30/2024 2:32 PM, xrefs:none



STORM SEWER INLET DETAIL

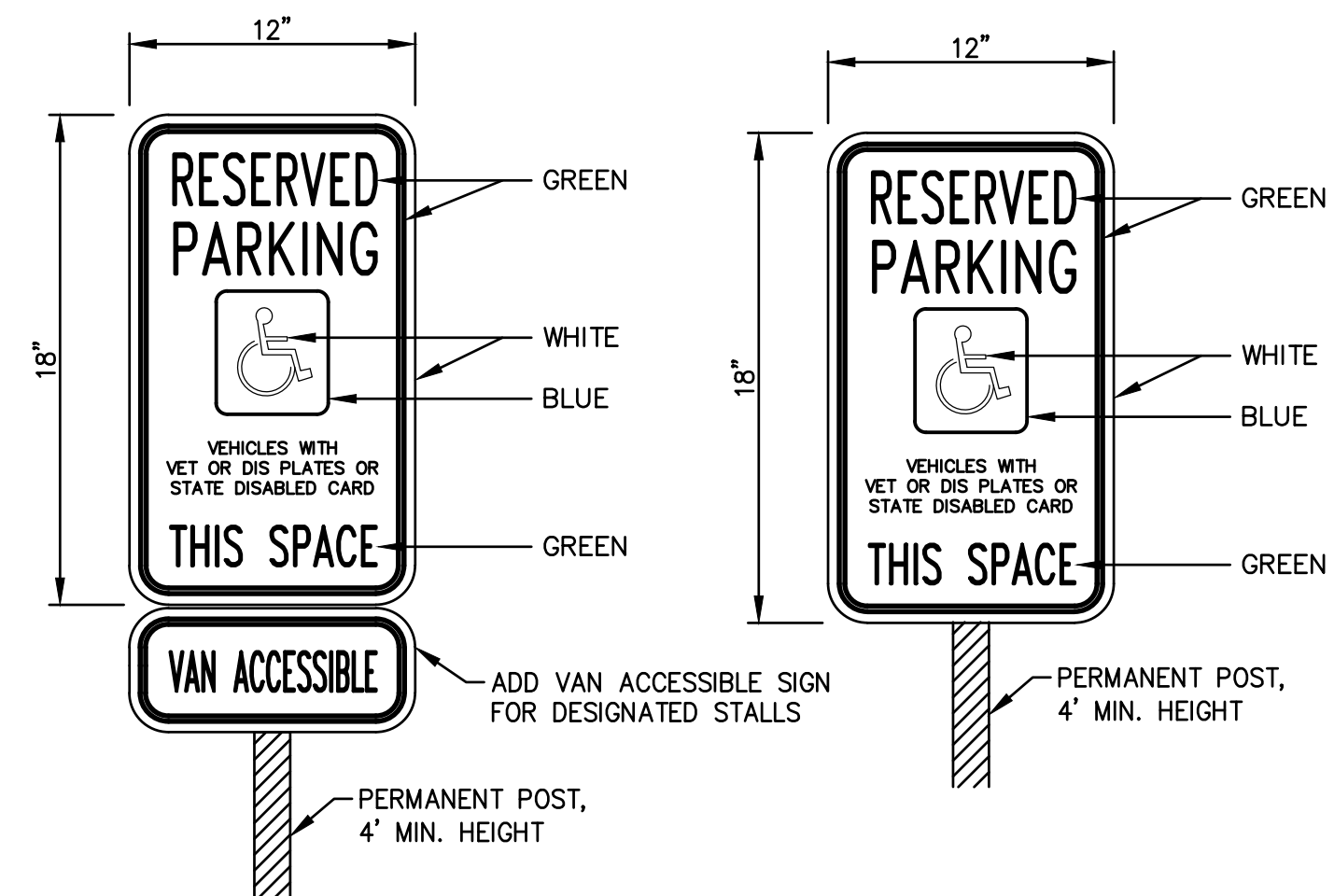


PRECAST MANHOLE



* REFER TO GRADING PLAN DETAILS

ADA PARKING LOT STRIPING



HANDICAPPED STALL SIGN

| Parcel #: ED-F0094-1 675 HERITAGE ROAD | | | | | | |
|--|---------------------|----|--------------|---------------------|----|--------------|
| Land Use | Existing Conditions | | | Proposed Conditions | | |
| | Area (sf) | CN | Composite CN | Area (sf) | CN | Composite CN |
| Roof: | 222,481 | 98 | 21,803,138 | 222,586 | 98 | 21,813,428 |
| Parking Lot | 183,440 | 98 | 17,977,120 | 215,446 | 98 | 21,113,708 |
| Sidewalk | 4,273 | 98 | 418,754 | 8,614 | 98 | 844,172 |
| Landscaping: | 160,258 | 74 | 11,859,092 | 123,806 | 74 | 9,161,644 |
| Total Area (sf): | 570,452 | | | 570,452 | | |
| Total Impervious (sf): | 410,194 | | | 446,646 | | |
| Composite CN: | 91.26 | | | 92.79 | | |
| % Open Space | 28.09% | | | 21.70% | | |
| % Impervious Coverage: | 71.91% | | | 78.30% | | |

IMPERVIOUS SURFACE / OPEN SPACE CALCULATIONS

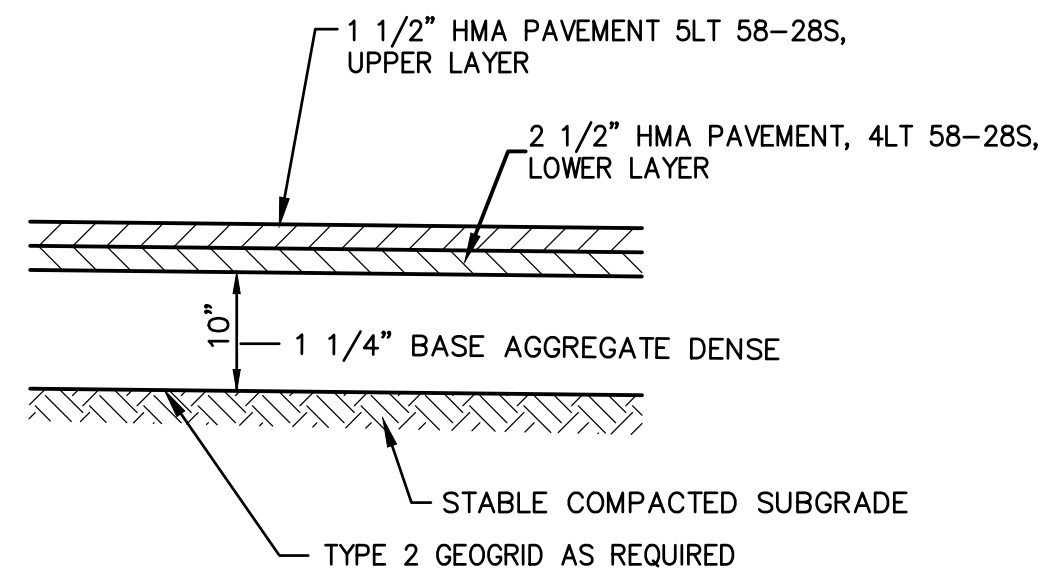
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BELMARK PLANT 5 PARKING LOT ADDITION
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI
MISCELLANEOUS DETAILS

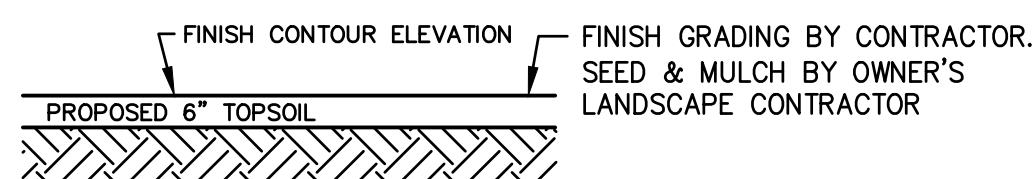
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| PROJECT NO. B0039-09-24-00600 | |
| DATE 10/30/24 | |
| SHEET NO. 10 | |



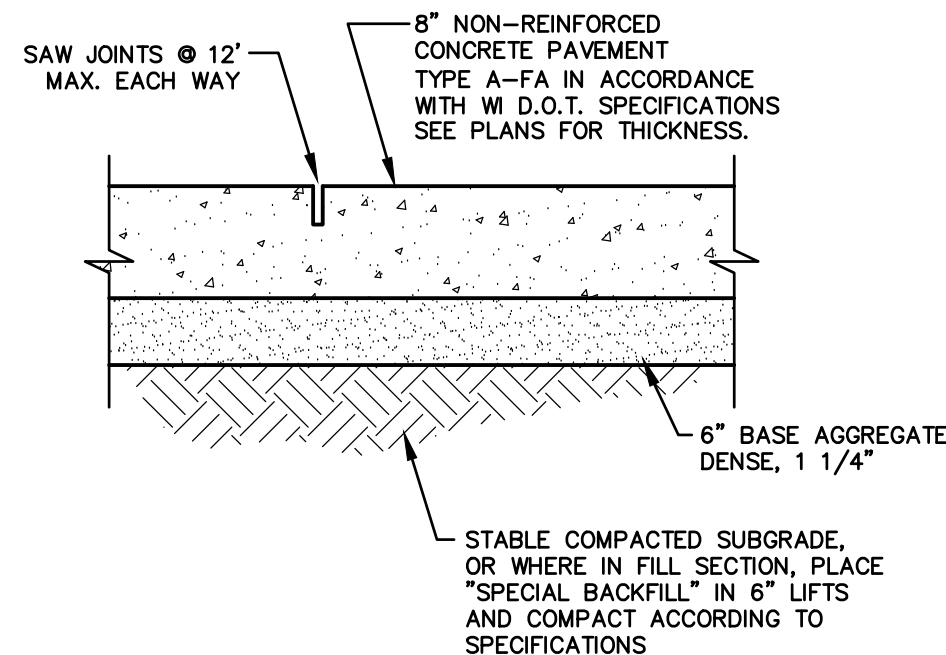
STANDARD DUTY PAVEMENT

NOTE: PAVEMENT SECTIONS SHOWN ARE BELMARK STANDARDS. NO GEOTECHNICAL OR ENGINEERING ANALYSIS HAVE BEEN MADE TO DETERMINE THE PAVEMENT SECTIONS FOR THIS SITE.

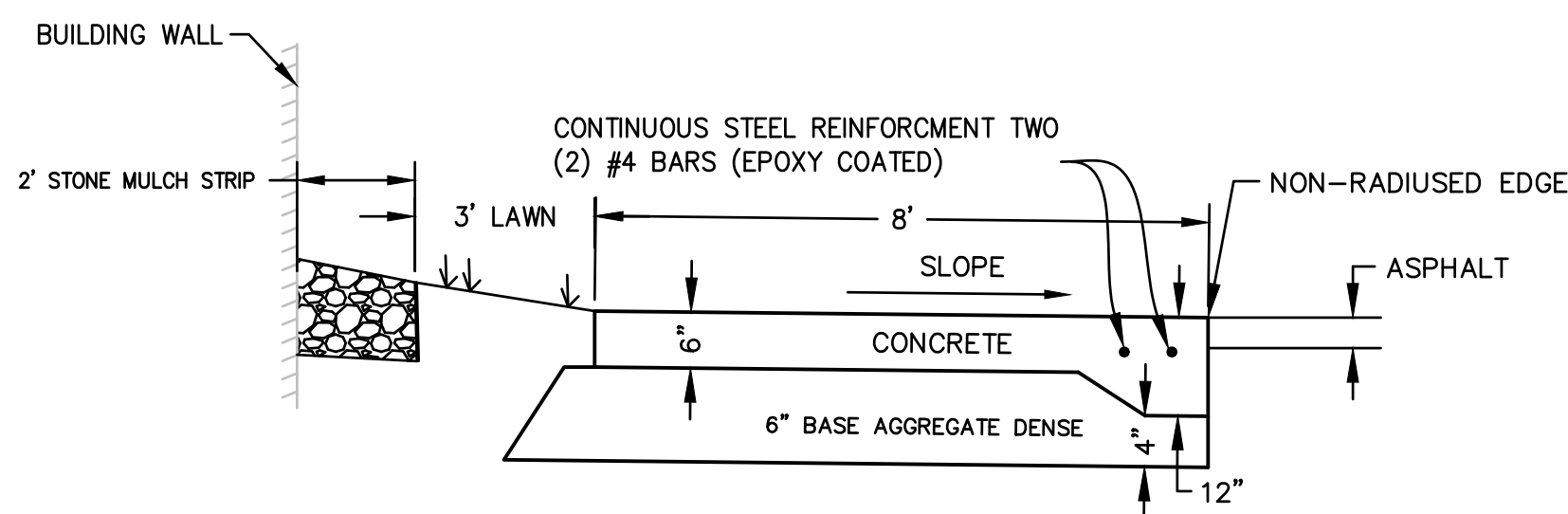
PARKING LOT PAVEMENT DETAIL



TYPICAL LANDSCAPED SECTION



CONCRETE DRIVEWAY APRON PAVEMENT DETAIL



THICKENED EDGE CONCRETE SIDEWALK

(WHERE ASPHALT AND SIDEWALK ARE FLUSH, AT HANDICAP STALLS)

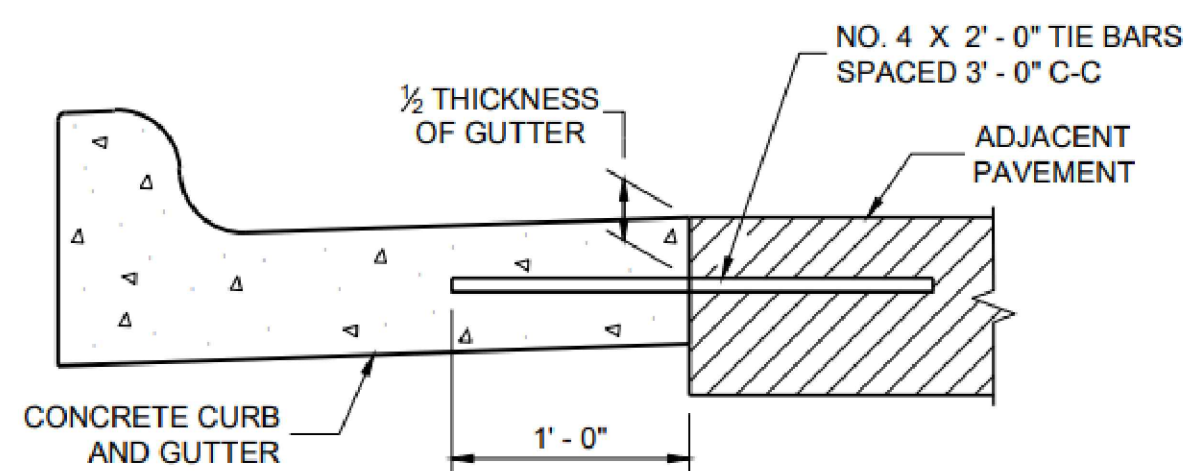
GENERAL NOTES

DETAILS OF CONSTRUCTION AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE CONTRACT.

PAVEMENT TIES AND TIE BARS SHALL BE EPOXY COATED IN CONFORMANCE WITH SUBSECTION 505.2.6.2 OF THE STANDARD SPECIFICATIONS.

UNLESS OTHERWISE SHOWN ON THE TYPICAL CROSS SECTIONS, THE BASE AGGREGATE AND COMMON EXCAVATION LIMITS ARE 2' - 0" BEHIND THE BACK OF CURBS.

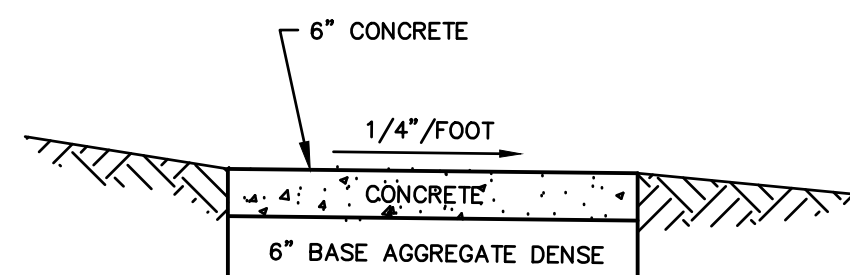
- ① TIE BARS ARE REQUIRED FOR CURB AND GUTTERS TYPES A, G, K, R, AND TBTT.
- ② THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.
- ⑩ REFER TO SDD 08D18 AND 08D19 FOR ADDITIONAL DRIVEWAY ENTRANCE CURB DETAILS.
- ⑪ PLACE 1" THICK EXPANSION JOINT MATERIAL BETWEEN VERTICAL FACE CURB TYPES EXTENDING FROM THE TOP OF CURB TO 1 INCH BELOW THE ADJOINING CONCRETE SURFACE. RIGID CONCRETE STRUCTURES INCLUDE RAISED CONCRETE MEDIANS, CONCRETE SAFETY ISLANDS, SPLITTER ISLANDS, OR LOCATIONS IDENTIFIED ON THE PLANS.



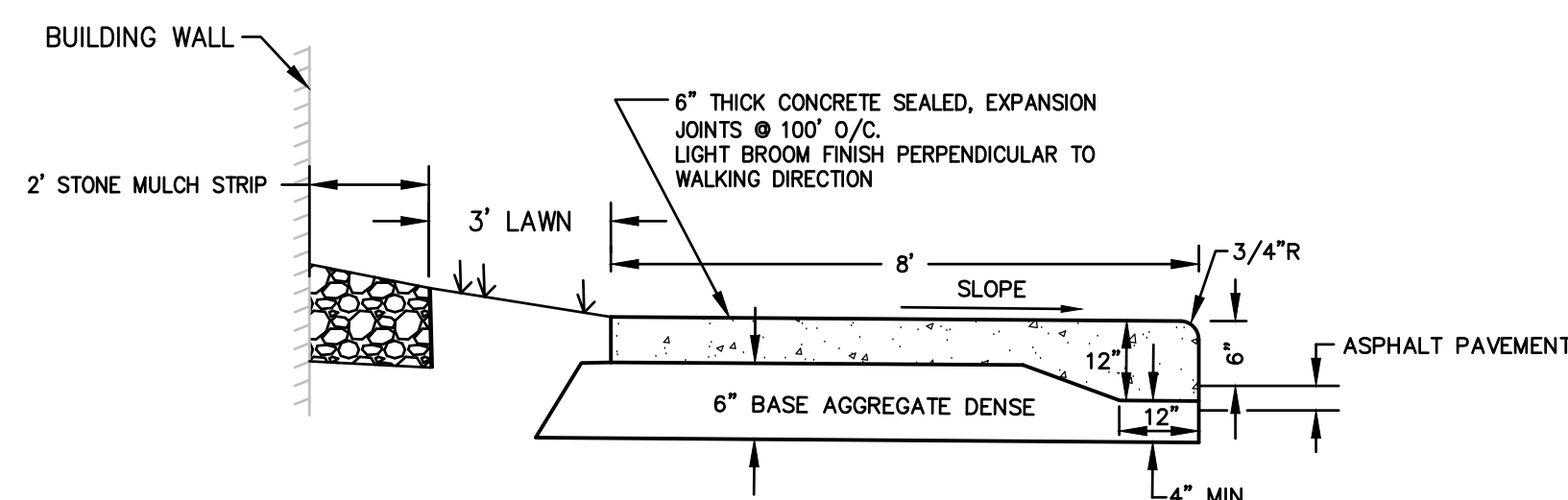
TYPICAL TIE BAR LOCATION

FROM DOT SDD 08D01-23a

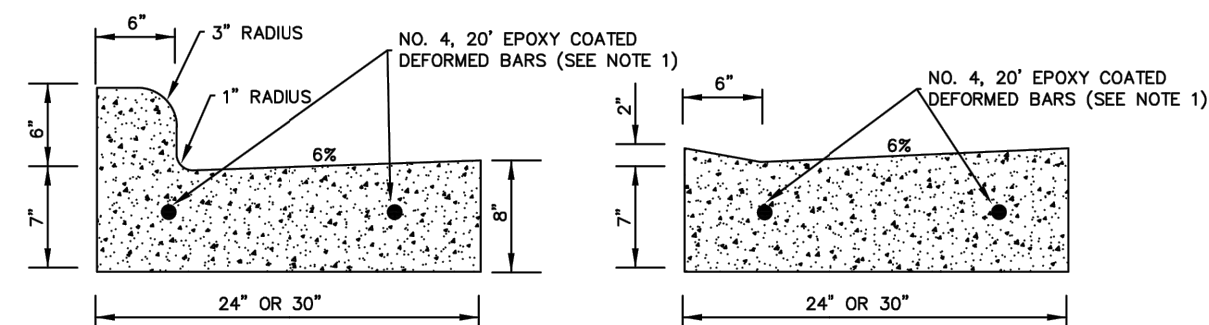
HERITAGE ROAD CURB - DOT TIE BAR DETAIL



STANDARD CONCRETE SIDEWALK

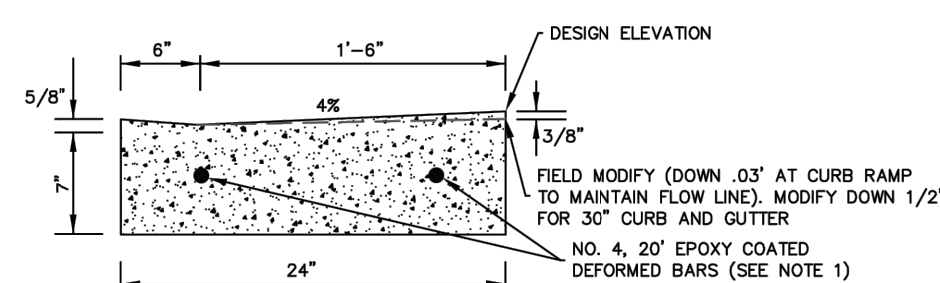


CURB-FACED CONCRETE SIDEWALK (CFS)

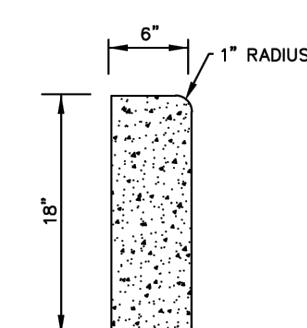


CURB AND GUTTER

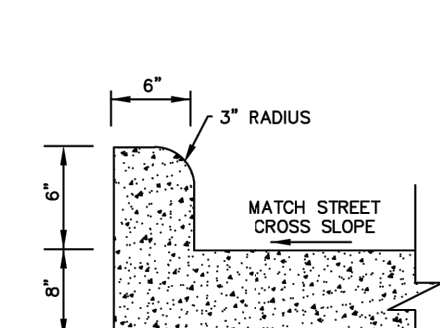
DRIVEWAY GUTTER



PEDESTRIAN CURB RAMP GUTTER



CURB

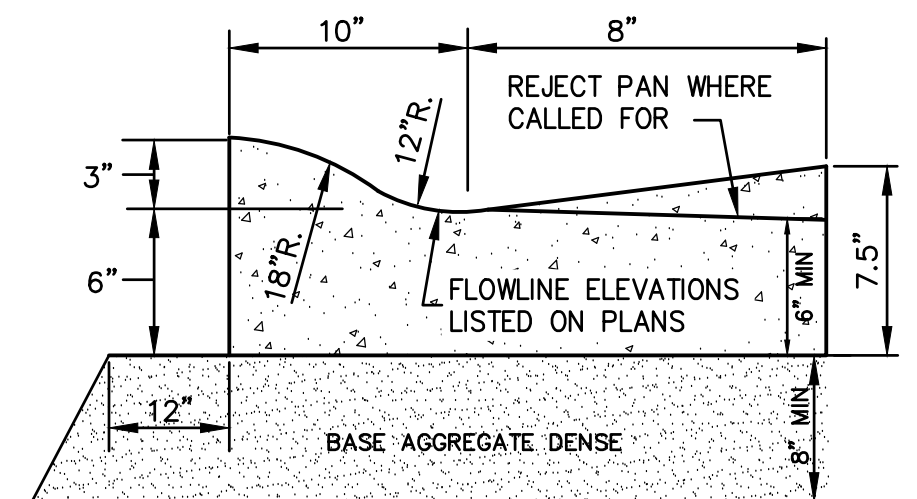


INTEGRAL CURB

- NOTES:
- 1. 2-NO. 4, 20' EPOXY COATED DEFORMED BARS SHALL BE INSTALLED CENTERED OVER EACH SERVICE AND UTILITY TRENCH OR AS DIRECTED BY THE ENGINEER, FOR TRENCHES LYING UNDER THE CURB AND RUNNING PARALLEL TO THE CURB. THE BARS SHALL BE INSTALLED FULL LENGTH OF THE TRENCH.
 - 2. ALL EXPOSED EDGES OF THE CONCRETE SHALL BE FINISHED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH UNLESS OTHERWISE NOTED.

| | |
|---|--|
| | TITLE: CONCRETE CURB CURB AND GUTTER AND GUTTER |
| | DIVISION: 32 |
| ENGINEERING DIVISION 925 S. SIXTH ST DE PERE, WI 54115 OFFICE 920-339-4061 FAX 920-339-4071 | DRAWING NO: C-5 |
| | DATE: 12/2021 BY: KAD CHECKED: EPR |

CITY OF DE PERE CURB & GUTTER DETAIL



MOUNTABLE CURB AND GUTTER DETAIL (BELMARK STANDARD)

cadlar_w\PROJECTS\B0039\092400600\CADD\Civil3D\Plan Sheets\With Curb Islands\Cover NOTES DETAILS.dwg, 11 miscellaneous details, Plot Date: 10/30/2024 2:39 PM, xref:none

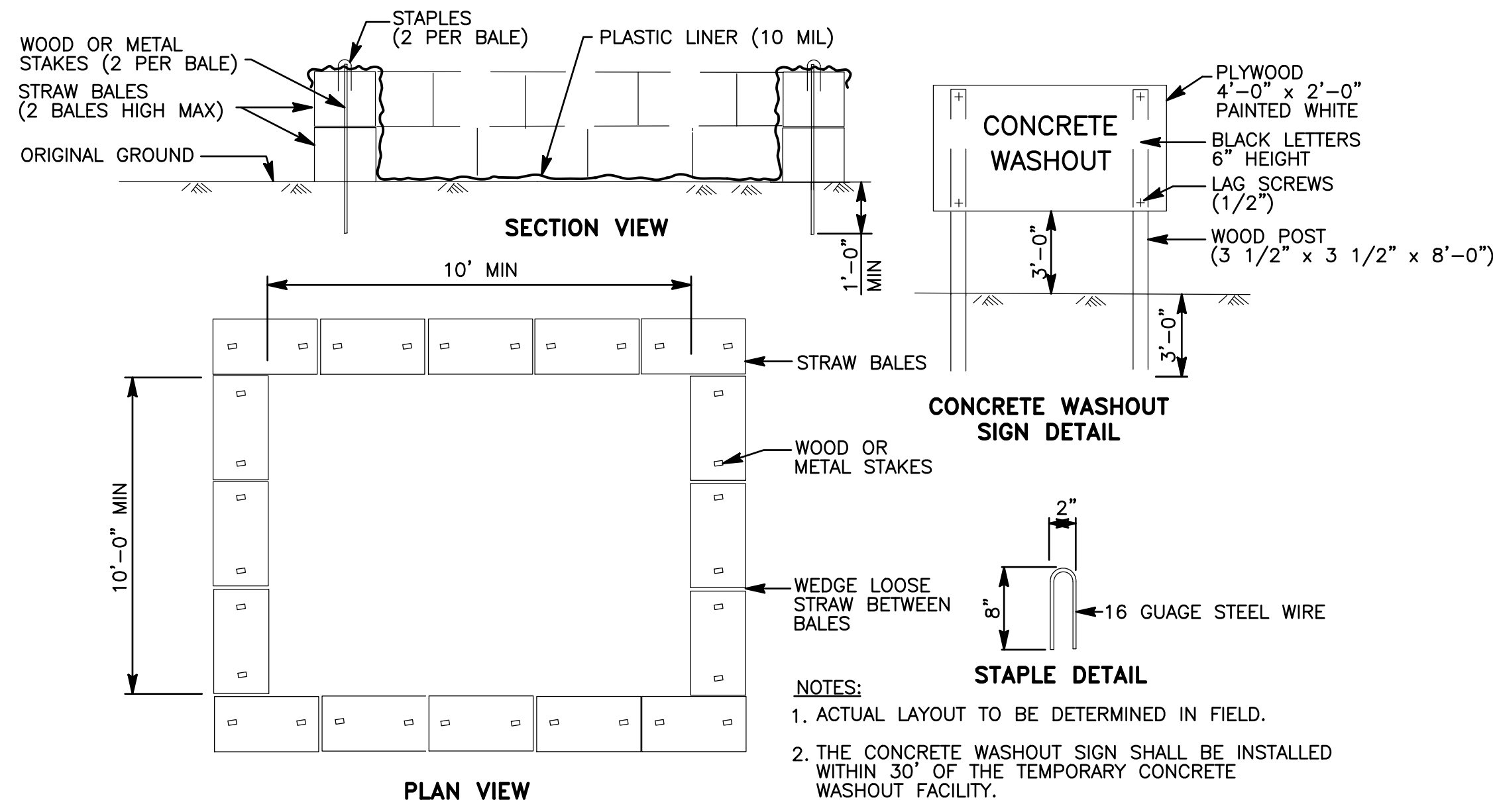
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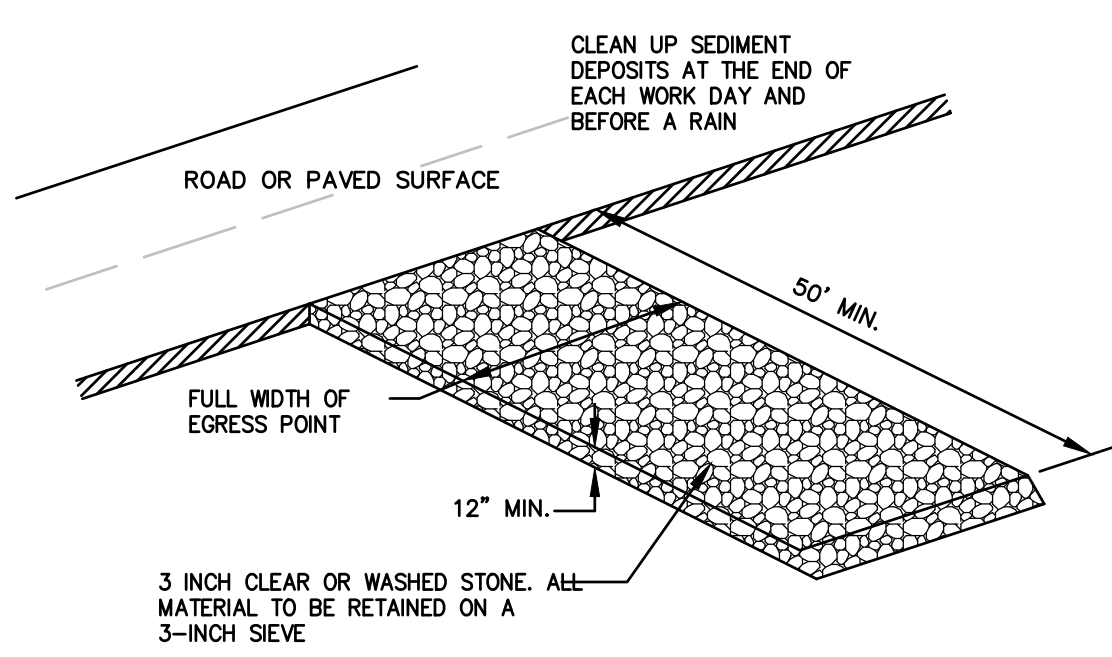
| | |
|---|---------|
| BELMARK PLANT 5 PARKING LOT ADDITION 675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI MISCELLANEOUS DETAILS | |
| DESIGNED # | DRAWN # |
| PROJECT NO. B0039-09-24-00600 | |
| DATE 10/30/24 | |
| SHEET NO. 11 | |

cad:\w\PROJECTS\B0039\09240060\CADD\Civil3D\Plan Sheets\With Curb Islands\COVER NOTES DETAILS.dwg, 12 miscellaneous details, Plot Date: 10/30/2024 2:32 PM, xref:none



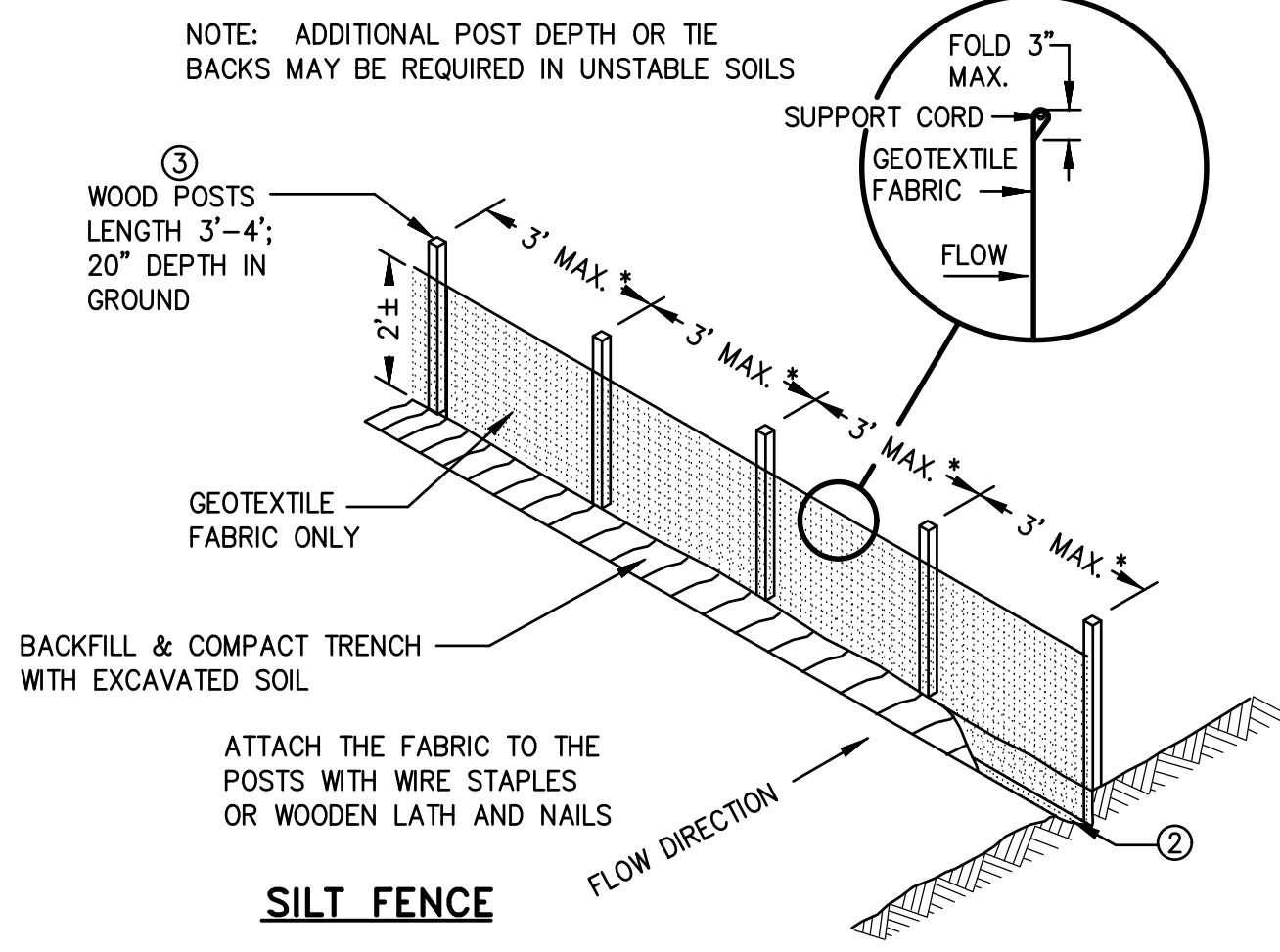
TEMPORARY CONCRETE WASHOUT FACILITY

- NOTES:**
1. ACTUAL LAYOUT TO BE DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



TRACKOUT CONTROL DETAIL

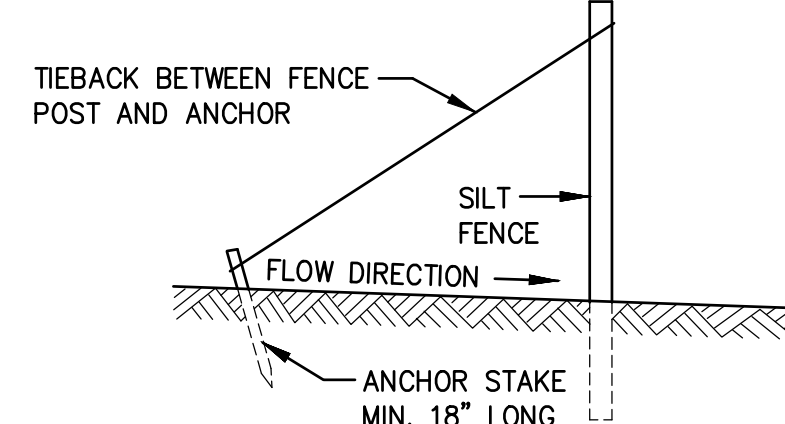
1. DIVERT FLOW AWAY FROM TRACKING PAD USING CULVERTS, SHALLOW TRENCH OR DIVERSION DAM.
2. ROCKS LODGED BETWEEN THE TIRES OF DUAL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE SITE.
3. ON SITES WITH A HIGH WATER TABLE OR SATURATED SOILS, INSTALL A DOT TYPE R GEOTEXTILE FABRIC UNDER STONE TRACKING PAD.
4. MAINTAIN UNTIL SITE IS PAVED/STABILIZED
5. USING A FODS TRACKOUT SYSTEM INSTEAD OF THE STONE-BASED TRACKOUT CONTROL SYSTEM IS ACCEPTABLE.



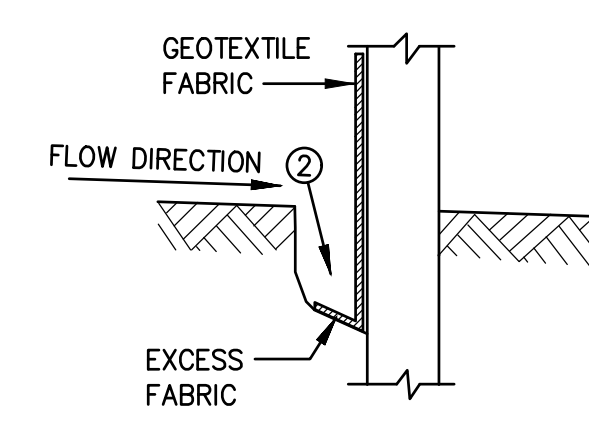
SILT FENCE

NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)

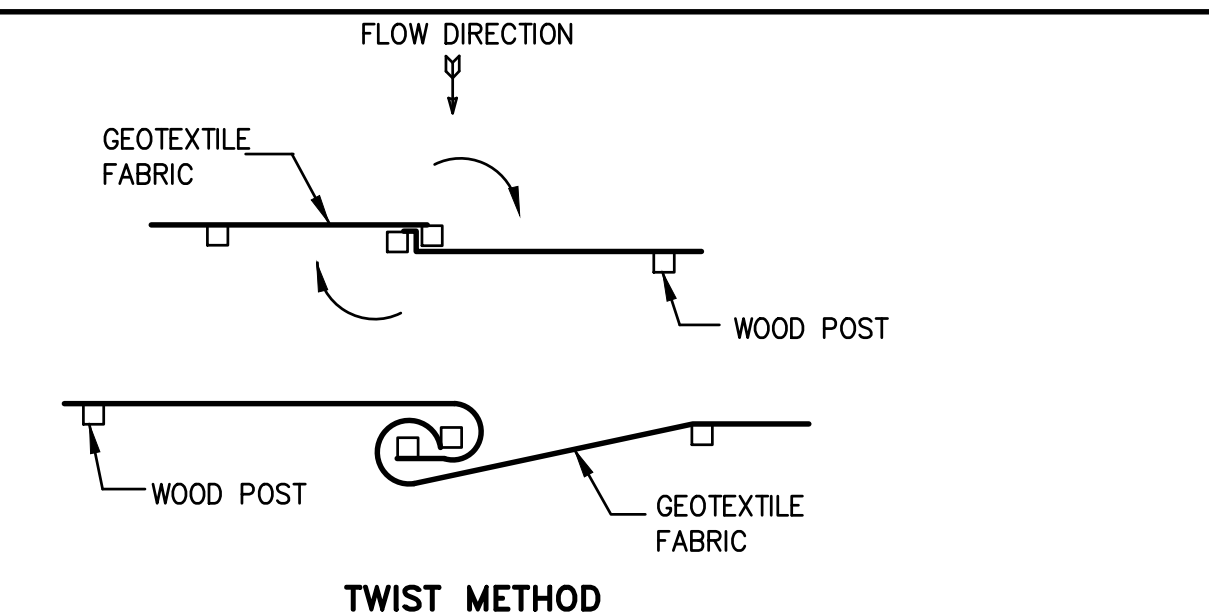


TRENCH DETAIL

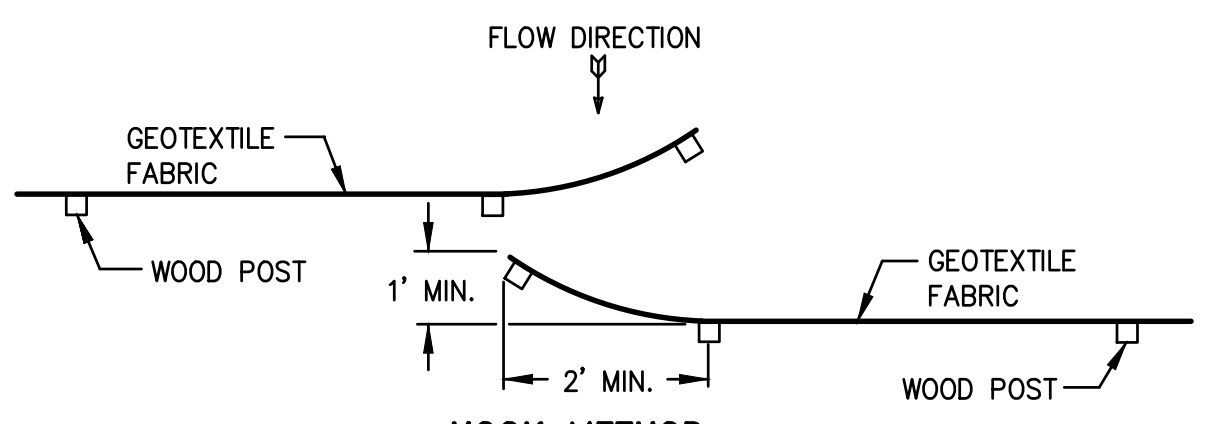
GENERAL NOTES

- ① HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- ② TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- ③ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY
- ④ SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- ⑤ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

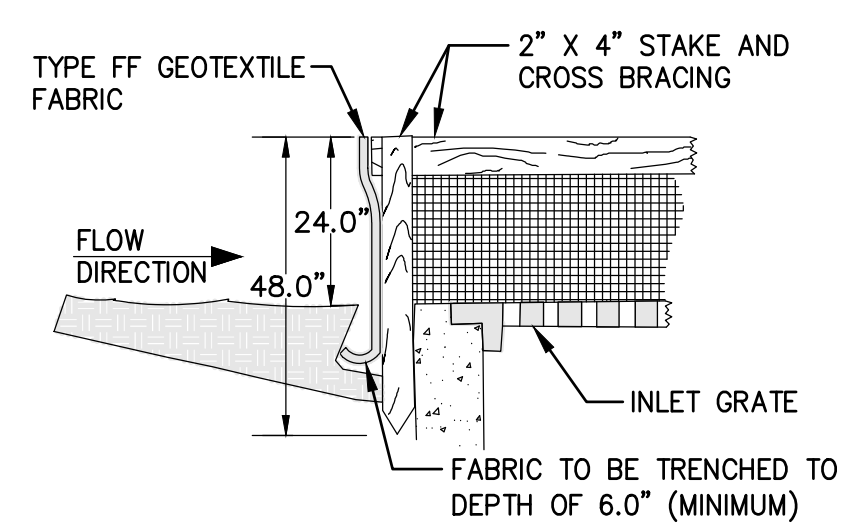
JOINING TWO LENGTHS OF SILT FENCE ⑤



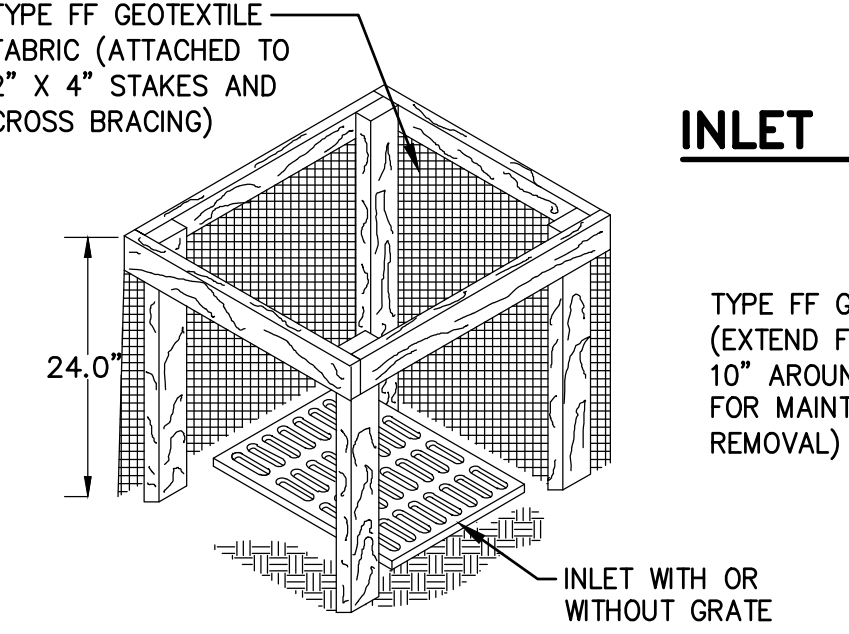
TWIST METHOD



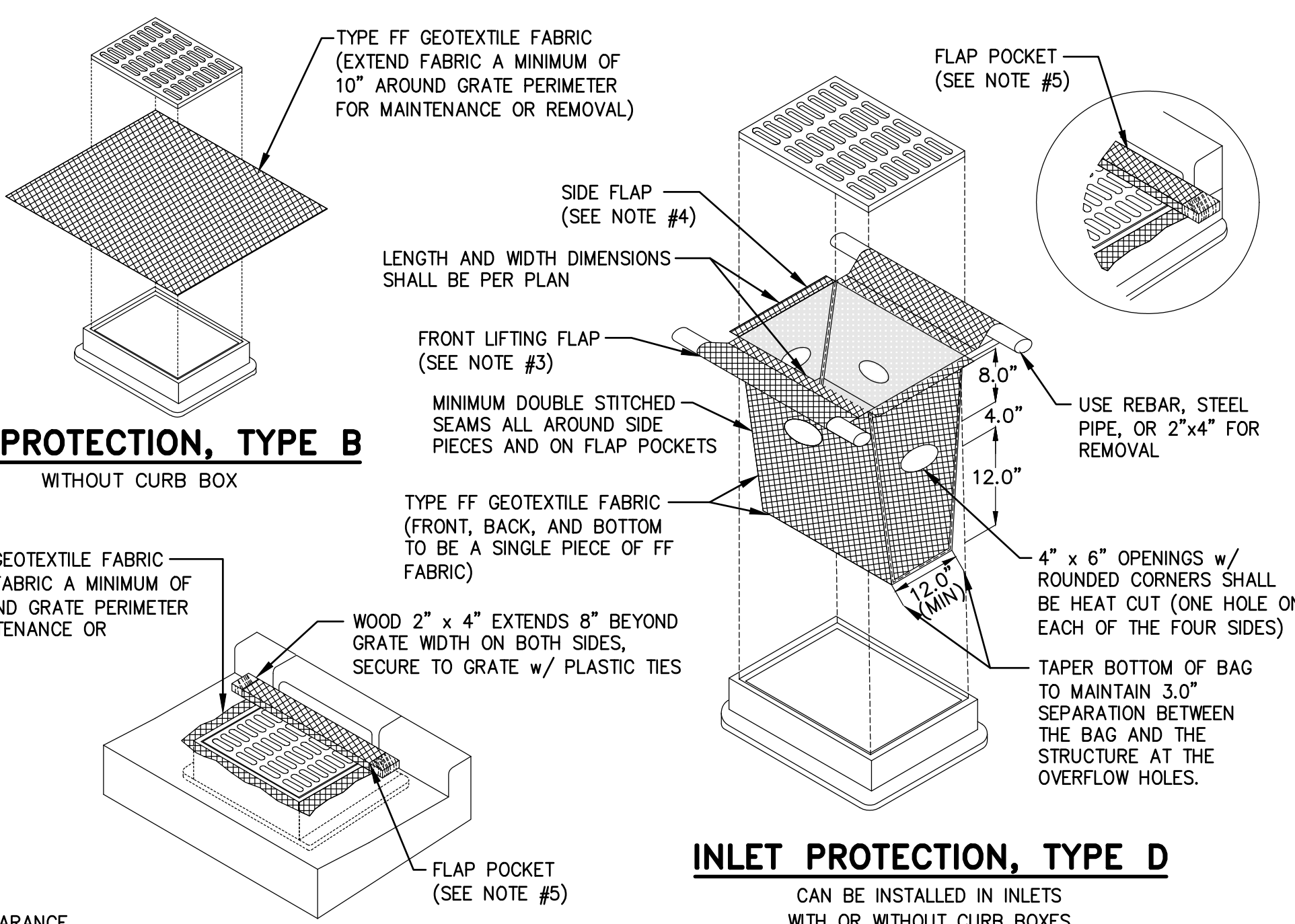
HOOK METHOD



INLET PROTECTION, TYPE B
WITHOUT CURB BOX



INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE C
WITH CURB BOX

INLET PROTECTION, TYPE D
CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES

GENERAL NOTES

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES

1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

STORM DRAIN INLET PROTECTION

McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
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| NO. | DATE | REVISION |
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BELMARK PLANT 5 PARKING LOT ADDITION
675 HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, WI
MISCELLANEOUS DETAILS

| DESIGNED | DRAWN |
|----------------------------------|-------|
| # | # |
| | |
| PROJECT NO. B0039-09-24-00600 | |
| DATE 10/30/24 | |
| SHEET NO. 12 | |