

Oct 30, 2024, 03:40PM EDT

Planning & Zoning Department

Parcel Number: (Include ALL parcels)	ED-F0094-1
Nearest property address to the project site:	Street Address: 675 HERITAGE RD City: DE PERE State: W Zip: 54114
Check each project type that is being applied for:	Site Plan
Current De Pere Zoning Districts:	BP-2
Existing Site Land Uses:	Business Park/Industrial
Proposed Site Land Uses:	Business Park/Industrial
Does the project comply with the Comprehensive Plan?	Yes
Has City Staff been contacted for a preapplication meeting?	Yes
Property Owner:	First Name: Karl Last Name: Schmidt
Is the property owner's address the same as the nearest property address?	Νο
Property Owner's Address:	Street Address: 600 Heritage Road City: De Pere State: W Zip: 54115
Property Owner's Phone Number:	9203300764
Property Owner's Email Address:	karl.schmidt@belmark.com
Is someone processing the project for the property owner as their authorized representative?	Yes
Authorized Representative's Name:	First Name: Carolyn Last Name: Adler
Authorized Representative's Business Name:	McMahon Associates

Authorized Representat Phone Number:	ive's	920-751-4200					
Authorized Representat Email Address:	ive's	cadler@mcmgrp.com					
Please attach a PDF copy of the site plan.		2024-10-30 Belmark Plant 5 Parking Lot Addition.pdf 2024_1022 Belmark Plant 5 Vestibule - Construction Documents_Sealed.pdf					
Would you like a basic checklist of information to include in the site plan?		No					
How do you plan on paying for your application?		Online with a credit card					
Total Due:		\$350.00					
Signature Data	First Nam Last Nam Email Add	ne: Carolyn ne: Adler dress: cadler@mcmgrp.com Carolyn Pdler					
	Signed at	t: October 30, 2024 3:37pm America/New_York					
User's Session Informat	ion	Referrer URL:					

CITY OF DE PERE

335 South Broadway, De Pere, WI 54115 | www.de-pere.org



November 7, 2024

Carolyn Adler McMahon Associates 1455 McMahon DR Neenah, WI 54956

RE: Site Plan Review for the Belmark Plant 5 Vestibule Addition at 675 Heritage RD (Parcel ED-F0094-1)

Dear Carolyn:

Thank you for the Belmark Plant 5 Vestibule Addition at 675 Heritage RD. The City of De Pere staff reviewed the site plan on November 7, 2024, and recommended approval with the following condition that must be addressed prior to obtaining occupancy permits.

• After the exterior lighting is installed, provide a statement from the installer that new lighting is dark sky compliant and does not exceed Zoning Ordinance 14-95 regulations.

You may now proceed to the Inspection Division to begin the process of obtaining permits. Should you have any questions regarding the decision or require further information, feel free to contact me at 339-4043 or pschleinz@deperewi.gov.

Sincerely,

Futer Schlern

Peter Schleinz Senior Planner | Zoning Administrator

cc: Daniel J. Lindstrom, AICP, Development Services Director Dennis Jensen, Senior Building Inspector



Belmark Plant 5 - Vestibule

675 Heritage Rd, De Pere, WI 54115



CONSTRUCTION DOCUMENTS

10/22/2024

PROJECT NUMBER:

estibule 5



ABBREVIATIONS

A/C	air conditioning	CLR	clear	F	female	l ID	inside diameter	P PJ	panel joint	T &M	time & materials
A/E	Architect/Engineer	CM	construction		filler fine elerne	INSUL	insulation		plastic laminate		temperature
ACT	acoustical	CM	management construction manager		fluid applied	IINT	Interior		piywood		temporary
וחח	additional	CMU	concrete masonry unit	FAR	fabric	J			parier	TERR	terrazzo hase
	addendum	000	cleanout	FC	file cabinet	21	ianitor sink	PREFIN	nrefinished	TEE	ton of finished floor
AD.I	adjustable		column	FD	floor drain	00	jannor sink	PSI	pounds per square	TKBD	tackboard
AFC	above finished	CONC	concrete	FF	fire extinguisher	L		1.01	inch	TO	top of
/ 0	counter	CORR	corridor	FFC	fire extinguisher		laminate	PT	paint	TOB	top of beam
AFF	above finished	CPT	carpet	0	cabinet	LAV	lavatory	PTN	partition	TOC	top of concrete
	floor	CSWK	casework	FHC	fire hose cabinet	LF	linear foot	_	P	TOJ	top of joist
AFG	above finished	CT	ceramic tile	FIN	finish	LL	live load	Q		TOPO	topography
	grade	ĊW	cold water	FLR	floor			QT	quarry tile	TOS	top of slab
AFS	above finished	CTB	ceramic tile base	FM	factory mutual	Μ		QTB	quarry tile base	TOS	top of steel
	slab	_		FM	floor mat	MAT	material	QTY	quantity	TRNS	transom
ALT	alternate	<u>D</u>		FO	finished opening	MAX	maximum	QTZ	quartz	TYP	typical
ALUM	aluminum	DBL	double	FP	fire protection	MC	modular carpet tile	P			
APPD	approved	DEMO	demolition	FP	fireproof	MECH	mechanical	<u>R</u>		<u>U</u>	
APT	apartment	DEPT	department	FPL	fireplace	MFR	manufacturer	RB	resilient base	UNO	unless noted otherwis
AP	acoustical panel	DF	drinking fountain	FRP	fiberglass	MICRO	microwave	RCP	reflected ceiling plan		
ASC	above suspended	DIA	diameter		reinforced plastic	MIN	minimum	RD	roof drain	<u>v</u>	
	ceiling	DP	decorative panel	FRT	fire retardant treated	MIN	minute	REBAR	reinforcing steel bars	VERT	vertical
D		DR	door	FTG	footing	MISC	miscellaneous	REC	recess	VF/CI	vendor furnished,
		DR FR	door frame	C		MJ	movement joint	REF	reference		contractor installed
BB	baseboard	DIL	detail	<u>u</u>		MO	masonry opening	REF	retrigerator	VF/OI	vendor furnished,
BLDG	building	DS	downspout	GA	gauge	MS	mop sink	RF	resilient flooring		owner installed
BLI	borrowed lite	DW	dishwasher	GALV	galvanized	MIL	metal	REV	revision	VF/VI	vendor furnished,
BLW	below	DWG	drawing	GB	grab bar	Ν		RFS	room finish schedule		vendor installed
BPL	base plate	F		GC	general contractor		in a with	RU	rougn opening		veneer
BO	bottom of steel	È.	aaat	GL	glass glue lemineted		nom not applicable	S		VIF	verity in field
BU3	DOUDTI OF SLEEP		easi ovtorior insulation	GLU LAM	yiue laminaleu		not applicable		couth	W	
C		EIFS	& finish system	CP	arado aradina		numbor	SAN	south		wost
	catch basin	EI	elevation	GT	graue, grauing	NM	nominal	SC	saalad concrete	W/	with
0D	construction bulletin	FI	evolution inint	GYP BD	avosum	NS	no scale	SC	solid core	W/O	without
CE/CI	contractor furnished	FLEC	electric		gypoun	NTS	not to scale	SCHED	schedule	WC	water closet
01701	contractor installed	FLEC	electrical	Н		NIO		SCHED	scheduled	WC	wall covering
CF/OI	contractor furnished.	ELEV	elevator	HB	hose bibb	0		SF	square foot	WD	wood
0.70.	owner installed	EP	epoxy	HC	hollow core	OA	overall	SIM	sim	WDB	wood base
CF/VI	contractor furnished,	EPS	expanded polystyrene	HDWE	hardware	OC	on center	SL	sidelite	WDV	wood veneer
	vendor installed		board	HM	hollow metal	OD	outside diameter	SNGL	single	WH	water heater
CG	corner guard	EQ	equal	HORIZ	horizontal	OF/CI	owner furnished,	SS	solid surface	WP	wall protection
CIP	cast-in-place	ETR	existing to remain	HSKP	housekeeping		contractor installed	SST	stainless steel	WP	work point
CNTR	counter	EXIST	existing	HGT	height	OF/OI	owner furnished,	ST	stain	WT	window treatment
CL	centerline	EXT	exterior	HR	hour		owner installed	ST	stair	V	
CLG	ceiling			HVAC	heating, ventilating	OF/VI	owner furnished,	STC	sound transmission	<u>X</u>	
					& air conditioning		vendor installed		coefficient	XPS	extruded polystyrene
				HW	hot water	OH DR	overhead door	STL	steel		board
				HWY	highway	OPH	opposite hand	STN	stone		
						OPNG	opening	STNB STRUCT	stone base structure		

SYMBOL LEGEND



VICINITY MAP



PROJECT TEAM



ARCHITECTURAL **EPPSTEIN UHEN ARCHITECTS, INC.**

124 N Broadway De Pere, WI 54115 (920) 336-9929 www.eua.com

PROJECT CONTACT: DIRECT PHONE: EMAIL ADDRESS:

Erin Peters (920) 278-0349 erinp@eua.com S101FOUNDATION PLAN, FRAMING PLAN, DETAILSS102DETAILS ARCHITECTURAL A000 BUILDING SYSTEMS & NOTES, SPECS A101 FLR PLANS, ELEVATIONS, DOOR SCHEDULE A102 SECTIONS, DETAILS

A103 DETAILS, FINISH SCHEDULE

GENERAL G000 INDEX G101 LIFE SAFETY PLAN

STRUCTURAL



STRUCTURAL **EPPSTEIN UHEN ARCHITECTS, INC.**

124 N Broadway De Pere, WI 54115 PHONE: (920) 336-9929 www.eua.com

PROJECT CONTACT: DIRECT PHONE: EMAIL ADDRESS:

Tom Monteverde (920) 278-0373 tomm@eua.com



SHEET INDEX

S000 GENERAL STRUCTURAL INFORMATION S001 GENERAL STRUCTURAL NOTES



PROJECT INFORMATION

Belmark Plant 5 -Vestibule

675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

DATEDESCRIPTION10/22/2024CONSTRUCTION DOCUMENTS

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER	MVL
PROJECT NUMBER	924446







A1 1ST FLR LIFE SAFETY PLAN 3/64" = 1'-0" | G101

AREA & OCCUPANC							
	AREA						
OCCUPANCY CLASSIFICATION	FUNCTION OF SPACE	AREA (S					
FACTORY (F-1) - MODERATE HAZARD		105					
ADDITION	Industrial	105					
BUSINESS (B)	Business Areas	5,013					
FACTORY (F-1) - MODERATE HAZARD	Industrial	38,655					
STORAGE (S-1) - MODERATE HAZARD (WAREHOUSE)	Warehouses	87,495					
EXISTING FIRST FLOOR		131,162					
FACTORY (F-1) - MODERATE HAZARD	Industrial	19,842					
EXISTING MEZZANINE		19,842					
GRAND TOTAL		151,110					

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PROJECT INFORMATION

Belmark Plant 5 -Vestibule

b 675 Heritage Rd, De Pere, WI 54115

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PROJECT MANAGER MVL PROJECT NUMBER 924446



ABBREVIATIONS

Α		D		Н		Ν		S	
A/F	ARCHITECT/ENGINEER	DBA	DEFORMED BAR ANCHOR	HORIZ	HORIZONTAI	NF	NEAR FACE	SC	SI IP CRITICAI
		DBF	DECK BEARING ELEVATION	HCA	HEADED CONCRETE ANCHOR	NIC	NOT IN CONTRCT	SCHED	SCHEDULE(D)
AESS				HCP		NOM		SCI	
AL00								SUL	
A E E								OFOT	
AFF	ABOVE FINISHED FLOOR	DEI	DETAIL	HVAC	HEATING, VENTILATION & AIR	NIS NING	NOT TO SCALE	SECT	SECTION
AHJ	AUTHORITY HAVING	DIA	DIAMETER		CONDITIONING	NWC	NORMAL WEIGHT	SERS	SEISMIC FORCE RESISTING
	JURISDICTION	DIAG	DIAGONAL				CONCRETE		SYSTEM
ALT	ALTERNATE	DIM	DIMENSION	<u>1</u>		$\mathbf{\cap}$		SIM	SIMILAR
APPD	APPROVED	DWA	DEFORMED WIRE ANCHOR	ID	INSIDE DIAMETER	<u>U</u>		SLBB	SHORT LEG BACK-TO-BACK
APPROX	APPROXIMATE	DWG	DRAWING	IF	INSIDE FACE	0/0	OUT TO OUT	SOG	SLAB ON GRADE, SLAB ON
AR	ANCHOR ROD	_		INT	INTERIOR	OC	ON CENTER		GROUND
ARCH	ARCHITECTURAL	E				OD	OUTSIDE DIAMETER	SPEC	SPECIFICATION
-		(E)	EXISTING	<u>J</u>		OF	OUTSIDE FACE	SQ	SQUARE
<u>B</u>		ÈÁ	EACH	JT	JOINT	OPH	OPPOSITE HAND	SS	STAINLESS STEEL
BO	BOTTOM OF	FF	EACH END	•		OPNG	OPENING	SSI	SHORT SLOTTED (HOLES)
BOT	BOTTOM	FF	EACHEACE	ĸ		OPP	OPPOSITE	STD	STANDARD
BD				K				STIE	STIFEENED
							OPIENTED STRAND BOADD	STI	OTEEL
DKG						030		SIL	
BÜ	BUILT-UP	ELEC	ELECTRICAL	KSF	KIPS PER SQUARE FOUT	005	OVERSIZED HOLE	STRUCT	STRUCTURAL
C		ELEV	ELEVATOR	KSI	KIPS PER SQUARE INCH	D		SW	SHEARWALL
<u><u> </u></u>		EMBED	EMBEDMENT, EMBEDDED			<u> </u>		SYM	SYMMETRIC,SYMMETRICAL
С	CAMBER	ENGR	ENGINEER			PAF	POWDER ACTUATED	Ŧ	
C&C	COMPONENTS AND CLADDING	EOD	EDGE OF DECK	LFRS	LATERAL FORCE RESISTING		FASTNER	<u> </u>	
CANT	CANTILEVER	EOS	EDGE OF SLAB		SYSTEM	PCC	PRECAST CONCRETE	T&B	TOP AND BOTTOM
CC	CENTER TO CENTER	EP	EMBED PLATE	LLBB	LONG LEG BACK TO BACK	PCF	POUNDS PER CUBIC FOOT	TEMP	TEMPERATURE, TEMPORARY
CFMF	COLD-FORMED STEEL	EQ	EQUAL	LLH	LONG LEG HORIZONTAL	PERP	PERPENDICULAR	THD	THREADED
	FRAMING. COLD-FORMED	EQUIP	EQUIPMENT	LLV	LONG LEG VERTICAL	PJP	PARTIAL JOINT PENETARTION	ТНК	THICK. THICKNESS
	METAL FRAMING	EQUIV	EQUIVALENT	LONG	LONGITUDINAL	PL	PLATE	ТО	TOP OF
CGS	CENTER OF GRAVITY OF	FXP	EXPANSION	LSH			POUNDS PER LINEAR FOOT	TRANS	TRANSVERSE
000	STRAND	FXT	EXTERIOR		LONG-SLOTTED (HOLES)		PRELMINARY	TYP	TYPICAL
CIP						DOE			TTTIONE
			LAGITWAT					U	
CJ		F							
CJP		<u>-</u>		LW		POL	PARALLEL STRAND LUMBER	UNU	UNLESS NOTED OTHERWISE
<u>.</u>	PENTRATION	FD	FLOOR DRAIN	LWC	LIGHT WEIGHT CONCRETE	PI	POST-TENSIONED	V	
CL	CENTERLINE	FDN	FOUNDATION	м		$\mathbf{\cap}$		<u>•</u>	
CLR	CLEAR	FF	FARFACE					VERI	VERTICAL
CMU	CONCRETE MASONRY	FIN	FINISH(ED)	MAS	MASONRY	QTY	QUANTITY	VIF	VERIFY IN FIELD
	UNIT	FLR	FLOOR	MAX	MAXIMUM	D		14/	
COL	COLUMN	FLG	FLANGE	MC	MOMENT CONNECTION			<u>vv</u>	
COMP	COMPRESSIBLE	FP	FULL PENETRATION	MECH	MECHANICAL	RAD	RADIUS	WL	WORK LINE
CONC	CONCRETE	FS	FAR SIDE	MEP	MECHANICAL,	REF	REFERENCE	WP	WORK POINT
CONN	CONNECTION	FTG	FOOTING		ELECTRICAL, PLUMBING	REINF	REINFORCEMENT,	WS	WATERSTOP
CONSTR	CONSTRUCTION	FUT	FUTURE	MEZZ	MEZZANINE		REINFORCE	WT	WEIGHT
CONT	CONTINUE, CONTINUOUS	FV	FIFLD VERIEY	MFR	MANUFACTURER	RFM	REMAINDER	WWR	WEI DED WIRE
COORD				MIN	MINIMIM	REOD	REQUIRED		
CS		G		MISC		REV	REVISION		
CTP	CENTED	GA		MI		DTII		Х	
				IVIJ MIZ		NTU		VC	
UVR	COVER	GALV						KQ VVC	
				IVIS				XX5	DOUBLE EXTRA STRUNG
		GEN	GENERAL	MIL					
		GR	GRADE, GRADE (MATERIAL)	MWFRS	MAIN WIND FORCE				

RESISTING SYSTEM

SYMBOL LEGEND



GENERAL NOTES



- CONCRETE MIX DESIGNS STRUCTURAL MASONRY COMPRESSIVE STRENGTH REPORTS REINFORCING STEEL
- STRUCTURAL STEEL STEEL DECKING METAL FABRICATIONS

1. PROJECT CONDITIONS: ALL EXISTING BUILDING DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THE STRUCTURAL ENGINEER/ ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY EXISTING INFORMATION SUPPLIED BY THE OWNER / GENERAL CONTRACTOR (OR CM) NOR SHALL BE LIABLE FOR THOSE EXISTING CONDITIONS THAT VARY FROM THE PREVIOUSLY GIVEN INFORMATION.

12. AT NO TIME SHALL CONSTRUCTION LOADS EXCEED DESIGN LOADS LISTED IN DESIGN DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING CONSTRUCTION EQUIPMENT LOADS PRIOR TO USE ON ANY STRUCTURAL COMPONENT OF THE BUILDING. CONCRETE SLABS SHALL 75% OF ITS DESIGN STRENGTH (7 DAY CURE TIME MINIMUM) BEFORE SUPPORTING ANY

EQUIPMENT.

COMPLETED.

INFORMATION.

6. COLD WEATHER EXCAVATION:

PLACEMENT.

B. EARTHWORK

AND DEBRIS.

TURNED OVER TO OWNER'S STOCK.

BE DUMPED AT THE EXTERIOR.

INDICATED ON THE STRUCTURAL DRAWINGS.

REQUIRED TO REACH SUITABLE BEARING MATERIAL.

FOOTING GRADE ON THE SAME DAY.

DURING THE FOUNDATION CONSTRUCTION.

PRIOR TO FOOTING PLACEMENT.

CONSTRUCTION IS FINISHED.

15. DEMOLITION:

13. CONNECTIONS FOR SUPPORT OF ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS TO STRUCTURAL COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH DETAILS SHOWN ON ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. HANG ALL EQUIPMENT FROM JOIST TOP CHORD. HANG ALL PIPING LARGER THAN 2" DIAMETER FROM JOIST TOP CHORD AND ALL PRIMARY PIPING GREATER THAN 6" FROM TWO JOISTS (FROM TOP CHORDS). ALL SECONDARY PIPING, DUCTWORK, ELECTRICAL AND CEILINGS MAY BE HUNG FROM JOIST BOTTOM CHORD.

14. ALL STRUCTURAL ELEMENTS OF THE PROJECT WILL BE DESIGNED AND DETAILED TO RESIST CODE VERTICAL AND LATERAL FORCES FOR THE FINAL COMPLETED BUILDING CONDITIONS ONLY. DURING CONSTRUCTION THE STRUCTURE SHALL BE ADEQUATELY BRACED & SHORED AGAINST WIND, SEISMIC, SNOW, SOIL & ERECTION LOADS (REFER TO ASCE/SEI 37-14 FOR STANDARDS) DURING CONSTRUCTION. TEMPORARY BRACING AND SHORING SHALL BE ENGINEERED BY A LICENSED PROFESSIONAL ENGINEER AND UTILIZED AS NEEDED DURING THE CONSTRUCTION PROCESS UNTIL THE FINAL STRUCTURE IS

 CONTRACTOR TO COORDINATE IDENTIFICATION, SALVAGE, AND RELOCATION OF EQUIPMENT AND MATERIALS TO BE FIELD VERIFY ALL EXISTING BEARING CONDITIONS PRIOR TO REMOVAL OF ANY PARTITIONS. CONTRACTOR TO VERIFY EXTENT OF DEMOLITION REQUIRED TO MEET PLAN REQUIREMENTS. NOTIFY ENGINEER OF ANY ADDITIONAL OR ALTERNATE DEMOLITION REQUIRED. PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN.

 CONTRACTOR TO ERECT AND MAINTAIN DUST BARRIERS AS REQUIRED TO PROTECT ADJACENT AREAS FROM DUST SCHEDULE DEMOLITION TO MEET OWNERS ACCESS AND USE OF AREAS AND ADJACENT AREAS DURING DEMOLITION. DEMOLISH EXISTING WALLS, CEILINGS, FINISHES, EQUIPMENT, AND FIXTURES AT ALL AREAS SHOWN BY DASHED LINES AND AS REQUIRED PREPARE SURFACES TO RECEIVE NEW FINISHES AND FIXTURES. ALL DEMOLITION WASTE SHALL BE PLACED IN A DUMPSTER OR UNDER SECURE COVER. NO LOOSE RUBBLE SHALL DEMOLITION REQUIREMENTS FOR MECHANICAL AND ELECTRICAL SYSTEMS BY SELECTED SUBCONTRACTORS. VERIFY OPERATIONAL AND SCHEDULING REQUIREMENTS WITH OWNER IF SYSTEM SHUT DOWNS ARE REQUIRED.

16. NO PROVISIONS HAVE BEEN MADE FOR FUTURE VERTICAL OR HORIZONTAL EXPANSION OUTSIDE OF THOSE EXPLICITLY

17. ALL ARCH, CIVIL, AND MEP SHOWN AS HALFTONE IN THE BACKGROUND OF THE STRUCTURAL PLANS, SECTIONS, ELEVATIONS AND DETAILS IS FOR REFERENCE ONLY. REFER TO NECESSARY DISCIPLINE DRAWINGS ACCORDINGLY FOR ALL PERTINENT

GEOTECHNICAL REPORT: REFER TO GEOTECHNICAL REPORT INDICATED IN DESIGN CRITERIA FOR SITE CONDITIONS, SUITABLE BEARING MATERIALS, ENGINEERED FILL, BACK FILL MATERIALS, COMPACTION REQUIREMENTS AND PROJECT SPECIFICATIONS FOR EARTHWORK NOT SPECIFIED HEREIN.

2. EXCAVATIONS: IF EXCAVATION SHOULD INDICATE AN ALLOWABLE SOIL BEARING CAPACITY LESS THAN THE DESIGN CRITERIA SOIL BEARING CAPACITY AT THE FOOTING DEPTH INDICATED ON PLANS THE OWNER, ARCHITECT, ENGINEER, AND GENERAL CONTRACTOR (OR CM) SHALL BE NOTIFIED IMMEDIATELY AND FOUNDATION REVISED TO MEET THIS CONDITION. INSPECTIONS: ALL FOOTING EXCAVATIONS SHALL BE INSPECTED BY A SOILS TESTING AGENCY PRIOR TO PLACING FOUNDATION CONCRETE OR ENGINEERED FILL. NOTIFY OWNER/ARCHITECT/ENGINEER WHEN ADDITIONAL EXCAVATION IS

SITE PREPARATION: ALL UNSUITABLE EXISTING FILL AND TOPSOIL SHALL BE EXCAVATED FROM BENEATH ALL FOOTINGS AND REPLACED WITH COMPACTED STRUCTURAL FILL. ALL UNSUITABLE EXISTING FILL AND TOPSOIL SHALL BE EXCAVATED FROM BENEATH ALL SLABS AND REPLACED WITH COMPACTED STRUCTURAL FILL TO FINISHED PAD ELEVATION. PROVIDE VAPOR BARRIER (WHERE NOTED ON PLAN OR ARCHITECTURAL DRAWINGS) AND CRUSHED LIMESTONE BASE COURSE (SEE PLAN FOR THICKNESS), OR APPROVED EQUAL, ABOVE FINISHED PAD AND BELOW SLAB. SEE PLAN FOR ADDITIONAL INFORMATION.

BACKFILL EACH SIDE OF FOUNDATION WALLS IN EQUAL LIFTS TO FINAL GRADES. UNBALANCED BACKFILL SHALL NOT BE PLACED AGAINST BUILDING WALLS UNTIL FIRST FLOOR CONSTRUCTION IS COMPLETE OR UNLESS THE TOP OF WALLS ARE TEMPORARILY BRACED. WALLS DESIGNED AS CANTILEVERED RETAINING WALLS DO NOT REQUIRE BRACING DURING BACKFILLING. REFER TO PLANS AND SPECIFICATIONS FOR TYPE AND PLACING OF BACKFILL. SEE ARCHITECTURAL DRAWINGS FOR LOCATION AND EXTENT OF RIGID INSULATION TO BE IN PLACE PRIOR TO BACKFILL

 FROST SHOULD NOT BE ALLOWED TO PENETRATE INTO THE SOILS BELOW ANY PROPOSED STRUCTURE. WINTER EXCAVATION SHOULD BE LIMITED TO AREAS SMALL ENOUGH TO BE REFILLED TO A GRADE HIGHER THAN TRENCHING BACK DOWN TO UNFROZEN SOILS FOR FOUNDATION CONSTRUCTION CAN THEN BE PERFORMED JUST THE EXCAVATED TRENCHES SHOULD BE PROTECTED FROM FREEZING BY MEANS OF INSULATING OR HEATING BACKFILLING OF THE TRENCHES SHOULD BE PERFORMED IMMEDIATELY AFTER THE BELOW-GRADE FOUNDATION IN ADDITION, ANY INTERIOR FOOTINGS, OR FOOTINGS DESIGNED WITHOUT FROST PROTECTION SHOULD BE EXTENDED BELOW FROST DEPTH, UNLESS ADEQUATE PRECAUTIONS ARE TAKEN TO PREVENT FROST INTRUSION UNTIL THE BUILDING CAN BE ENCLOSED AND HEATED. ANY FROST WHICH FORMS IN LOOSE LAYER, OR SNOW WHICH ACCUMULATES, SHOULD BE COMPLETELY REMOVED FROM THE FILL AREA PRIOR TO COMPACTION AND ADDITIONAL SOIL PLACEMENT. FROZEN SOILS, OR SOILS CONTAINING FROZEN MATERIAL OR SNOW SHOULD NEVER BE USED AS FILL MATERIAL. AFTER THE STRUCTURE HAS BEEN ENCLOSED, ALL FLOOR SLAB AREAS SHOULD BE SUBJECTED TO AMPLE PERIODS OF HEATING TO ALLOW THAWING OF THE SOIL SYSTEM. THE FLOOR SLAB AREAS SHOULD BE CHECKED AT RANDOM AND REPRESENTATIVE LOCATIONS FOR REMNANT AREAS OF FROST, AND DENSITY TESTS SHOULD BE PERFORMED TO DOCUMENT FILL COMPACTION PRIOR TO SLAB

C. CONCRETE

- REFERENCES: CONCRETE CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING STANDARDS AND AS MODIFIED HEREIN: ACI 301 "SPECIFICATIONS OF STRUCTURAL CONCRETE FOR BUILDINGS" ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
- ACI 117 "SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS" ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES"
- 2. ALL CONCRETE SHALL BE NORMAL WEIGHT (UNO ON DRAWINGS) AND SHALL BE TESTED IN STANDARD 6" x 12" CYLINDERS AT 7 AND 28 DAYS (MINIMUM).
- 3. CALCIUM CHLORIDE SHALL NOT BE PERMITTED. NO ADMIXTURES THAT CONTAIN CALCIUM CHLORIDE WILL BE PERMITTED.

#8 BAR AND SMALLER

- 4. REINFORCING STEEL SHALL BE OF ASTM GRADE REQUIRED IN SECTION 1 WITH DEFORMATIONS COMPLYING WITH ASTM, A615 LATEST EDITION. DEFORMATIONS OR OTHER SYMBOL ROLLED INTO BAR AT MILL SHALL CLEARLY INDICATE THE GRADE OF STEEL
- 5. PLACING REINFORCEMENT: INSTALL REINFORCEMENT IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS", ACI 318, AND THE FOLLOWING MINIMUM CLEARANCES: CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3" CLR CVR CONCRETE EXPOSED TO EARTH AND WEATHER:
 - #6 BAR AND LARGER 2" CLR COVER 1 1/2" CLR COVER #5 AND SMALLER CONCRETE NOT EXPOSED TO EARTH AND WEATHER OR IN CONTACT WITH GROUND: #9 BAR AND LARGER 1 1/2" CLR COVER
- 6. PRECAST CONCRETE CUBES, WIRE CHAIRS, PLASTIC CHAIRS, OR SAND PLATE CHAIRS SHALL BE USED FOR THE SUPPORT OF REINFORCING ON GRADE. CLAY MASONRY BRICK SHALL NOT PERMITTED FOR USE AS REINFORCING SUPPORT.

1" CLR COVER

- 7. CONCRETE SHALL BE DISCHARGED AT THE SITE WITHIN 1-1/2 HOURS AFTER WATER HAS BEEN ADDED TO THE CEMENT AND AGGREGATES. ADDITION OF WATER TO THE MIX AT THE PROJECT SITE WILL NOT BE PERMITTED. ALL WATER MUST BE ADDED AT THE BATCH PLANT. SLUMP MAY BE ADJUSTED ONLY THROUGH THE USE OF ADDITIONAL WATER REDUCING ADMIXTURE OR HIGH RANGE WATER REDUCING ADMIXTURE.
- 8. HOT WEATHER CONCRETING: FOLLOW ACI 305 "HOT WEATHER CONCRETING" WHEN MAXIMUM DAILY TEMPERATURE EXCEEDS 85 F, OR RAPID DRYING CONDITIONS EXIST; EVAPORATION RATE >.15LB/SF/HR PER FIGURE 2.1.5 OF ACI 305.
- 9. COLD WEATHER CONCRETING: FOLLOW ACI 306 "COLD WEATHER CONCRETING" WHEN FREEZING CONDITIONS APPLY OR MEAN DAILY TEMPERATURE FALLS BELOW 40 DEG. F.
- 10. WELDED WIRE FABRIC SHALL BE FLAT SHEETS ONLY, CONFORM TO ASTM A185, LAP 6" MINIMUM AND SHALL BE POSITIONED AT MID HEIGHT OF SLAB THICKNESS.

11. SPLICES: LAP CONTINUOUS REINFORCING PER TABLE BELOW. IN GROUPS OF PARALLEL BARS, SPLICES SHALL BE STAGGERED. SPLICES INDICATED ARE 'CLASS B' PER ACI 318.

	TOP I	BARS	OTHE	R BARS		
SIZE	SPLICE	EMBED.	SIZE	SPLICE	EMBED.	
#3	24"	19"	#3	19"	15"	
#4	32"	25"	#4	25"	19"	
#5	40"	31"	#5	31"	24"	
#6	48"	37"	#6	37"	29"	
#7	70"	54"	#7	54"	42"	
#8	88"	67"	#8	68"	52"	
#9	94"	72"	#9	73"	56"	
#10	106"	81"	#10	81"	62"	
#11	125"	96"	#11	97"	74"	

- 14. TERMINATE NON-CONTINUOUS BARS WITH A STANDARD HOOK IN ACCORDANCE WITH ACI IF DEVELOPMENT LENGTH CANNOT BF OBTAINED
- 15. REINFORCING CALLED ON A CERTAIN PORTION OF THE BUILDING IS TYPICAL FOR ALL SIMILAR PORTIONS OF THE BUILDING, UNLESS NOTED OTHERWISE. 16. OPENINGS IN ELEVATED SLABS, BEAMS, COLUMNS, OR WALLS SHALL NOT BE PERMITTED UNLESS SHOWN ON THE
- STRUCTURAL DRAWINGS OR APPROVED BY ENGINEER PRIOR TO PLACING CONCRETE. OPENINGS NOT SHOWN ON STRUCTURAL BUT REQUIRED FOR MECHANICAL. PLUMBING, OR ARCHITECTURAL MUST BE CONFIRMED WITH STRUCTURAL ENGINEER. CUTTING HOLES THROUGH BEAMS OR COLUMNS SHALL NOT BE PERMITTED
- 17. SLABS ON GRADE MAY BE POURED AS A CONTINUOUS SCREEDED POUR WITH SAW CUT (TOOLED JOINTS FOR IN-FLOOR RADIANT HEATING) CONTROL JOINTS AT SPACING AS SHOWN ON PROJECT DRAWINGS OR WHERE DETERMINED BY FIBER REINFORCING MFR'S REPRESENTATIVE PRIOR TO POUR. DO NOT EXCEED 5,000 SF IN EACH POUR UNLESS DISCUSSED IN PRE-POUR MEETING (PRE-INSTALLATION CONFERENCE). SAW CUTS TO BE MADE WITHIN 6 HOURS OF POUR (4 HOURS IS PREFERRED). IF JOINT SPACING IS NOT INDICATED, ASSUME 10'-0" TO 12'-0" SPACING FOR SLABS UP TO 5" THICK, AND 15'-0" MAXIMUM FOR ANY SLAB GREATER THAN 5".
- 18. ALL CONCRETE ACCESSORIES SUCH AS CHAIRS, TIES, ETC., WHICH COME IN CONTACT WITH FORMWORK ON EXPOSED CONCRETE SHALL BE GALVANIZED OR PLASTIC COATED.
- 19. PROVIDE BOND BREAKER MATERIAL WHERE SLABS ABUT WALLS, COLUMNS AND OTHER VERTICAL SURFACES.
- 20. PROVIDE CONSTRUCTION JOINTS IN ALL CONTINUOUS FOOTINGS AND WALLS IN ACCORDANCE WITH ACI 318. ALL HORIZONTAL REINFORCING SHALL BE CONTINUOUS THROUGH JOINT. PROVIDE LAP AS NOTED IN TABLE IN C-1.
- 21. SEE ARCHITECTURAL DRAWINGS FOR FLOOR SLAB SEALING REQUIREMENTS.
- 22. CONCRETE MIXES: REFER TO "CONCRETE MIX DESIGN MATRIX", THE FOLLOWING MAX AND MIN VALUES ARE TO BE USED AS GUIDELINES FOR PROVIDING CONCRETE THAT MEETS THE STRENGTH AND FINISH REQUIREMENTS OF THE CONCRETE FOR EACH USE. EXACT VALUES OF EACH ARE TO BE DETERMINED BY THE SUPPLIER & COORDINATED WITH THE CONCRETE CONTRACTOR AND GENERAL CONTRACTOR (OR CM) FOR EACH SPECIFIC USE WITH THE GIVEN CONDITIONS, ADMIXTURES, ETC.

CONCRETE MIX DESIGN MATRIX								
EXPOSURE MIN COMP MAX CEMENT MAX WEIGHT CLASS STRENGTH W/C RANGE AGG AIR								
CONCRETE USAGE	TYPE	(NOTE D)	28-DAYS	RATIO	(NOTE F)	SIZE	PCT	NOTES
FOOTINGS	NW	F1, C1	4,000 PSI	0.5	0-60%	1"	4 1/2%	NOTE A
PIERS & FOUNDATION WALLS	NW	F1, C1	4,000 PSI	0.5	0-60%	1"	5%	NOTE A
INTERIOR SLAB-ON-GROUND	NW	F0, C0	3,500 PSI	0.5	0-50%	1 1/2"	-	NOTE C, E
EXTERIOR SLAB-ON-GROUND	NW	F2, C2	4,000 PSI	0.45	0-25%	1 1/2"	6%	NOTE A, E

NOTES A. CONCRETE PERMANENTLY EXPOSED TO FREEZE / THAW CYCLES SHALL BE AIR ENTRAINED FOR THE DESIGNATED AMOUNT WITH A TOLERANCE OF PLUS OR MINUS 1-1/2%.

- B. ALL OTHER CONCRETE USED ON THE PROJECT ONLY REQUIRE AIR ENTRAINMENT IF IT IS PERMANENTLY EXPOSED TO FREEZE / THAW. CONDITIONS VARY. C. DO NOT USE AN AIR ENTRAINING ADMIXTURE OR ALLOW TOTAL AIR CONTENT TO EXCEED 3% FOR CONCRETE WITH TROWELED
- FINISHES D. CONCRETE SHALL BE PROPORTIONED TO COMPLY WITH ACI 318-14 TABLES 19.3.1.1 AND 19.3.2.1 BASED ON EXPOSURE CLASS.
- THE STRICTER REQUIREMENTS SHALL APPLY BETWEEN ACI 318 AND THE MATRIX ABOVE.
- E. MIN CEMENTITIOUS CONTENT FOR FLOORS SHALL BE 470 PCY, 520 PCY, 540 PCY FOR 1 1/2", 1", 3/4" MAX AGGREGATE SIZE RESPECTIVELY.
- PROVIDE CEMENT REPLACEMENT MATERIALS (FLY ASH, SLAG, AND/OR SILICA FUME) WITHIN THE RANGES LISTED IN THE MATRIX ABOVE. REFER TO THE CONCRETE SPECIFICATIONS FOR ALLOWABLE PRODUCTS.



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GENERAL NOTES

30"

- D. MASONRY REFERENCES: ALL MASONRY CONSTRUCTION SHALL CONFORM TO THE FOLLOWING STANDARDS (LATEST EDITION PER BUILDING CODE): ACI 530/ASCE 5/TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530.1/ASCE 6/TMS 602 "SPECIFICATIONS FOR MASONRY STRUCTURES"
- 2. ALL CELLS AND BOND BEAMS CONTAINING REINFORCING SHALL BE FULLY GROUTED.

#7

- 3. ALL CELLS BELOW EXTERIOR GRADE SHALL BE GROUTED SOLID UNLESS SPECIFICALLY DETAILED OTHERWISE ON DRAWINGS.
- 4. WALLS AND PIERS SHALL BE GROUTED IN 4'-0" MAXIMUM LIFTS. HIGH LIFT GROUTING MAY BE USED WITH PROPER CLEAN-
- OUTS AND IN ACCORDANCE WITH CODE REQUIREMENTS. NOTIFY ENGINEER PRIOR TO USING HIGH LIFT GROUTING. 5. ALL TYPICAL VERTICAL WALL REINFORCEMENT SHALL BE LOCATED AT THE CENTER OF THE MASONRY WALL UNLESS NOTED OTHERWISE. PROVIDE BAR POSITIONERS (48" OC AND TOP & BOTTOM) FOR REINFORCEMENT NOT TIED. LAP TYPICAL WALL REINFORCEMENT PER THE FOLLOWING SCHEDULE (BASED ON IBC 2009 2107.3): BAR SIZE LAP BAR SIZE LAP #4 #6
- #5 30" #7 42" 6. PROVIDE HORIZONTAL REINFORCEMENT AT BOND BEAMS INDICATED ON PLAN AND MATCHING LAPPED CORNER BARS, LAP PER NOTE 5.
- 7. ALL VERTICAL PIER REINFORCEMENT SHALL BE THE SIZE AND QUANTITY INDICATED ON PLAN. PROVIDE HALF THE QUANTITY ON EACH FACE OF WALL WITH 2-1/2" MASONRY COVER FOR PIERS REQUIRING TWO BARS PER CORE. FOR PIERS WITH ONE BAR PER CORE, SEE NOTE 4-5. PIER REINFORCEMENT LAP LENGTH SHALL BE THE MINIMUM INDICATED IN THIS SCHEDULE (BASED ON IBC 2009 2107.3 & ACI 318): BAR SIZELAPBAR SIZELAF#424"#646" #4
- #5 8. JOINT REINFORCEMENT: PROVIDE STANDARD GALVANIZED TRUSS TYPE OR LADDER TYPE REINFORCEMENT FABRICATED OF 9 GA. MINIMUM WIRE DIAMETER (DUR-O-WALL OR EQUAL), AT EVERY SECOND BLOCK COURSE (16" OC VERTICALLY), IN ALL WALLS UNLESS NOTED OTHERWISE. INSTALL REINFORCEMENT IN THE FIRST AND SECOND BED JOINTS (8" OC), IMMEDIATELY ABOVE AND BELOW ALL OPENINGS EXTEND REINFORCEMENT 2'-0" BEYOND THE EDGE OF OPENINGS.

53"

- 9. ALL MASONRY WALLS ARE TO BE BRACED IN ACCORDANCE WITH OSHA GUIDELINES AND "THE STANDARD PRACTICE FOR BRACING MASONRY WALLS UNDER CONSTRUCTION" TO WITHSTAND LOCAL WIND LOADS INDICATED IN COMPONENTS AND CLADDING IN NOTE 1-5 DESIGN DATA.
- 10. PROVIDE POCKETS IN MASONRY WALLS FOR STEEL BEAMS AND COLUMN BASE PLATES WHERE REQUIRED. BACK PATCH WITH CONCRETE UNO
- 11. IN MASONRY BEARING WALLS, NO CHASES, RISERS, CONDUIT OR TOOTHING OF MASONRY SHALL OCCUR WITHIN 2'-0" OF CENTERLINE OF BEAM BEARING OR LOAD CONCENTRATION.
- 12. WHERE SINGLE WYTHE OR COMPOSITE (GROUTED COLLAR JOINT) MASONRY REQUIRES CORBELING, PROVIDE SOLID MASONRY OR SOLID GROUTED MASONRY IN THE LOCATION OF THE LARGER COURSE AT EACH JOINT WHERE THE TRANSITION OCCURS. IF THE LARGER COURSE IS ABOVE THE TRANSITION JOINT, A BOND BEAM WITH (2) #4 CONTINUOUS SHALL BE USED. PROVIDE BOND BEAMS WHERE NOTED ON PLAN OR DETAIL.
- 13. CONTROL JOINTS IN LOAD BEARING MASONRY: LOCATE AT MAXIMUM SPACING OF 24'-0" OC AND 12'-0" MAXIMUM FROM BUILDING CORNERS (UNLESS SPECIFICALLY SHOWN ON ARCHITECTURAL DRAWINGS.) INTERIOR LOAD BEARING WALL CONTROL JOINT SPACING SHOULD NOT EXCEED 32'-0" OC AND WHERE THEY INTERSECT WITH EXTERIOR WALLS.
- 14. SEE ARCHITECTURAL DRAWINGS FOR ALL LOCATIONS OF GROUTED MASONRY NOT REQUIRED FOR STRUCTURAL DESIGN CONSIDERATIONS. LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO FLASHING AND SMALL OPENINGS. LOCATIONS SHOWING GROUTING ON ARCHITECTURAL DRAWINGS BUT NOT ON STRUCTURAL DRAWINGS ARE REQUIRED. SEE ARCHITECTURAL FOR ALL FLASHING NEEDS.
- 15. WHEN GROUTING OPERATIONS ARE SUSPENDED FOR 1 HOUR OR LONGER, HORIZONTAL CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING GROUT POUR A MINIMUM OF 1/2" BELOW THE TOP OF THE UPPERMOST GROUTED MASONRY UNIT.
- 16. MASONRY VENEER ANCHORS: 2 PIECE ANCHORS THAT PERMIT DIFFERENTIAL MOVEMENT BETWEEN MASONRY VENEER AND STRUCTURAL BACKUP, HOT DIP GALVANIZED TO ASTM A153/A153M, CLASS B-2.
- E. STRUCTURAL AND MISC. STEEL REFERENCES: STRUCTURAL STEEL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING STANDARDS AND AS NOTED: AISC - "SPECIFICATIONS FOR THE DESIGN. FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"
- AISC "STEEL CONSTRUCTION MANUAL- 14th EDITION" AWS - "STRUCTURAL WELDING CODE - STEEL"
- SSPC "STEEL STRUCTURES PAINTING MANUAL", VOLUME 1 AND 2 AISC - "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"
- 2. STRUCTURAL STEEL TO BE STRENGTH SPECIFIED. ALL FIELD CONNECTIONS FOR MAIN MEMBERS SHALL BE MADE WITH MINIMUM 3/4" DIAMETER HIGH STRENGTH BOLTS (SEE SECTION 1-6) UNO AND SHALL BE DESIGNED FOR 60% OF THE TOTAL CAPACITY OF THE BEAM FOR THE SIZE AND SPAN INDICATED IN ACCORDANCE WITH AISC STEEL CONSTRUCTION MANUAL PART 3. MINIMUM BEAM CONNECTIONS SHALL NOT BE LESS THAN THOSE INDICATED IN PART 7 FOR THE GIVEN BEAM DEPTH, BOLT SIZE, AND WELD SPECIFICATION. NO BOLTED CONNECTIONS SHALL HAVE FEWER THAN 2 BOLTS UNLESS SPECIFICALLY SHOWN ON DRAWINGS. FIELD WELDING IN LIEU OF BOLTS TO BE USED ONLY WITH APPROVAL OF ENGINEER.
- 3. STEEL BEAMS SHALL BEAR A MINIMUM OF 8" ON MASONRY, UNLESS NOTED OTHERWISE.
- 4. STEEL CONTRACTOR TO PUNCH HOLES IN STEEL MEMBERS FOR ARCHITECTURAL CONNECTIONS. REFER TO ARCHITECTURAL PLANS.
- 5. FINISH ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO WEATHER AS NOTED IN SPECIFICATIONS. STEEL PERMANENTLY EXPOSED TO EARTH SHALL BE PAINTED WITH ONE COAT ASPHALTIC PAINT, MINIMUM, AFTER ERECTION. STRUCTURAL STEEL EXPOSED TO WEATHER OR OUTSIDE OF CONDITIONED SPACES SHALL BE GALVANIZED, UNO.
- 6. ALL FIELD WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER.
- 7. ALL FIELD WELDS LONGER THAN 4" SHALL BE SKIP WELDED IN 4" INCREMENTS UNTIL SPECIFIED WELD LENGTH IS ACHIEVED. 8. PROVIDE ONE COAT MINIMUM OF PRIMER (RED OXIDE OR GRAY) IN SHOP. DO NOT PAINT SURFACES TO BE IN CONTACT WITH
- CAST-IN-PLACE CONCRETE OR SPRAY-ON FIRE PROOFING, TO BE WELDED, OR TO RECEIVE WELDED HEADED SHEAR STUDS. 9. ALL STRUCTURAL STEEL MUST BE ERECTED PLUMB AND SQUARE PER THE REQUIREMENTS OF AISC UNLESS NOTED OTHERWISE ON SPECIFIC LOCATIONS INDICATED ON THE DRAWINGS. GENERAL CONTRACTOR AND STEEL ERECTOR ARE
- RESPONSIBLE FOR COORDINATING THESE REQUIREMENTS WITH AISC, OSHA, AND ALL OTHER GOVERNING AUTHORITIES (LISTED OR NOT LISTED IN THESE DOCUMENTS). 10. GROUT: ASTM C1107/C1107M; NON-SHRINK; PREMIXED COMPOUND CONSISTING OF NON-METALLIC AGGREGATE, CEMENT,
- WATER REDUCING AND PLASTICIZING AGENTS. • 1. MINIMUM COMPRESSIVE STRENGTH AT 48 HOURS: 2,000 POUNDS PER SQUARE INCH. • 2. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: 7,000 POUNDS PER SQUARE INCH.

2" LAP

- E-1. METAL DECKING REFERENCES: STEEL DECK CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING STANDARDS AND AS MODIFIED HEREIN: SDI "DESIGN MANUAL FOR COMPOSITE DECKS, FORM DECKS, ROOF DECKS CELLULAR METAL FLOOR DECK AND ELECTRICAL DISTRIBUTION SDI "SPECIFICATION AND COMMENTARY FOR STEEL ROOF DECK"
- 2. ROOF DECK: COMPLY WITH SDI "ROOF DECK SPECIFICATIONS", OF METAL THICKNESS, WIDTH AND DEPTH INDICATED ON PLAN SHEETS. PROVIDE GALVANIZED G-60 FINISH, UNLESS NOTED ON PLAN.
- DECK LAPS: ROOF DECKING
- 4. SECURE ROOF DECK UNITS AT SIDELAPS AND FASTEN SIDELAPS AS INDICATED ON PLAN. VARIATIONS FROM PLAN-INDICATED FASTENING MUST BE APPROVED BY ENGINEER. SHEAR AND UPLIFT FORCES FOR ALTERNATE SYSTEMS MUST EXCEED SPECIFIED FASTENING.
- 5. ALL METAL DECK EXPOSED TO WEATHER, CAST-IN-PLACE CONCRETE, OR SPRAY-ON FIREPROOFING SHALL BE GALVANIZED (G-90 FINISH UNO)
- 6. ROOF DECKING FASTENING SHALL BE PROVIDED TO RESIST A NET UPLIFT LOAD AS INDICATED ON THE COMPONENTS AND CLADDING DIAGRAM MINUS THE SELF-WEIGHT OF THE DECK AND 5 PSF SUPERIMPOSED DEAD LOAD OR AS INDICATED ON THE DRAWINGS.
- 7. WELD DECK IN ACCORDANCE WITH AWS D1.3/D1.3M

H. ANCHORAGE APPLICATION, AND MATERIALS.

NOTED OTHERWISE ON DRAWINGS.

- UNLESS CONDITION IS NOTED ON THE DRAWINGS. B. HILTI HIT-RE 500 V3 (ICC-ES ESR 3814)
- PRINTED INSTALLATION INSTRUCTIONS.

- FOLLOWING: EXPANSION ANCHORS: HILTI KWIK BOLT TZ2 (ICC-ES ESR 1917)

1. ALL FIELD INSTALLED EXPANSION AND ADHESIVE ANCHORS SHALL BE APPROVED FOR THE TYPE AND INSTALLATION, FOR ITS

2. ALL PERSONNEL INSTALLING ADHESIVE/MECHANICAL ANCHORS SHALL BE TRAINED BY THE MANUFACTURER ON PROPER INSTALLATION TECHNIQUE. TRAINING DOCUMENTATION SHALL BE AVAILABLE UPON REQUEST. 3. MINIMUM ANCHOR EMBEDMENT, EDGE DISTANCE AND MINIMUM SPACING ARE PER MANUFACTURER'S REQUIREMENTS UNLESS

4. ADHESIVE FOR REINFORCING DOWELS IN EXISTING CONCRETE SHALL CONFORM TO ASTM C881-02, TYPE IV, GRADE 3, CLASS A, B, & C EXCEPT GEL TIMES AND EPOXY CONTENT. ADHESIVE SHALL CONSIST OF A TWO COMPONENT ADHESIVE SYSTEM CONTAINED IN SIDE BY SIDE PACKAGING CONNECTED TO A MIXING NOZZLE WHICH THOROUGHLY MIXES THE COMPONENTS AS IT IS INJECTED INTO THE HOLE. ADHESIVE SHALL HAVE PASSED ICC EVALUATION SERVICES, INC (ICC-ES) ACCEPTANCE CRITERIA 308 FOR LONG TERM CREEP. REINFORCING INSTALLED IN CONCRETE THAT MAY BECOME CRACKED UNDER SERVICE LOADS SHALL BE EVALUATED BY ICC ES ACCEPTANCE CRITERIA 308 AND BE SPECIFICALLY APPROVED FOR USE IN CRACKED CONCRETE. CONTACT DESIGN PROFESSIONAL FOR DETERMINATION OF CRACKED OR UNCRACKED CONCRETE CONDITION

 ADHESIVE ANCHORS IN CONCRETE (OR SOLID CMU AS NOTED): A. HILTI HIT-HY 200 V3 (ICC-ES ESR 3187) - (SOLID CMU)

ADHESIVE ANCHORS IN HOLLOW CMU OR PRECAST: HILTI HIT-HY 270 (ICC-ES ESR 4143)

5. PLACE POST-INSTALLED ANCHORS TO AVOID CONFLICTS WITH EXISTING REBAR AND EMBEDMENTS.

6. DRILL & PREPARE HOLES AND INSTALL ANCHORS IN ACCORDANCE WITH EVALUATION REPORTS AND MANUFACTURER'S

7. POST-INSTALLED ANCHORS SHALL BE INSPECTED BY A QUALIFIED SPECIAL INSPECTOR IN ACCORDANCE WITH THE PROJECT STATEMENT OF SPECIAL INSPECTIONS AND THE EVALUATION REPORT. UNLESS OTHERWISE NOTED IN THE EVALUATION REPORT, THE SPECIAL INSPECTOR SHALL INSPECT THE INITIAL INSTALLATION OF EACH TYPE OF ANCHOR AND PERIODICALLY INSPECT INSTALLATIONS THEREAFTER.

. MECHANICAL ANCHORS SHALL HAVE BEEN EVALUATED BY THE ICC EVALUATION SERVICES, INC. (ICC-ES) WITH A PUBLISHED EVALUATION REPORT. ANCHORS INSTALLED IN CONCRETE THAT MAY BECOME CRACKED UNDER SERVICE LOADS SHALL BE EVALUATED BY ICC-ES ACCEPTANCE CRITERIA 193 AND BE SPECIFICALLY APPROVED FOR USE IN CRACKED CONCRETE. CONTACT DESIGN PROFESSIONAL FOR DETERMINATION OF THE CONCRETE CONDITION UNLESS NOTED ON THE DRAWINGS. ALL ANCHORS SHALL BE APPROVED FOR RESISTING WIND AND SEISMIC LOADING. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ACCEPTABLE EXPANSION ANCHORS FOR USE IN CONCRETE INCLUDE THE

SCREW ANCHORS: HILTI KWIK HUS-EZ (ICC-ES ESR 3027)



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- WITH STRUCTURAL FASTENERS; NOT A STRUCTURAL SUPPORTS SHALL BE



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PROJECT MANAGER	MVL
PROJECT NUMBER	924446
FOUNDATION P FRAMING PLAN, DETAILS	LAN,
S1	01



B1 FRAMING DETAIL AT CANOPY EDGE



FR-BEARING PLATE DETAIL

BEAM -MASON OR FULLY-GROUT -BEAM POCKETS AFTER BEAMS ARE SET BEARING PLATE -BOND BEAM COURSE. LOCATE DIRECTLY BELOW BEARING PLATE, REINF. W/ (2) #5 BARS ELEVATION

2

TYPICAL BEARING PLATE DETAILS









TYPICAL CMU VERTICAL BAR DEVELOPMENT AND LAP SPLICE LENGTHS

	8" CMU
BAR SIZE	1 BAR/CELL
#3	16
#4	21
#5	27
#6	51
#7	63
#8	72
#9	NP

<u>NOTES</u> ALL DEVELOPMENT AND LAP SPLICE LENGHTS ARE IN INCHES.

THIS TABLE SHALL BE USED FOR ALL REINFORCED CMU WALLS, PILASTERS, AND COLUMNS UNLESS NOTED OTHERWISE IN DETAILS. INCREASE TABULATED VALUES BY 50% FOR EPOXY COATED REINFORCEMENT.

4. WITH APPROVAL BY THE ENGINEER, WELDED SPLICES AND MECHANICAL SPLICES DEVELOPING AT LEAST 125% OF THE YIELD STRENGTH. Fy, OF THE BAR MAY BE SUBSTITUTED IN SOME LOCATIONS.

5. WHEN LAP SPLICING BARS OF DIFFERENT SIZES, THE LAP LENGTH IS DETERMINED BY THE SMALLER BAR. 6. REFER TO "TYPICAL CMU VERTICAL BAR PLACEMENT" FOR BAR POSITIONING IN CELLS.

MASONRY WALL SCHEDULE							
	STRUCTURAL		REINFO	DRCING			
MARK	USAGE	THICKNESS	VERTICAL	HORIZONTAL	REMARKS		
M8-1	Bearing	8"	#5 AT 32" O.C.		STACK BOND CMU		

CMU LINTEL SCHEDULE										
MARK	MARK LINTEL BEARING LENGTH REMARKS									
L-1	8" x 8" CMU LINTEL W/ (2) #5 BOT	8"	SEE DETAIL C3/S102							
L-2	8" x 16" CMU LINTEL W/ (2) #5 BOT	16"	SEE DETAIL C2/S102							



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SHEET INFORMATION

PROJECT MANAGER MVL PROJECT NUMBER 924446



074293 SOFFIT PANELS

PART 1 - GENERAL A. PROVIDE SHOP DRAWINGS: 1. INCLUDE FABRICATION AND INSTALLATION LAYOUTS OF METAL PANELS; DETAILS OF EDGE CONDIGIONS, ANCHORAGES, ATTACHMENT SYSTEM, TRIM, FLASHINGS, CLOSURES AND ACCESSORIES, AND SPECIAL D SAMPLES REQUIRED FOR VERIFICATION: 1. METAL PANEL EXPOSED FINISH WARRANTY: MANUFACTURER'S STANDARD.

- PART 2 PRODUCTS A. FLUSH PROFILE METAL SOFFIT PANELS: SOLID PANELS FORMED WITH VERICAL PANEL EDGES AND FLAT PAN BETWEEN EDGES; WITH FLUSH JOINGS BETWEEN PANELS. 1. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: a. ATAS b. CENTRIA c. FABRAL
- d. PAC-CLAD 2. ALUMINUM SHEET: COIL-COATED SHEET, ASTM B209, ALLOY AS STANDARD WITH MANUFACTURER, WITH TEMPER AS REQUIRED TO SUIT FORMING OPERATIONS AND STRUCTURAL PERFORMANCE REQUIRED. a. THICKNESS: 0.040 INCH
- b. SURFACE: SMOOTH, FLAT FINISH. c. EXTERIOR FINISH: THREE-COAT FLUOROPOLYMNER d. COLOR: MATCH EXISTING. CONFIRM WITH ARCHITECT.
- 3. PANEL COVERAGE: 12 INCHES 4. PANEL HEIGHT: 1.0 INCH

1

S, JOINTS, PANEL PROFILES, CORNERS, DETAILS.	

084113 ALUMINUM FRAMED ENTRANCES & STOREFRONTS

A. PROVIDE SHOP DRAWINGS FOR: FOR ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS. INCLUDE PLANS, ELEVATIONS, SECTIONS, FULL-SIZE DETAILS, AND ATTACHMENTS TO OTHER WORK. . NO SAMPLES REQUIRED. DELEGATED DESIGN SUBMITTAL: FOR ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS INCLUDING ANALYSIS DATA SIGNED AND SEALED BY THE QUALIFIED PREFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPERATION. WARRANTY: MANUFACTURER'S STANDARD.

PART 2 - PRODUCTS A. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: KAWNEER 2. OLDCASTLE

WAUSAU WINDOWS 4. YKK AP AMERICA INC . BASIS OF DESIGN:

PART 1 - GENERAL

EXTERIOR STOREFRONT: KAWNEER 451T a. DARK BRONZE FINISH

b. CENTER SET 2. STOREFRONT DOORS: KAWNEER 500 STANDARD a. DARK BRONZE FINISH



B3010-01	
ROOF MEMBRANE	
BOARD INSULATION	SLOPE PER ROOF PLAN
METAL ROOF DECK	
NOTES	

B2010-03

METAL COMPOSITE MATERIAL WALL PANEL
BOARD INSULATION W/ 'Z' CLIPS
AIR BARRIER & WATER-RESISTIVE VAPOR RETARDER
EXTERIOR SHEATHING BOARD
COLD-FORMED METAL FRAMING

NOTES

088000 GLAZING

1. PRODUCT DATA: FOR EACH TYPE OF PRODUCT 3. SAMPLES REQUIRED FOR VERIFICATION:

1. MANUFACTURER'S SPECIAL WARRANTY FOR COATED, LAMINATED AND INSULATED PRODUCTS. PERIOD 10 YEARS FROM SUBSTANTIAL

1. SOURCE LIMITATION: OBTAIN GLASS FROM SINGLE SOURCE FROM SINGLE MANUFACTURER.

- 1. FULLY TEMPERED FLOAT GLASS: ASTM C1048, KIND FT 2. REFELCTIVE AND LOW-E-COATED VISION GLASS: ASTM C1376
- a. BASIS OF DESIGN: VITRO SOLARBAN 60 BRONZE LOW-E WITH ARGON b. OVERALL UNIT THICKNESS: 1 INCH

c. SUMMERTIME U-FACTOR: 0.24 MAXIMUM d. SHGC: 0.32 MAXIMUM

A. EXAMINE FRAMING, GLAZING CHANNELS, AND STOPS WITH INSTALLER PRESENT FOR COMPLAINCE WITH THE FOLLOWING: 1. MANUFACTURING AND INSTALLATION TOLERANCES, INCLUDING THOSE FOR SIZE, SQUARENESS, AND OFFSETS AT CORNERS. 2. PRESENCE OF FUNCTIONING WEEP SYSTEMS. 3. MINIUMUM REQUIRED FACE AND EDGE CLEARANCES.

4. EFFECTIVE SEALING BETWEEN JOINTS OF GLASS FRAMING MEMBERS.

CONSTRUCTION NOTES

- ALL WORK OF THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING LAWS, CODES, ORDINANCES, RULES AND REGULATIONS OF THE VILLAGE, COUNTY, STATE AND GENERAL JURISDICTION
- B. THE DRAWINGS ARE NOT TO BE SCALED.
- MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.
- . THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK. ALL PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE SEALED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS AND SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING CONSTRUCTION.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PATCHING OF DISTURBED EXISTING CONDITIONS REQUIRED TO MAINTAIN FIRE RATINGS. FIELD VERIFICATION OF EXISTING CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CHANGE ORDERS FOR THIS TYPE OF WORK WILL NOT BE HONORED.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL BUILT-IN EQUIPMENT PRIOR TO PERFORMING WORK.
- CONTRACTOR SHALL PROVIDE FIRE-TREATED BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES AND OTHER DEVICES.
- PENETRATIONS IN WALLS REQUIRING PROTECTED OPENINGS SHALL BE FIRESTOPPED USING UL TESTED OR EQUIVALENT TESTING AGENT MATERIALS.
- METHODS AND ASSEMBLIES AND MUST PASS LOCAL AUTHORITY INSPECTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS
- OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.

KEYNOTES PER SHEET

0420-01	CONCRETE MASONRY UNITS
0531-01	METAL ROOF DECK
0540-01	COLD-FORMED METAL FRAMING
0721-10	BOARD INSULATION
0725-01	AIR BARRIER & WATER-RESISTIVE VAPOR RETARDER
0742-02	METAL COMPOSITE MATERIAL WALL PANEL
0753-01	ROOF MEMBRANE
0753-06	BOARD INSULATION
0921-03	EXTERIOR SHEATHING BOARD



B2010-02

NOTES

-	3"	7 5/8"

1'-4"

B2010-01	1'-4" 3" 7 5/8"
SPLIT FACE CMU	
BOARD INSULATION	
AIR BARRIER & WATER-RESISTIVE VAPOR RETARDER	
CONCRETE MASONRY UNITS	

NOTES

SEE SPECIFICATIONS FOR TREATMENT OF CAVITY BOARD INSULATION JOINTS

SEE SPECIFICATIONS FOR TREATMENT OF CAVITY BOARD INSULATION JOINTS

SEE SPECIFICATIONS FOR TREATMENT OF CAVITY BOARD INSULATION JOINTS



PROJECT INFORMATION

Belmark Plant 5 -Vestibule

b 675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

DATEDESCRIPTION10/22/2024CONSTRUCTION DOCUMENTS

KEY PLAN

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SHEET INFORMATION









							D	OOR	AND	FR/	۱M	E S	CHE	DU	LE						
				DOOR				SID	ELITE & T	RANSON				FR/	AME						
L H		SIZ	ΖE						SIZE							DETAIL					
MB	LEAF							SL	SL SILL	TRNS								HDWE	RATING		
NN N	QTY	WIDTH	HGT	TYPE	MAT	FIN	GL	WIDTH	HGT	HGT	GL	TYPE	MAT	FIN	HEAD	JAMB	SILL	TAG	(MIN)	REMARKS	
WAREHOUSE	E FLR																				
101-1	1	3'-2"	7'-2"	FG-A	ALUM	ANOD.							ALUM	ANOD.	A1/A102	A2/A103	A5/A103	AL1			
102-2	1	3'-0"	7'-2"	FG-A	ALUM	ANOD.						01	ALUM	ANOD.	B5/A103	A2/A103	A4/A103	AL2		1	



DIMENSION NOTES

WIDTH AND HEIGHT AS SCHEDULED UNLESS NOTED OTHERWISE. ADDITIONAL DIMENSIONS AS SPECIFIED.

FG-A ALUMINUM FULL GLASS

DOOR TYPES 1/4" = 1'-0"

-\$≠=~ 01

DIMENSION NOTES

SIDELITE SILL HEIGHT, SIDELITE WIDTH, TRANSOM HEIGHT, DOOR HEIGHT AND DOOR WIDTH AS SCHEDULED UNLESS NOTED OTHERWISE.

FRAME TYPES 1/4" = 1'-0"







N (A5) 1ST FLR PLAN 1/4" = 1'-0" | A101

6



PROJECT INFORMATION

Belmark Plant 5 -Vestibule

b 675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

DATEDESCRIPTION10/22/2024CONSTRUCTION DOCUMENTS

KEY PLAN

SHEET INFORMATION







2













	KEYNOTES PER SHEET
120.05	

0420-05	TERMINATION BAR
0420-06	STAINLESS STEEL DRIP EDGE FLASHING
0420-07	CAVITY MORTAR CONTROL
0420-08	WEEP/ VENT
0610-04	WOOD BLOCKING/NAILER
0610-13	3/4" FIRE RETARDANT TREATED PLYWOOD
0610-15	FIRE RETARDANT TREATED WOOD PARAPET BLOCKING
0721-05	SPRAY-APPLIED POLYURETHANE FOAM INSULATION
0725-01	AIR BARRIER & WATER-RESISTIVE VAPOR RETARDER
0753-01	ROOF MEMBRANE
0753-10	COMPRESSIBLE TUBE
0762-02	PREFINISHED METAL COPING
0762-04	PREFINISHED METAL COUNTER FLASHING
0762-16	PREFINISHED METAL SCUPPER
0790-01	SEALANT
0790-02	BACKER ROD & SEALANT
0843-01	ALUMINUM-FRAMED STOREFRONT
B2010-01	SPLIT FACE CMU VENEER, AIR SPACE, RIGID INSULATION, AIR BARRIER, CMU
B2010-02	FLUTED CMU VENEER, AIR SPACE, RIGID INSULATION, AIR BARRIER, CMU
B2010-03	METAL PANEL, RIGID INSULATION W/ 'Z' CLIPS, AIR BARRIER, EXTERIOR SHEATHING, COLD-FORMED METAL FRAMING

D5 PARAPET AT CANOPY 1 1/2" = 1'-0" | A102



PROJECT INFORMATION

Belmark Plant 5 -Vestibule

D 675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

DATEDESCRIPTION10/22/2024CONSTRUCTION DOCUMENTS

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER	MVL
PROJECT NUMBER	924446



				FINISH SCHEDULE			
TYPE MARK	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	FINISH/ INSTALLATION	SIZE	COMMENT
CEILING							
PT-7	PAINT - DRYWALL CEILING	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC INTERIOR LATEX EG SHEL EXTRA WHITE	SW7010 WHITE DUCK	-	-	-
FLOORING							
LVT-1	LUXURY VINYL TILE	RI TO MARKET	URBAN 20 CLASSICS	TM 2809 MILAN	BRICK	12 x 24	NOTE: OWNER PROVIDED MATERIAL. DO NOT NEED TO ORDER.
WALL							
PT-1	PAINT - WALLS	SHERWIN WILLIAMS	PRIMER: PI HD BLOCK FILLER, FINISH: PI PRECAT SG EX WH	SW0037 MORRIS ROOM GREY	-	-	-
PT-2	PAINT - HM DOORS & FRAMES	SHERWIN WILLIAMS	PRIMER: PI PROCRYL PR OF W, FINISH: PI PRECAT SG EX WH	SW7020 BLACK FOX	-	-	-
WALL BASE							
VWB-1	VINYL WALL BASE	JOHNSONITE	VINYL COVE 1/8"	44 DARK BROWN	-	4"	-
			· · · ·				



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B5 WINDOW HEAD 1 1/2" = 1'-0" | A103

ALUMINUM-FRAMED____ STOREFRONT

BOARD INSULATION-

A5 WINDOW SILL AT STOOP 1 1/2" = 1'-0" | A103

WAREHOUSE FLR 99'-0"





3

WINDOW SILL 1 1/2" = 1'-0" | A103

4

KEYNOTES PER SHEET
TAINI ESS STEEL DRIP EDGE ELASHING

0420-06	STAINLESS STEEL DRIP EDGE FLASHING
0420-07	CAVITY MORTAR CONTROL
0420-08	WEEP/ VENT
0610-04	WOOD BLOCKING/NAILER
0721-05	SPRAY-APPLIED POLYURETHANE FOAM INSULATION
0721-10	BOARD INSULATION
0725-01	AIR BARRIER & WATER-RESISTIVE VAPOR RETARDER
0762-07	PREFINISHED METAL DRIP EDGE

0790-02 BACKER ROD & SEALANT 0843-01 ALUMINUM-FRAMED STOREFRONT













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PROJECT INFORMATION

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В

Belmark Plant 5 -Vestibule

D 675 Heritage Rd, De Pere, WI 54115

ISSUANCE AND REVISIONS

DATEDESCRIPTION10/22/2024CONSTRUCTION DOCUMENTS

KEY PLAN

SHEET INFORMATION

DETAILS FINISH	4
PROJECT NUMBER	924446
PROJECT MANAGER	MVL

BELMARK PLANT 5 PARKING LOT ADDITION CITY OF DE PERE



Owner: Belmark, Inc. Attn: Garrett Willems, Facilities Team Manager 600 Heritage Road — PO Box 5310 De Pere, WI, 54115 (920) 330-9789 garrétt.willems@belmark.com

Designer: McMahon Associates, Inc. Attn: Ron Wolf 1445 McMahon Drive Neenah, WI 5956 920-751-4200 rwolf@mcmgrp.com

Project Manager: The Boldt Company Attn: Tony Meeuwsen 3049 Ramada Way Suite 150 Green Bay, WI 54304 920-450-3255 tony.meeuwsen@boldt.com



Dial 🛺 or (800) 242-8511 www.DiggersHotline.com **BROWN COUNTY, WISCONSIN** MCM # B0039-09-24-00600





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WIS.

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DATE 10/30/24 PROJECT NO. B0039-09-24-00600

STANDARD ARREVIATIONS

	<u>STANDARD ADD</u>		
AC	ACRE	LT	LEFT
AGG ∆H	AGGREGATE		LENGTH OF VERTICAL CURVE
ASPH	ASPHALT PAVEMENT	MATL	MATERIAL
AVG	AVERAGE	MAX	MAXIMUM
B-B BEG	BACK TO BACK BEGIN	MIN	MANHOLE
BIT	BITUMINOUS	MP	MILE POST
BK	BACK	NB NO	NORTHBOUND NUMBER
BLDG	BUILDING	NOR	NORMAL
BM	BENCH MARK	OD	OUTSIDE DIAMETER
BOC	BACK OF CURB BEARING		PAVEMENT
C-C	CENTER TO CENTER	PC	POINT OF CURVATURE
CY	CUBIC YARD	PCC	PORILAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE
C&G	CURB AND GUTTER CATCH BASIN	PE	PRIVATE ENTRANCE
CE	COMMERCIAL ENTRANCE	PED	
CHD		PGL PI	PROFILE GRADE LINE POINT OF INTERSECTION
CL	CLASS (FOR CONC PIPE)	P/L	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PLE PP	PERMANENT LIMITED EASEMENT POWER POLE
CONC	CLEAN OUT CONCRETE	PRC	POINT OF REVERSE CURVATURE
CORR	CORRUGATED	PROP	PROPOSED
CP	CONTROL POINT	PSU PSI	PASSING SIGHT DISTANCE POUNDS PER SOUARE INCH
CS	CRUSHED CURB STOP	PT	POINT OF TANGENCY
CSW	CONCRETE SIDEWALK	PVC	POLYVINYL CHLORIDE OR
CTH	COUNTY TRUNK HIGHWAY	PVI	POINT OF VERTICAL CURVATURE
D	DEPTH OR DELTA	PVT	POINT OF VERTICAL TANGENCY
DI	DUCTILE IRON	R	RADIUS REINFORCED CONCRETE PIPE
DIA	DIAMETER	RD	ROAD
EA	EACH	REBAR	REINFORCEMENT ROD
EB	EASTBOUND		REMOVE
EBS	EXCAVATION BELOW SUBGRADE	REQ'D	REQUIRED
ELEV	ELEVATION	R/L	REFERENCE LINE
ELEC	ELECTRIC	RP	RADIUS POINT
EMB		RT	RIGHT
ENT	ENTRANCE	R/W	RIGHT-OF-WAY
EOR	END OF RADIUS	SB	SOUTHBOUND
EP	EDGE OF PAVEMENT	SE	SUPERELEVATION SQUARE FEET
EXC	EXISTING	SI	SLOPE INTERCEPT
EW	ENDWALL	STH	STATE TRUNK HIGHWAY
F-F	FACE TO FACE	SALV	SQUARE TARD SALVAGED
FE	FIELD ENTRANCE	SAN	SANITARY
FERT	FERTILIZER	SEC	SECTION
FG F/I		SHLDR S/L	SHOULDER SURVEY LINE
FT	FOOT	SQ	SQUARE
FTG	FOOTING	STA	STATION
GRAV		STO	STANDARD
GV	GAS VALVE	SW	SIDEWALK
HDPE	HIGH DENSITY POLYETHYLENE	TC	
	HIGHWAT EASEMENT HOT MIX ASPHALT	TEL	
HP	HIGH POINT	TLE	TEMPORARY LIMITED EASEMENT
HT		TV	TELEVISION
ID	INSIDE DIAMETER	UG	UNDERGROUND
IN	INCH	USH	U.S. HIGHWAY
		VAR	
IP	IRON PIPE	VERT	VERTICAL
JCT	JUNCTION	WB	WESTBOUND
LB	POUND	WM WV	WATER MAIN WATER VALVE
LF I P			
	GENERAL	<u>NOTES</u>	
1.	THE UTILITIES SHOWN IN PLAN AND PROFILE ARE RECORDS THE CONTRACTOR SHALL BE RESPONSIB	INDICATED IN ACC	ORDANCE WITH AVAILABLE
	ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRI	VATE UTILITIES, FF	ROM THE OWNERS OF THE
	RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NO	TIFIED 72 HRS. PF	RIOR TO EXCAVATION.
2.	PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL	L VERIFY PROPOSI	ED SITE GRADES BY FIELD
	CHECKING TWO (2) BENCHMARKS AND A MINIMUM PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOT	OF ONE (1) SITE TIFY MCMAHON OF	FEATURE AS SHOWN ON THESE ANY VERTICAL DISCREPANCY.
3.	THE PROPERTY LINES, RIGHT-OF-WAY LINES AND WERE DEVELOPED OR OBTAINED AS PART OF THE	OTHER PROPERTY COUNTY GEOGRAF	INFORMATION ON THIS DRAWING PHIC INFORMATION SYSTEM OR
	INFORMATION TO BE CORRECT, CURRENT OR COMP	LETE. THE PROPE	RTY AND RIGHT-OF-WAY
	INFORMATION ARE INTENDED FOR USE AS A GENER	RAL REFERENCE A	ND ARE NOT INTENDED OR
	SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO	THE CONTRARY O	F THE ABOVE STATED USES IS
	THE RESPONSIBILITY OF THE USER AND SUCH USE	IS AT THE USER	
4.	NO TREES OR SHRUBS ARE TO BE REMOVED WITH	OUT PRIOR APPRO	OVAL FROM THE OWNER.
5.	A SAWED JOINT IS REQUIRED WHERE NEW HMA PA	VEMENT MATCHES	EXISTING ASPHALTIC CONCRETE

6. ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

7. DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

SURFACE.

THIS PLAN SET WAS CREATED WITH CIVIL3D 2023. MCMAHON'S "DISCLAIMER FOR TRANSFER OF ELECTRONIC FILES" FORM NEEDS TO BE SIGNED IF A COPY OF THE ELECTRONIC FILES ARE REQUESTED. MCMAHON MAKES NO REPRESENTATION REGARDING THE COMPATIBILITY OF THESE FILES WITH OTHER SOFTWARE, NOR DOES MCMAHON REPRESENT THAT THE FILES WILL CONVERT TO OTHER SOFTWARE WITHOUT ERROR.

STANDARD SYMBOLS (PLAN VIEW ONLY)

2" IRON PIPE FOUND TELEPHONE CABLE – BURIED _____T____ 1 1/4" REBAR FOUND ELECTRIC CABLE – BURIED ------F-------1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET 1" (1.315 OD) IRON PIPE FOUND FIBER OPTIC CABLE – BURIED ------ FO------1" IRON PIPE SET GAS MAIN _____G_____ 3/4" IRON REBAR FOUND CABLE TELEVISION - BURIED _____ TV_____ 3/4" IRON PIPE FOUND 3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET — — — STREET C/L OR R/L MAG NAIL FOUND PROPERTY LINE MAG NAIL SET RIGHT-OF-WAY LINE MAG SPIKE FOUND SECTION LINE EXISTING CONTOURS MAG SPIKE SET CHISEL CROSS FOUND 746 PROPOSED CONTOURS CHISEL CROSS SET ------ FM------- EXISTING FORCEMAIN SEWER ________________________________EXISTING SANITARY SEWER COUNTY MONUMENT ______ SAN _____ PROPOSED SANITARY SEWER CONCRETE MONUMENT FOUND ______________________________EXISTING WATER MAIN CONTROL POINT HORIZONTAL VERTICAL BENCHMARK EXISTING STORM SEWER SOIL BORING or MONITORING WELL ______ STO_____ PROPOSED STORM SEWER POWER POLE POWER POLE W/GUY WIRE EXISTING CURB & GUTTER TELEPHONE OR TELEVISION PEDESTAL _____ PROPOSED CURB & GUTTER PROPOSED REJECT CURB & GUTTER MAILBOX EXISTING CULVERT WITH END SECTIONS SIGN D = = = = = = 1RAILROAD CROSS BUCK PROPOSED CULVERT WITH END SECTIONS RAILROAD GATE ARM BUILDING OUTLINE _____ RAILROAD TRACKS LIGHT POLE -------------------------------PERIMETER CONTROL WOOD POLE TRAFFIC SIGNAL GUARD RAIL -0 0 0 0 0 TRAFFIC SIGNAL MAST ARM DITCH CHECK \square

DECIDUOUS TREE TREE OR BRUSH LINE BED ROCK (IN PROFILE VIEW) HANDICAPPED PARKING STALL EXISTING SPOT ELEVATION × 750.00 PROPOSED SPOT ELEVATION DRAINAGE HIGH POINT DRAINAGE DIRECTION

CONIFEROUS TREE

EXISTING MANHOLE PROPOSED MANHOLE EXISTING INLET PROPOSED INLET EXISTING YARD DRAIN PROPOSED YARD DRAIN EXISTING CLEAN OUT PROPOSED CLEAN OUT EXISTING DOWNSPOUT PROPOSED DOWNSPOUT EXISTING WATER VALVE PROPOSED WATER VALVE EXISTING CURB STOP PROPOSED CURB STOP EXISTING FIRE HYDRANT PROPOSED FIRE HYDRANT PROPOSED WATER FITTING PROPOSED WATER REDUCER PROPOSED ENDCAP

GAS VALVE

EXISTING PROPOSED







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INLET PROTECTION TRACKING PAD TURBIDITY BARRIER OR SHEET PILING SANDBAG COFFERDAM ---- SLOPE INTERCEPT LIMITS OF DISTURBANCE

ASPHALT PAVEMENT

CONCRETE SIDEWALK/DRIVEWAY

GRAVEL

RIP-RAP (SIZE AS SPECIFIED)

BRICK/PAVERS

PROPOSED EROSION MAT

PROPOSED TURF REINFORCEMENT MAT (TRM)

EXISTING DELINEATED WETLANDS

PROPOSED ASPHALTIC DRIVEWAY

EROSIC

BEST MANAGEMENT PRACTIC

THE CONTRACTOR IS RESPONSIBLE PRACTICES IN ACCORDANCE WITH THESE STANDARDS MAY BE FOUND RIP-RAP SHALL BE IN ACCORDANCE STRUCTURE CONSTRUCTION, LATES MINIMUM BEST MANAGEMENT PRAC

- [] LAND APPLICATION OF
- [] WATER APPLICATION OF
- [X] NON-CHANNEL EROSION
- [] CHANNEL EROSION MAT
- [] VEGETATIVE BUFFER (10
- [] SEDIMENT BALE BARRIE
- [X] PERIMETER SEDIMENT
- [X] TRACKOUT CONTROL (
- [X] MULCHING (1058)
- [X] SEEDING (1059)
- [X] STORM DRAIN INLET PR

THE CONTRACTOR SHALL COORDIN PREVENT OR REDUCE ALL OF THE

- A. DEPOSITION OR TRACKING C
- B. DISCHARGE OF SEDIMENT IN
- C. DISCHARGE OF SEDIMENT IN
- D. DISCHARGE OF SEDIMENT FR
- E. DISCHARGE OF SEDIMENT FR
- F. DISCHARGE OF SEDIMENT FR
- G. DISCHARGE OF SEDIMENT FF
- H. DISCHARGE OF CHEMICALS,
- I. DISCHARGE OF UNTREATED

THE CONTRACTOR SHALL IMPLEMENT

- A. PRESERVE EXISTING VEGETA
- B. MINIMIZE SOIL COMPACTION
- C. MINIMIZE LAND DISTURBANCE
- D. MINIMIZE THE AMOUNT OF
- E. DIVERT CLEAR WATER AWAY
- F. TEMPORARILY STABILIZE EXP SEEDING, POLYACRYLAMIDE
- G. PERMANENTLY STABILIZE EX
- H. CONTRACTOR SHALL EDUCA RESPONSE PROCEDURES. THE LOCAL MUNICIPALITY. SAFETY HAZARD EXISTS, T METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE OF CONSTRUCTION ACTIVITIES BY MANAGEMENT PRACTICES TEMPORA COMPLETED. THE CONTRACTOR IS PRACTICES AFTER CONSTRUCTION

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOLLOWING A RAINFALL OF 0.5 INC AT THE CONSTRUCTION SITE AND INSPECTION; NAME OF INDIVIDUAL MANAGEMENT PRACTICES; A DESCI PERFORMED; AND A DESCRIPTION FOR MAINTAINING, REPAIRING, OR INSPECTION OR NOTIFICATION. THE REPLACING BEST MANAGEMENT PR A UNIFORM PERENNIAL VEGETATIVE

THE CONTRACTOR IS RESPONSIBLE SITE. THE CONTRACTOR IS RESPON INSPECTION REPORTS, AND PERMIT CONSTRUCTION ACTIVITY IS COMPL DENSITY OF AT LEAST 70%. THE DENSITY REACHES AT LEAST 70%.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE IN CONSTRUCTION, OPERATION OR DISCHARGE OF POLLUTANTS; THE CARRIED BY CONSTRUCTION SITE PLAN. THE DNR AND OWNER SHAL

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E FOR FURNISHING, INSTALLING, M WISCONSIN DEPARTMENT OF NAT D ON THE DNR WEBSITE AT <u>http:</u> CE WITH SECTION 606, WIS-DOT ST EDITION, UNTIL TECHNICAL STA	AINTAINING AND REMOVING BEST MANAGEMENT URAL RESOURCES (DNR) TECHNICAL STANDARDS. //www.dnr.wi.gov/runoff/stormwater/techstds.ht STANDARD SPECIFICATIONS FOR HIGHWAY AND NDARD 1065 IS COMPLETED BY THE DNR. THE	<u>m.</u>			RS ARCHI	ON ASSOCIATES, IN	N UKIVE NEENAH, VI 5 (1025 NEENAH, WI 5	FX 920 751 4284 MC
	[] DE WATERING (1061)					cMAH	D.BOX	4200
ADDITIVES (1050)	$\begin{bmatrix} \end{bmatrix} DE - WATERING (1061) \\ \begin{bmatrix} \end{bmatrix} DITOL OUTOUR (1060) \\ \end{bmatrix}$					ž,	is Mc g: P.C	<u>)</u> 751
ADDITIVES (1051)	$\begin{bmatrix} \end{bmatrix} \text{ DITCH CHECK (1062)} \\ \begin{bmatrix} 1 \\ 0 \end{bmatrix} \text{ OFDIMENT TRAD (1062)} \end{bmatrix}$						144 Mailin	92(
N MAT (1052)	[] SEDIMENT TRAP (1063)					- 	. – .	- -
(1053)	[] SEDIMENT BASIN (1064)		orovides	nts of sluding	ic. The	d holo , inc	r of or origina t prior	Mahor
054)	[] RIP-RAP (1065)		i, Inc. p ta, reg	trume ts inc	tes, In ent ag	permit fy and ciates	the d	by Mo
ER (1055)	[] CONSTRUCTION DIVERSION (1066)		sociates & da	l righ	ssocia r recipi	extent Jemni Assoc	or any ade to data	nsent Inc.
CONTROL (1056)	[] TEMPORARY GRADING PRACTICES (1067	7)	non As: drawing	ce. Al	and/o	ullest to ind ahon	less fo ges mo	en col sciates,
1057)	[X] DUST CONTROL (1068)		McMah this a	of fo servi	McMa	M C K L	chang	writto Asso
	[] TURBIDITY BARRIER (1069)							
	[] SILT CURTAIN (1070)							
ROTECTION (1060)	[] HORIZONTAL DIRECTIONAL DRILLING (10)72)						
ATE CONSTRUCTION ACTIVITIES A	ND IMPLEMENT BEST MANAGEMENT PRACTICES TO	D						
			NOISI					
UF SUIL UNIU SIREEIS BY VEHIC	LES.		Υ.Υ.					
ITO AD MACENIE STREAMS DUTED								
THE ADJACENT STREAMS, RIVERS,	LARES AND WEILANDS.							
TOM DITUMES AND STORM SEWER	S INAI FLUW UFFSILE.							
TOM DEWATERING ACTIVITES.			Щ					$\mid \mid$
ROM SUIL STUCKPILES EXISTING F	UR / DAYS UR MURE.		DATE					
CEMENT AND DUILET FLUWS.	c		Гļ					$\mid \mid$
CEMENT AND BUILDING MATERIAL	_S.		N					
NT THE FOLLOWING DOSUSTING						>		
NI THE FOLLOWING PREVENTATIV	E MEASURES:				2	5		
TION WHENEVER POSSIBLE.					2	-		
AND PRESERVE TOPSOIL.				7		Z		
ES ON SLOPES OF 20% OR MORE	-			0	ζ	Ş		
SOIL EXPOSED AT ANY ONE TIME.				E	C	כ		
FROM EXPOSED SOILS.				DD		Z	С S	
POSED SOILS THAT WILL NOT BE OR GRAVELING TO STABILIZE.	ACTIVE FOR 14 DAYS OR MORE. USE MULCHIN	G,		▼ ⊢			NOT	
(POSED SOILS AS SOON AS POSS	SIBLE.			2			ళ	
TE ITS EMPLOYEES AND SUBCON IF A SPILL OCCURS, THE CONTRA FIRE DEPARTMENT OR 911 EMERG HE NEXT STEP IS TO CONTAIN TH	TRACTORS ABOUT PROPER SPILL PREVENTION AN ACTOR SHALL EVACUATE THE AREA AND IMMEDIA ENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE HE SPILL AND PERFORM CLEANUP. USE DRY CLE	D TELY NOTIFY / HEALTH EANUP		ARKING		UELERE,	YMBOLS	
THE END OF THE WORK DAY. TH ARILY REMOVED FOR CONSTRUCTI RESPONSIBLE FOR REMOVING A IS COMPLETE AND PERMANENT \	E CONTRACTOR IS RESPONSIBLE FOR REPLACING ON ACTIVITY AS SOON AS THOSE ACTIVITIES ARE ND DISPOSING OF TEMPORARY BEST MANAGEMEN (EGETATION IS ESTABLISHED.	BEST		ANT 5 P.			ATIONS, S	,
FOR INSPECTING BEST MANAGE CHES OR GREATER. WRITTEN DOO SHALL INCLUDE THE FOLLOWING WHO PERFORMED THE INSPECTIC RIPTION OF ANY BEST MANAGEM OF THE PRESENT PHASE OF COI REPLACING BEST MANAGEMENT F CONTRACTOR IS RESPONSIBLE F ACTICES UNTIL ALL LAND DISTUF E COVER IS ESTABLISHED WITH A	MENT PRACTICES WEEKLY, AND WITHIN 24 HOURS CUMENTATION OF EACH INSPECTION SHALL BE KEI INFORMATION: DATE, TIME, AND LOCATION OF IN; AN ASSESSMENT OF THE CONDITION OF BEST ENT PRACTICE IMPLEMENTATION AND MAINTENANC INSTRUCTION. THE CONTRACTOR IS RESPONSIBLE PRACTICES AS NECESSARY WITHIN 24 HOURS OF FOR INSPECTING, MAINTAINING, REPAIRING, OR RBING CONSTRUCTION ACTIVITY IS COMPLETED AND A DENSITY OF AT LEAST 70%.	PT CE AN D		BELMARK PL		NEKLIAGE KU,	ABBREVI	
E FOR POSTING THE PERMIT IN A NSIBLE FOR KEEPING A COPY OF TS AT THE CONSTRUCTION SITE A ETED AND A UNIFORM PERENNIA CONTRACTOR IS RESPONSIBLE FO THE OWNER IS RESPONSIBLE FO	CONSPICUOUS LOCATION ON THE CONSTRUCTION THE APPROVED REPORTS, PLANS, AMENDMENTS, AT ALL TIMES UNTIL ALL LAND DISTURBING L VEGETATIVE COVER IS ESTABLISHED WITH A R NOTIFYING THE OWNER WHEN THE VEGETATIVE R TERMINATING DNR PERMIT COVERAGE.		D	ESIGI # P			PRAWI # D.	N
FOR AMENDING THE EROSION &			BC	039	-09- DA	-24-	006	00



	L BENCHMARK CONTROL						
POINT #	ELEVATION	DESCRIPTION					
2	659.13	NGS 4K86 DL2640 DISK (NOT SHOWN)					
5	637.08	HYDRANT BURY BOLT FIRST FLOOR BUILDING					
6	637.24						
7	638.59	TOP CONCRETE LIGHT POLE SOUTH SIDE					
12	640.75	HYDRANT ARROW					
13	634.99	FIRST FLOOR BUILDING					

HOF	HORIZONTAL CONTROL POINTS						
POINT #	NORTHING	EASTING	DESCRIPTION				
3	536192.79	87710.85	MAG NAIL				
4	536200.79	87292.10	HUB TACK				
8	536365.62	87154.71	MAG NAIL				
9	536169.74	87116.30	MAG NAIL				
25	536099.86	87091.95	MAG NAIL				
26	536126.20	87097.39	MAG NAIL				
27	536224.32	87116.42	MAG NAIL				
28	536272.04	87126.24	MAG NAIL				

VERTICAL D)AT
ELEVATIONS	A
CONTROL F	PIIO
POINT ID: I	DL2
BY GPS OF	3SE
PER FIELD	BC

NOTE: PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.



ARE REFERENCED TO NGS DATA: 'OINT NAME: 4K86 DL2640 NAVD 88 DATUM 3SERVATION TO ELEVATION = 659.13 (2012 ADJUSTMENT) BOOK 1586 PAGES 21-22 & PAGES 28-29 HORIZONTAL DATUM: COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR BROWN COUNTY NAD 83 (1991)















m)	Acceptable (Y/N)
	Y
	Y
	Y
	Y
	Y

CUT ALL ROPE THES FROM EURLAP AROUND LEADER. REMOVE BURLAP & WIRE FROM TOP 1/3 OF BALL. BASE OF ROOT FLARE	
BABOR CA	
HOF LOR 75	

LANDSCAPING DESIGN	BY OWNER	'S CONTRACTOR,	ADDED	TO	THIS	SHEET
SET ON MOMAHON RO						

	PLANTING SCHEDULE								
HADE TREES									
QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTI					
4	Acer x freemanii 'Jeffsred'	Autumn Blaze Maple	Balled and Burlapped or Potted	2" Cal, 10' Tall					
RNAMENTAL TREE	S								
QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTI					
6	Malus loensis	Prairie Crabapple	Balled and Burlapped or Potted	2" Cal, 10' Tall					
HRUB EVERGREEN									
QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTI					
18*	Buxus Spp	Boxwood	Potted	3' Tall					

* REFER TO GRADING PLAN DETAILS

ADA PARKING LOT STRIPING

Parcel #: ED-F0094-1 675 HERITAGE ROAD							
Land	Existing Conditions			Proposed Conditions			
Use	Area (sf)	CN	Composite CN	Area (sf)	CN	Composite CN	
Roof:	222,481	98	21,803,138	222,586	98	21,813,428	
Parking Lot	183,440	98	17,977,120	215,446	98	21,113,708	
Sidew alk	4,273	98	418,754	8,614	98	844,172	
Landscaping:	160,258	74	11,859,092	123,806	74	9,161,644	
Total Area (sf):	570,452			570,452			
Total Impervious (sf):	410,194			446,646			
Composite CN:	91.26			92.79			
% Open Space	28.09%			21.70%			
% Impervious Coverage:	71.91%			78.30%			

HANDICAPPED STALL SIGN

IMPERVIOUS SURFACE / OPEN SPACE CALCULATIONS

	MACHIERS ARCHIECIS INGINERS ARCHIECIS MCMAHON ASSOCIATES, INC. 1445 MCMAHON ASSOCIATES, INC. 1445 MCMAHON DRIVE NEENAH, WI 54956 Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025 PH 920.751.4200 FX 920.751.4284 MCMGRP.COM						
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REVISION							
DATE							
.on							
BELMARK PLANT 5 PARKING LOT ADDITION HERITAGE RD, CITY OF DEPERE, BROWN COUNTY, MISCELLANEOUS DETAILS							
	ESIG #	NED	<u> </u>	DF	XAWN #	1	
В	" " PROJECT NO. B0039-09-24-00600						
	10/30/24 SHEET NO.						
┢		SH	EET	NO.			

MOUNTABLE CURB AND GUTTER DETAIL (BELMARK STANDARD)

