



Planning/Zoning Application

Planning & Zoning Department

Submitted On:

Dec 5, 2024, 03:42PM EST

| | |
|---|--|
| Parcel Number: (Include ALL parcels) | WD-1371 |
| Nearest property address to the project site: | Street Address: 2249 American Blvd City: De Pere State: W Zip: 54115-8490 |
| Check each project type that is being applied for: | Site Plan |
| Current De Pere Zoning Districts: | BP-1 |
| Existing Site Land Uses: | Business Park/Industrial |
| Proposed Site Land Uses: | Business Park/Industrial |
| Does the project comply with the Comprehensive Plan? | Yes |
| Has City Staff been contacted for a preapplication meeting? | No |
| Property Owner: | First Name: Rob Last Name: Salesky |
| Is the property owner's address the same as the nearest property address? | Yes |
| Property Owner's Phone Number: | 920-330-9972 |
| Property Owner's Email Address: | rob@baysidemachine.net |
| Is someone processing the project for the property owner as their authorized representative? | Yes |
| Authorized Representative's Name: | First Name: Mike Last Name: Van Vreede |
| Authorized Representative's Business Name: | Fox Cities Builders |
| Authorized Representative's Phone Number: | 920-595-1504 |
| Authorized Representative's Email Address: | mike.v@foxcitiesbuilders.com |

Please attach a PDF copy of the site plan.

Bayside rear facade 1.pdf
Bayside rear facade 2.pdf
Bayside rear facade 3.pdf
select-series-612-spec-page-sell-sheet.pdf
De Pere building codes 116.pdf

Would you like a basic checklist of information to include in the site plan?

No

How do you plan on paying for your application?

Online with a credit card

Total Due:

\$350.00

Signature Data

First Name: Mike
Last Name: Van Vreede
Email Address: mike.v@foxcitiesbuilders.com



Signed at: December 4, 2024 11:28am America/New_York

User's Session Information

IP Address: 70.60.91.18
Referrer URL:

CITY OF DE PERE

335 South Broadway, De Pere, WI 54115 | www.de-pere.org



January 7, 2024

Mike Van Vreede
Fox City Builders
N7315 CTH Y, Suite B
Seymour, WI 54165

RE: Site Plan Review for the Bayside Machine Rear Façade Replacement at 2249 American BL
(Parcel WD-1371)

Dear Mike:

Thank you for the Bayside Machine Rear Façade Replacement at 2249 American BL. The City of De Pere staff reviewed the site plan on January 7, 2025, and recommended approval with the following condition that must be addressed prior to obtaining occupancy permits.

- After the exterior lighting is installed, provide a statement from the installer that new lighting is dark sky compliant and does not exceed Zoning Ordinance 14-95 regulations.

You may now proceed to the Inspection Division to begin the process of obtaining permits. Should you have any questions regarding the decision or require further information, feel free to contact me at 339-4043 or pschleinz@deperewi.gov.

Sincerely,

A handwritten signature in black ink that reads "Peter Schlein". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Peter Schlein
Senior Planner | Zoning Administrator

cc: Daniel J. Lindstrom, AICP, Development Services Director
Dennis Jensen, Senior Building Inspector

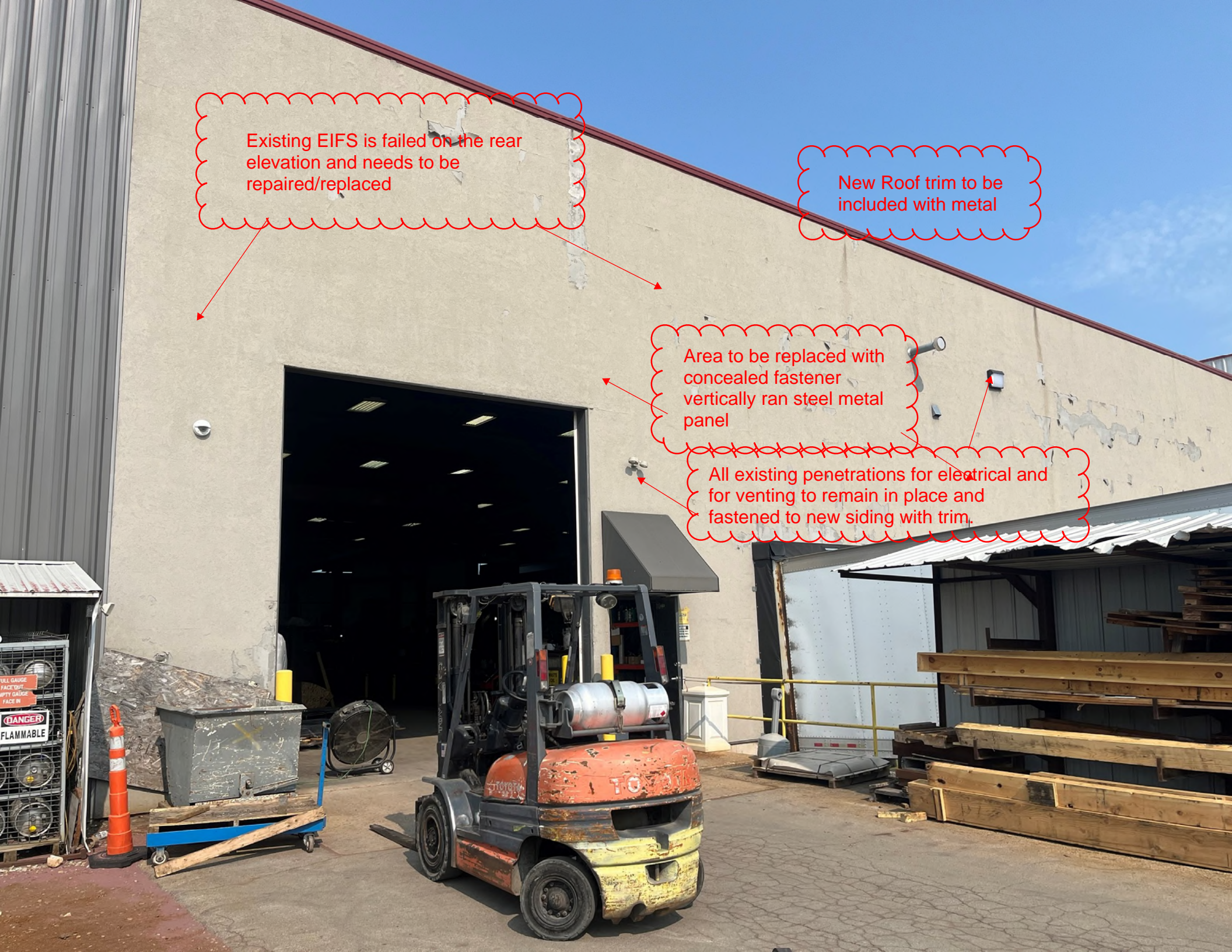


Existing EIFS is failed on the rear elevation and needs to be repaired/replaced

New Roof trim to be included with metal

Area to be replaced with concealed fastener vertically ran steel metal panel

All existing penetrations for electrical and for venting to remain in place and fastened to new siding with trim.



New Roof trim to be included with metal

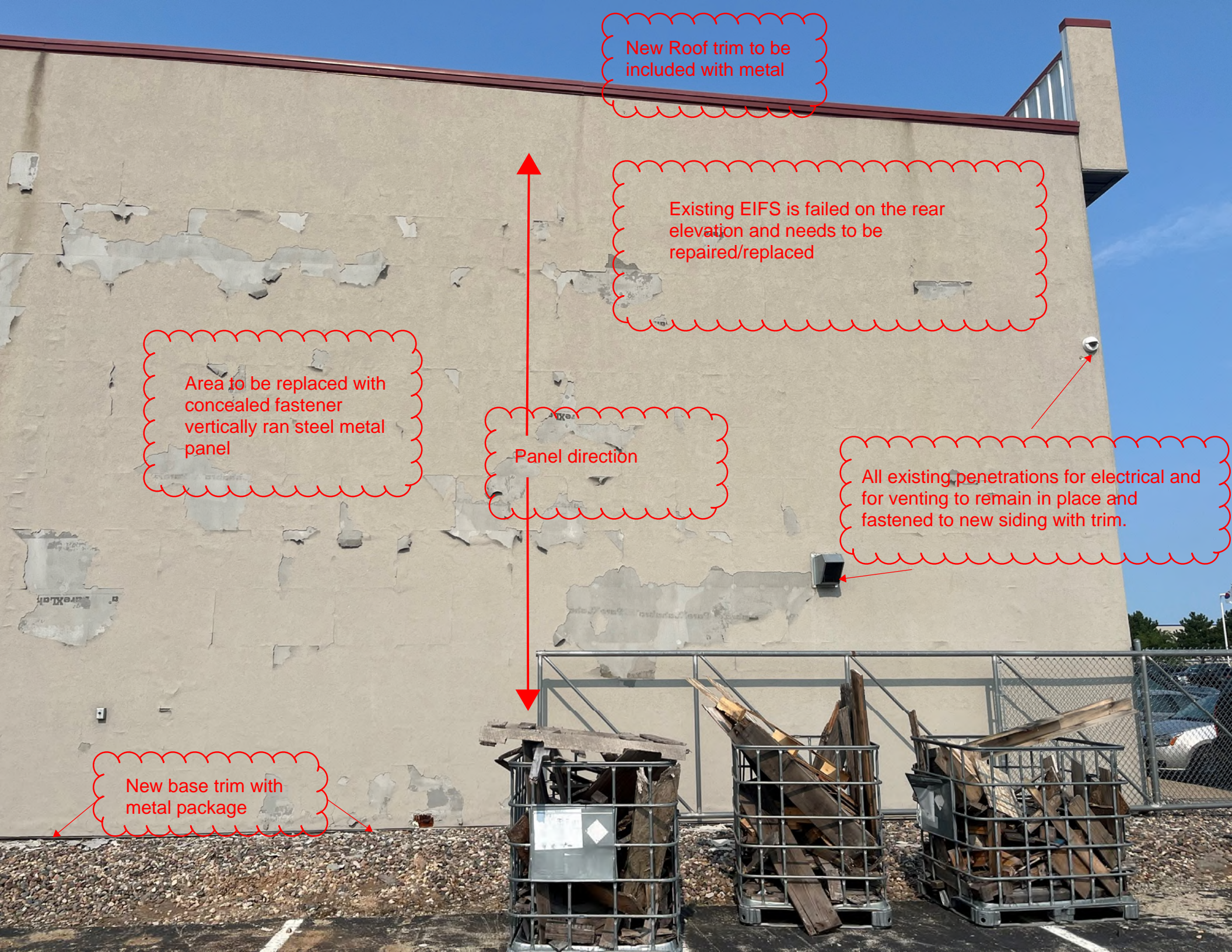
Existing EIFS is failed on the rear elevation and needs to be repaired/replaced

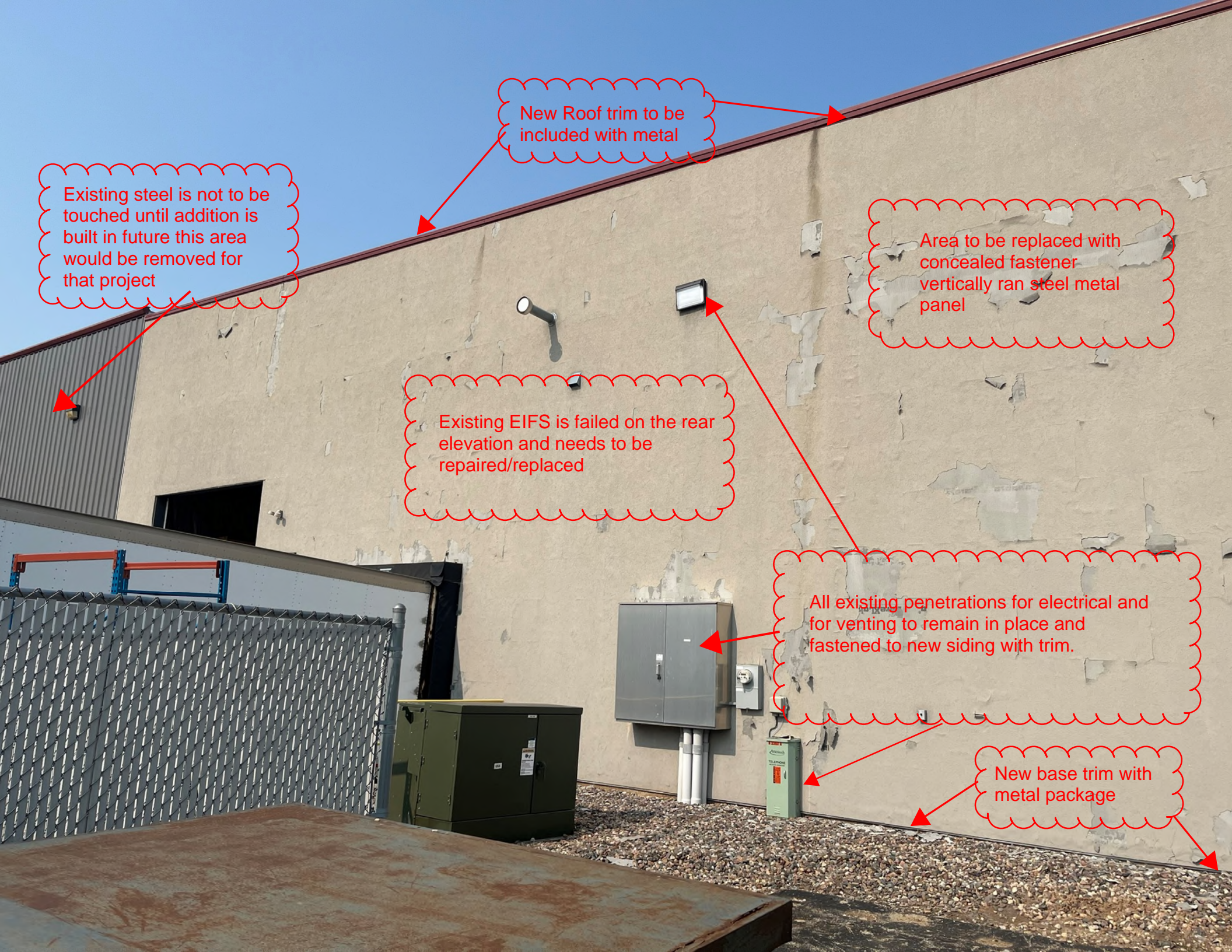
Area to be replaced with concealed fastener vertically ran steel metal panel

Panel direction

All existing penetrations for electrical and for venting to remain in place and fastened to new siding with trim.

New base trim with metal package





New Roof trim to be included with metal

Existing steel is not to be touched until addition is built in future this area would be removed for that project

Area to be replaced with concealed fastener vertically ran steel metal panel

Existing EIFS is failed on the rear elevation and needs to be repaired/replaced

All existing penetrations for electrical and for venting to remain in place and fastened to new siding with trim.

New base trim with metal package

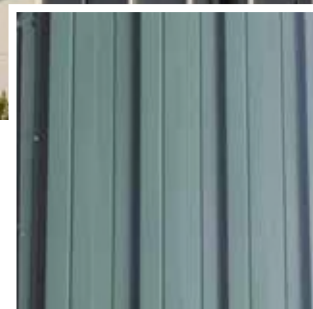
FABRAL® SELECT SERIES® 612

BRIEF PRODUCT SPECIFICATION



Brutner Truck Sales, Dallas TX, USA

Fabral® Select Series® 612 is the perfect wall panel option when you need to add more dimension to a project. In Fabral® standard color, Old Town Gray, the Select Series® panel gave this pre-engineered building a bold accent by adding it to the roofline.



FABRAL CORE™

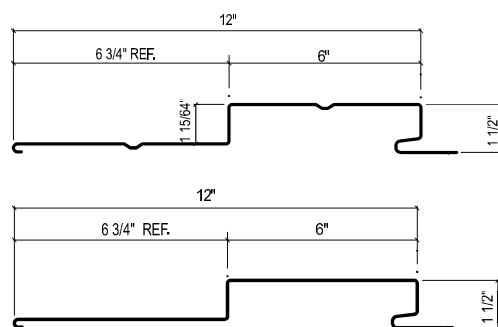
**You challenge us.
And we like it.**

Your vision for a building and what you want to achieve makes us think harder. It'd be easy to say - That won't work. Instead we go with - Let's see what we can do.

Fabral.com
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CONCEALED FASTENER WALL PANEL SELECT SERIES® 612

Fabral® Select Series® 612, a classic six up six down panel design, provides a range of profiles and configurations for architectural, commercial and industrial applications. With two options to choose from, architects and designers have at their disposal the ultimate in design versatility in a strong, durable wall panel, fascia or soffit application. The Select Series® 612 panels can be mixed with Select Series® 12 for varying design elements which demonstrates a unique approach to using metal.



(Product details on reverse)

FABRAL® SELECT SERIES® 612

BRIEF PRODUCT SPECIFICATION

MANUFACTURER DESCRIPTION

- Fabral®, 308 Alabama Blvd, Jackson, GA 30233
- **Telephone:** 800.884.4484
- **Email:** sales@fabral.com
- **Website:** www.fabral.com

PRODUCT DESCRIPTION

| | |
|----------------------------|----------------------------|
| Acceptable Product: | Fabral® Select Series® 612 |
| Class 4 impact: | UL2218 |
| Class A fire: | UL790 |

DESIGN INFORMATION

- Perforation available upon request
- Panel ends can be swedged for end laps
- Panel Length: Maximum - 45' Minimum - 4'
- Panel Width: 12" with a 6" off-set

PRODUCT INSTALLATION

Select Series® panels are recommended for siding or soffits only. When used for wall applications, Select Series® panels should only be installed vertically. Install panels plumb, level and straight so it is watertight and without waves or other distortions, allowing for thermal movement considerations. Apply sealant tape or caulking as necessary at flashing and panel joints to prevent water penetration.

PRODUCT MAINTENANCE AND WARRANTY

Fabral® provides a 20 year paint-finish warranty for cracking, chipping, peeling, fading and chalking – providing confidence in a long-lasting application.

To ensure the durability of your Select Series® panels, use proper care. Remove fillings, grease, stains, marks or excess sealants from roof panels system to prevent staining. Store panels and flashings in a safe, dry environment.

RECENT PROJECTS TO REFERENCE

| Segment | Project Name | Location | Quantity | Architect/Distributor |
|-----------|--------------------------------|------------------|----------|------------------------------|
| Education | Dougherty High School Addition | Albany, GA | 220 sq | Richter Contracting Co, Inc. |
| Education | Stephens County High School | Toccoa, GA | 295 sq | Orion Associates |
| Retail | Musashi Auto Parts | Battle Creek, MI | 165 sq | Delta Design Systems Inc |

ARTICLE IX BUILDING AND SITED DESIGN

14-91 Building Facade Materials

TABLE 9-2 — MINOR FACADE MATERIALS

All allowed major facade materials may be used for minor facade materials, unless otherwise listed as prohibited in Table 9-4.

| MINOR FACADE MATERIAL (alphabetical) | Allowed on Buildings in these Districts | Allowed Facades | Maximum Amount on each Facade |
|--|---|--|---|
| Brick, Economy economy size; or thin, veneer | All | Non-street facades only | 100% |
| Concrete Surfaces textured unfinished | BP, I districts only | All | 30% |
| Concrete Surfaces finished stained, painted, treated | All | O, C, BP, I districts: all facades All other districts: below first floor only | 30% |
| Concrete Masonry Units minimum 3" depth, split-faced, burnished/ ground face, glazed, or honed, | All except Commercial Manor | Non-street facades only; In & I districts, all facades | 100% |
| G Fiber Cement Board, Composite finished panels | All | All, except a major material is required at grade up to 2 feet and adjacent to entrances | 30% |
| Glass curtain wall system | All except Commercial Manor | All | 30% |
| Glass Block | All except Commercial Manor | Non-street facades only | 20% |
| H Metal architectural panel system | MX1, GX1, BP, I only | All, except a major material is required at grade up to 2 feet and adjacent to entrances | 30% |
| Metal, Composite aluminum composite materials (ACM) or panels (ACP) | MX1, GX1, O, BP, I, P only | Non-street facades only | 30% |
| Metal Siding coated siding with concealed fasteners | BP, I only | Rear facades only | 100% |
| I Metal Curtain panels or panel systems, not ribbed or corrugated | MX1, GX1, O, BP, I, P only | All | 30% |
| J Stucco cement-based, 2- 3 layer hard coat | All | Only 3rd or higher stories all facades | 30% |
| Stucco synthetic or with elastomeric finishes | All | Only 3rd or higher stories all facades | 30% |
| Terra Cotta or Ceramic tiles or panels | All | All | 20% |
| K Translucent Panel System double-wall, polycarbonate panels | All except Commercial Manor | All | 20% |
| Vinyl Siding minimum 0.42 inches thick | Allowed only on Row Building | All | 30% of street facade, 100% on other facades |
| L Wood natural, aged lap siding, shingles, rain-screen system | All | All | 30% |
| M Wood, Composite rainscreen system | All | All | 30% |