




Planning/Zoning Application

Planning & Zoning Department

Submitted On:

Jan 6, 2025, 10:53AM EST

Parcel Number: (Include ALL parcels)	ED-752, ED-751
Nearest property address to the project site:	Street Address: 403 N. Broadway City: De Pere State: W Zip: 54115
Check each project type that is being applied for:	Site Plan
Current De Pere Zoning Districts:	PI-1
Existing Site Land Uses:	Public & Civic
Proposed Site Land Uses:	Public & Civic
Does the project comply with the Comprehensive Plan?	Yes
Has City Staff been contacted for a preapplication meeting?	Yes
Property Owner:	First Name: DEPERE HISTORICAL SOCIETY INC Last Name: NA
Is the property owner's address the same as the nearest property address?	Yes
Property Owner's Phone Number:	920-336-3877
Property Owner's Email Address:	mckim1883@yahoo.com
Is someone processing the project for the property owner as their authorized representative?	Yes
Authorized Representative's Name:	First Name: Brad Last Name: McDermid
Authorized Representative's Business Name:	Mach IV Engineering & Surveying LLC
Authorized Representative's Phone Number:	708-308-2183
Authorized Representative's Email Address:	bmcdermid@mach-iv.com

Please attach a PDF copy of the site plan.	2_Architectural_WhitePillars_PDS4_1-3-24_24x36.pdf 3_Photometrics_DePere Historical Society.pdf 1_2258-01-24 Eng.pdf
Would you like a basic checklist of information to include in the site plan?	Yes
How do you plan on paying for your application?	Online with a credit card
Total Due:	\$350.00
Signature Data	First Name: Brad Last Name: McDermid Email Address: bmcdermid@mach-iv.com  Signed at: January 6, 2025 10:52am America/New_York
User's Session Information	IP Address: 69.129.142.130 Referrer URL:

DE PERE HISTORICAL SOCIETY NEW WHITE PILLARS BUILDING

403 N BROADWAY, DEPERE, WI 54115

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History	
Revision Number	Revision Date
1	10/25/24
2	10/31/24
3	11/11/24
5	01/03/25

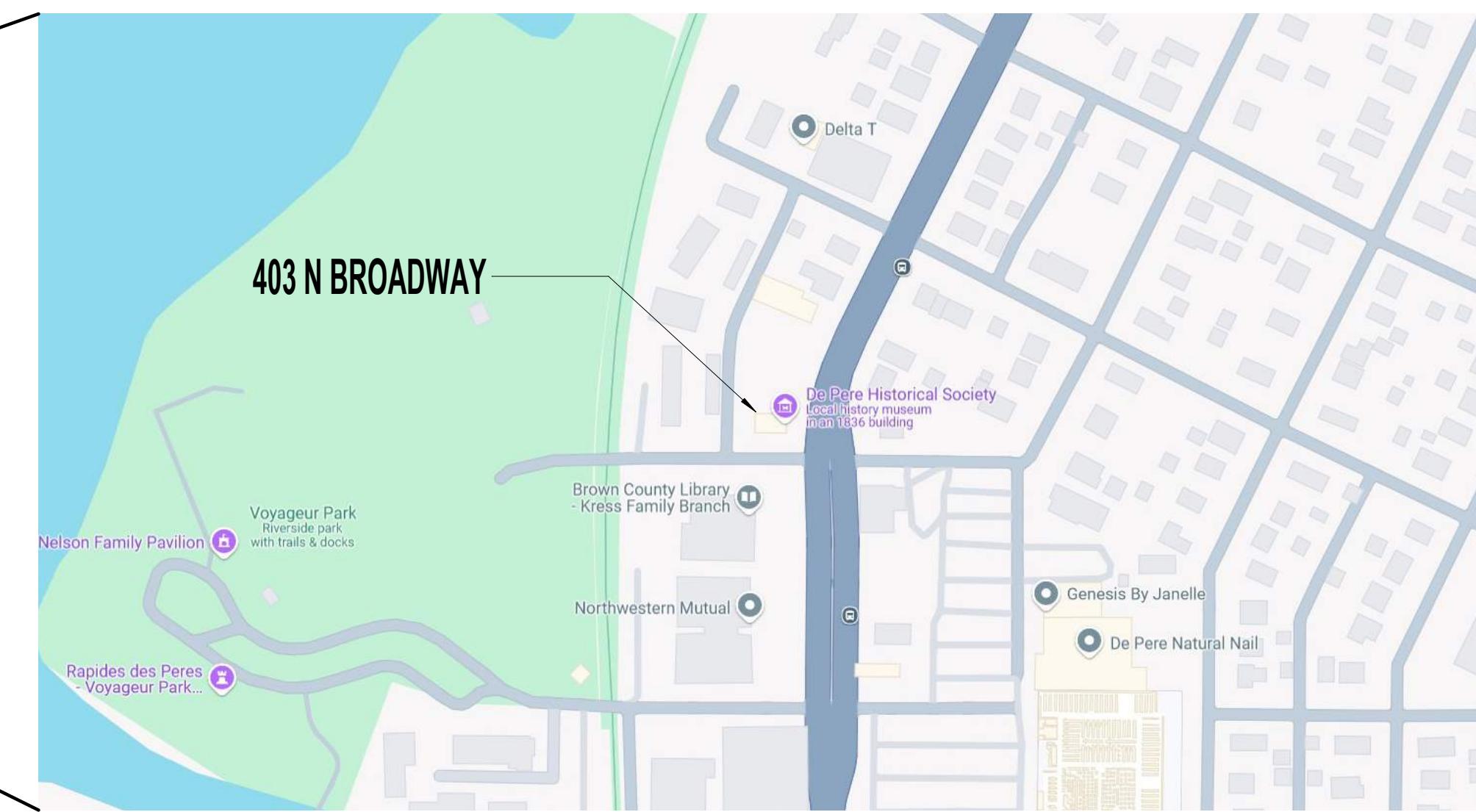


SHEET INDEX			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
TS	TITLE SHEET	10/18/24	01/03/25
AC1.0	SITE PLAN	10/18/24	01/03/25
LS1.0	LIFE SAFETY PLAN	10/18/24	01/03/25
D1.0	DEMO PLAN	10/18/24	01/03/25
A1.0	FLOOR PLAN	10/18/24	01/03/25
A1.1	BASEMENT PLAN	10/18/24	01/03/25
A1.2	MEZZANINE PLAN	10/18/24	01/03/25
A2.0	DOOR SCHEDULE	10/25/24	01/03/25
A3.0	EXTERIOR ELEVATIONS	10/18/24	01/03/25
A3.1	EXTERIOR ELEVATIONS	10/18/24	01/03/25
A3.2	EXTERIOR RENDERINGS	10/18/24	01/03/25
A4.0	NIS BUILDING SECTIONS	10/18/24	01/03/25
A4.1	EW BUILDING SECTIONS	10/18/24	01/03/25
A4.5	NIS WALL SECTIONS	10/18/24	01/03/25
A4.6	EW WALL SECTIONS	10/18/24	01/03/25
A4.7	WALL DETAILS	10/31/24	01/03/25
A5.0	RESTROOM ELEVATIONS	10/18/24	01/03/25
A6.0	ROOF PLAN	10/18/24	01/03/25
A7.0	1ST FLOOR RCP	10/18/24	01/03/25
A7.1	BASEMENT RCP	10/18/24	01/03/25
A8.0	1st FLOOR FINISH PLAN	10/25/24	01/03/25
A8.1	BASEMENT FINISH PLAN	10/25/24	01/03/25
A8.2	MEZZANINE FINISH PLAN	10/25/24	01/03/25
S0.1	FOUNDATION PLAN ISOMETRIC	10/18/24	01/03/25
S1.0	FOUNDATION PLAN	10/18/24	01/03/25
S2.0	STRUCTURAL PRECAST	10/18/24	01/03/25
S2.1	STRUCTURAL FRAMING PLAN	10/18/24	01/03/25

SYMBOLS	
	DETAIL NUMBER
	DIRECTION SECTION IS CUT
	GRID LINE IS LOCATED ON
	GRID LINE DESIGNATION
	FINISH FLOOR ELEV. 100'-0"
	ROOM NAME AND NUMBER
	DOOR TAG
	WINDOW TAG
	ELEVATION NUMBER
	ELEVATION IS LOCATED ON
	DETAIL NUMBER
	SHEET ELEVATION IS LOCATED ON



SITE PROXIMITY MAP



Local

PROJECT:
DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING
403 N BROADWAY
DEPERE, WI 54115

PROJECT NO.:
24-277

SHEET NO.:
TS

TITLE SHEET



DESIGN / BUILD
 GENERAL CONTRACTING
 STEEL FABRICATION
BUTLER
 METAL BUILDINGS
 www.schuhconstruction.com

Schuh
 CONSTRUCTION, INC.
 Established 1976
 N9351 Issar Road, Seymour, WI 54165 / T 920.833.2158 / F 920.833.6465

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
**DE PERE HISTORICAL SOCIETY
 WHITE PILLARS**
 403 NORTH BROADWAY STREET
 DE PERE, WI 54115

PROJECT NO.:
24-277

SHEET NO.:
AC1.0

NORTH
 OVERALL SITE PLAN
 1"=10'-0"

CASS STREET

ALLEY

PROPOSED BUILDING
 2,784 SQ. FT.

PERVIOUS PAVING AREA

CONCRETE "RETAINING" STRIP

LIGHT POLE LOCATION TBD

PROPERTY LINES

GENERATOR

AREA WELL

MONUMENT SIGN

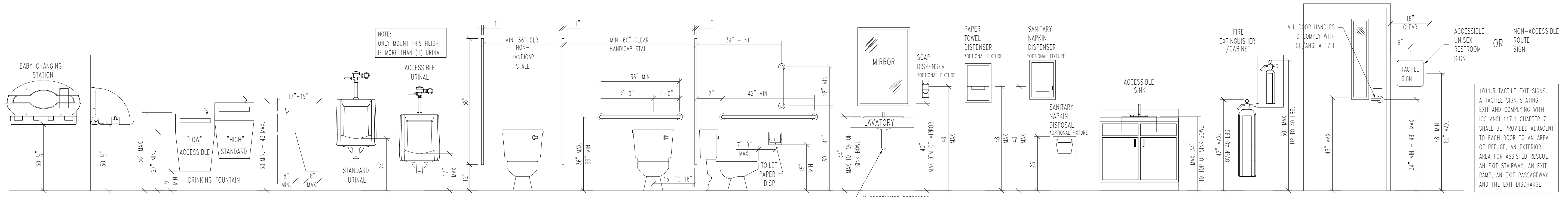
FLAG POLE

SIDEWALK

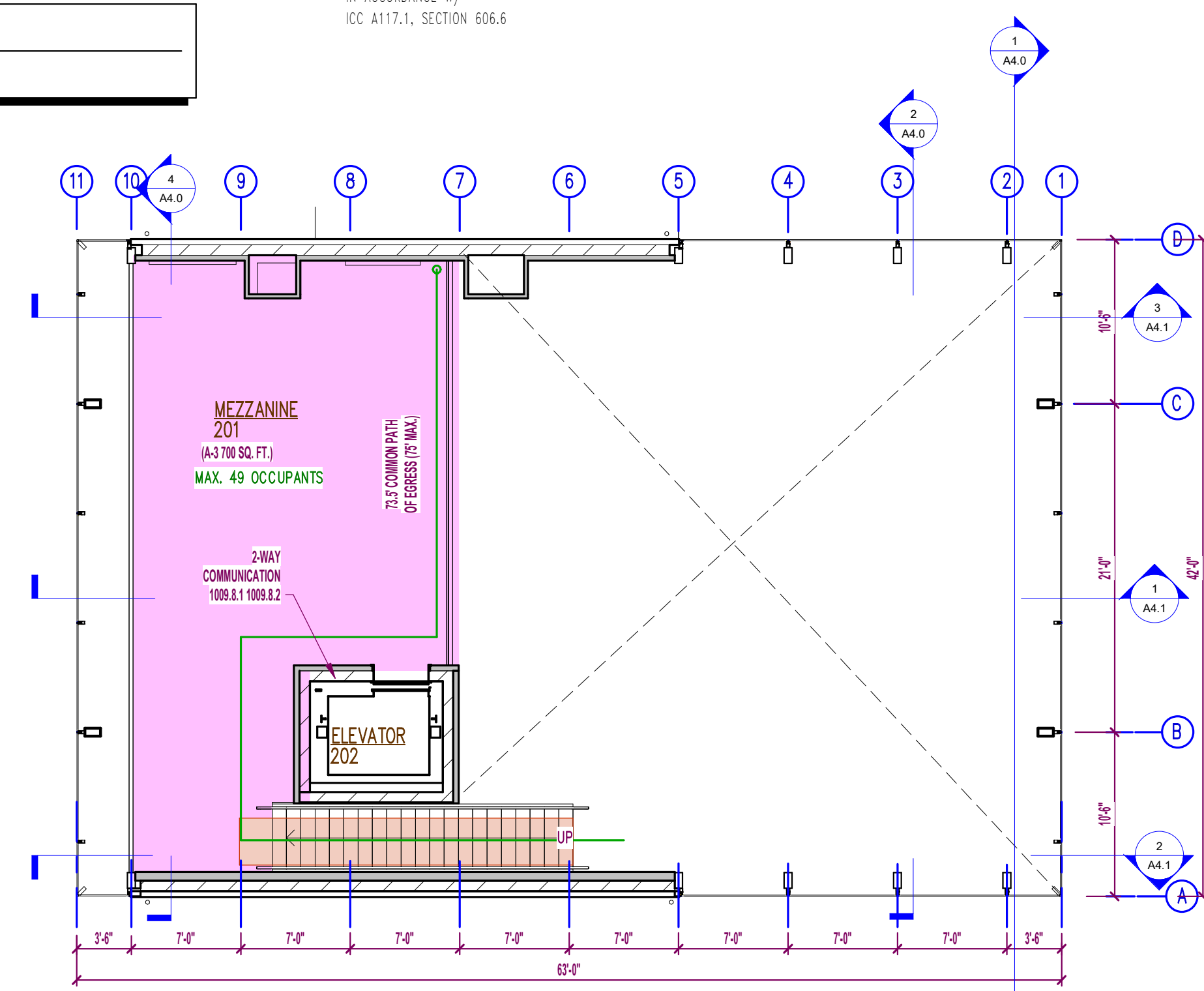
63'-0"

42'-0"

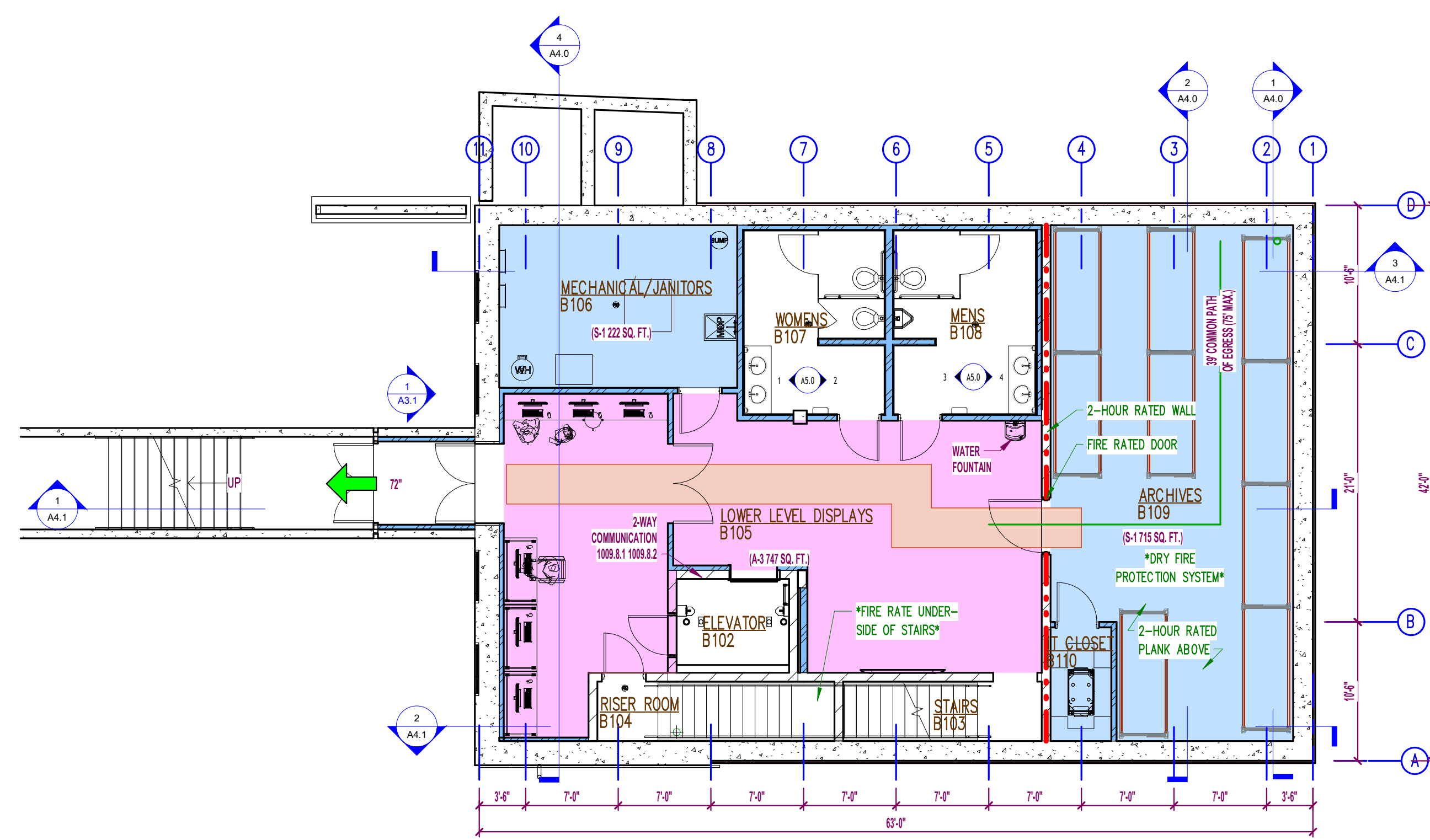
S78°33'30"E 121.91'



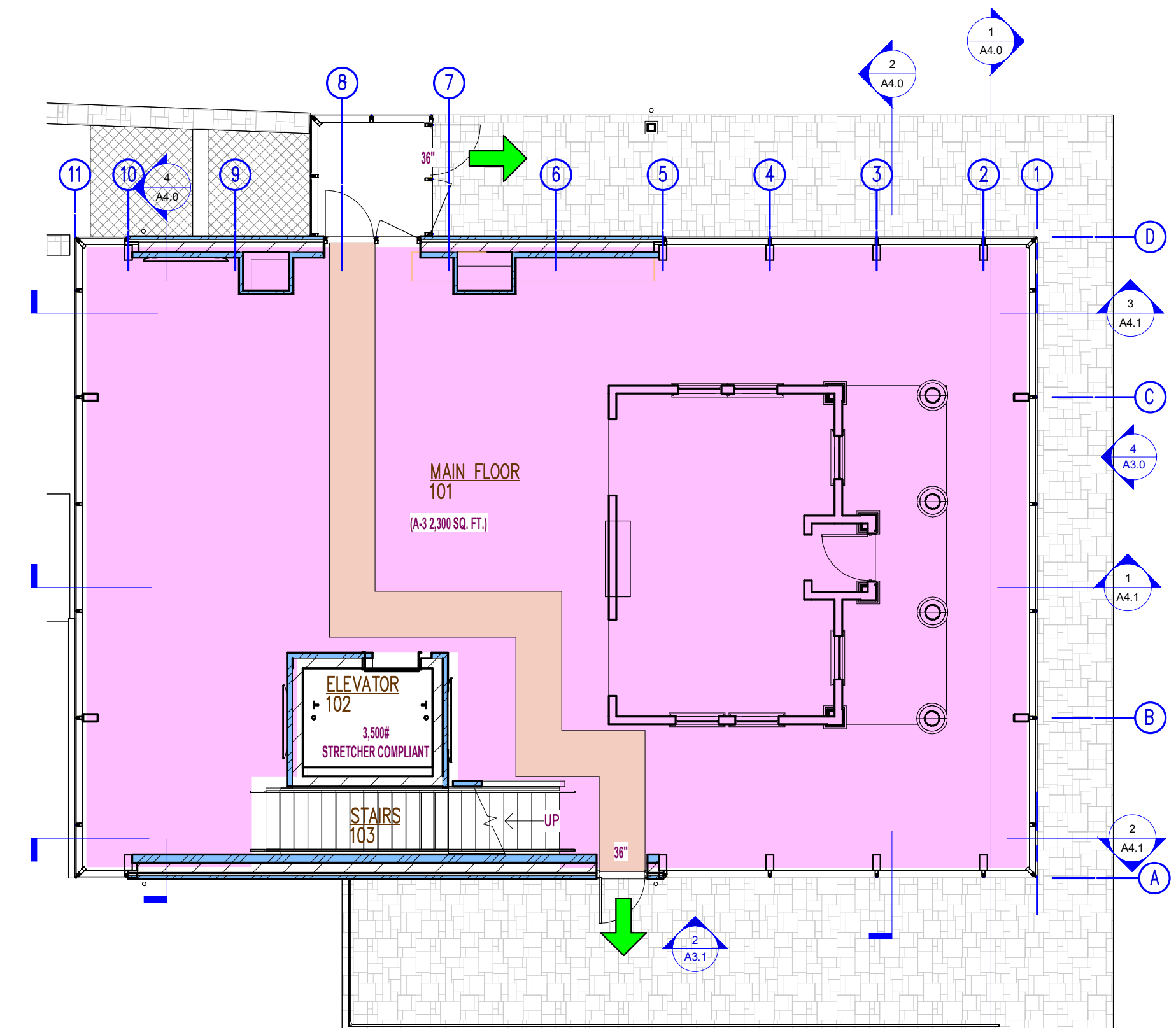
ADA HEIGHTS
1/2" = 1'-0"



3 Mezzanine Life Safety
1/8" = 1'-0"



4 Basement Life Safety
1/8" = 1'-0"



1 LIFE SAFETY PLAN
1/8" = 1'-0"

DRAWING LEGEND

- FIRE EXTINGUISHER (BY OWNER)
- NEW EXIT SIGN (WITH DIRECTIONAL ARROW IF REQUIRED)
- ACCESSIBLE EXIT ROUTE W/ WIDTH
- 5' WHEELCHAIR TURNING SPACE
- FLOOR SPACE WHERE EMERGENCY LIGHTING IS NEEDED
• MINIMUM (1) FOOTCANDLE REQUIRED
MEANS OF EGRESS ILLUMINATION TO BE PROVIDED PER 1008
EMERGENCY POWER SHALL BE PROVIDED PER 1008.3
- OCCUPANCY GROUP S-1
- OCCUPANCY GROUP A-3

BUILDING CODE REQUIREMENTS

BUILDING TYPE / SIZE REQUIREMENTS
BUILDING OCCUPANCY CHAPTER 3 = (A-3) ASSEMBLY (MUSEUM)
CLASS OF CONSTRUCTION = (S-1) MODERATE HAZARD STORAGE TYPE V5 (ANY ALLOWABLE MATERIAL)

BUILDING HEIGHT LIMITATIONS
BUILDING HEIGHT O.K. (40' ALLOWABLE PER TABLE 504.3)

BUILDING AREA LIMITATIONS
AREA O.K. PER 508.2 (2,646 SQ.FT. < 24,000 ALLOWABLE FOR SPRINKLED A-3 TYPE V5)

FIRE RESISTANCE CONSTRUCTION
NO EXTERIOR WALL RATING REQUIRED
GREATER THAN 10'-0" FIRE SEPARATION DISTANCE

AUTOMATIC SPRINKLER SYSTEMS
PER 903.2.1 BUILDINGS TO BE FULLY PROTECTED PER NFPA 13
"A-3 FIRE AREA LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE."
ARCHIVE ROOM TO HAVE DRY SYSTEM

BUILDING ACCESS / EGRESS INFORMATION
(A-3) 781 SQ. FT. / 30 SQUARE FEET PER OCCUPANT = 126 OCCUPANTS
(S-1) 1,300 SQ. FT. / 300 SQUARE FEET PER OCCUPANT = 4 OCCUPANTS
EXIT WIDTH PER OCCUPANT - 0.3" PER OCC. STAIRS / 0.2" PER OCC. OTHER
TOTAL EXIT WIDTH REQUIRED - (1) REQUIRED / 3 TOTAL EXITS PROVIDED
COMMON PATH OF EGRESS - GROUP A3 = 7.5' PER 1008.2.1 (W/ SPRINKLER)
EXIT ACCESS DISTANCE - GROUP A3 = 50'-0" PER 1011.2 (W/ SPRINKLER)

EGRESS LIGHTING
EXIT LIGHTS REQUIRED PER 1003.2.10.1
MEANS OF EGRESS ILLUMINATION TO BE PROVIDED PER 1003.2.11 - MIN 1 FOOT CANDLE AVE
EMERGENCY POWER SHALL BE PROVIDED PER 1003.2.11.2

FIRE EXTINGUISHERS
TYPE OF BUILDING HAZARD - MODERATE
TYPE OF EXTINGUISHER REQUIRED - ABC
MAXIMUM TRAVEL DISTANCE - 75'
NUMBER OF EXTINGUISHERS REQUIRED - ALL LOCATIONS TO BE VERIFIED AT TIME OF INSTALLATION

SANITARY FACILITIES - PER OCCUPANCY
(126) (A-3) 1 PER 126M - 6.51 MEN / 37 WOMEN
(4) (S-1) PER 100 OCCUPANTS = 4.02 MEN / 102 WOMEN
(1) TOTAL MEN FIXTURE REQUIRED / (1.5) FIXTURES PROVIDED
(1) TOTAL WOMEN FIXTURES REQUIRED / (2) FIXTURES PROVIDED

ACCESSIBILITY
PER 1109.13(A) CONTROLS, OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY THE OCCUPANT, INCLUDING SWITCHES THAT CONTROL LIGHTING AND VENTILATION AND ELECTRICAL CONVENIENCE OUTLETS, IN ACCESSIBLE SPACES SHALL BE ACCESSIBLE IN COMPLIANCE WITH ICC/ANSI A117.1.

DESIGN / BUILD GENERAL CONTRACTOR STEEL FABRICATION METAL BUILDINGS
Schuh CONSTRUCTION, INC.
7.9.2018.833.6465 / SCHUHCONSTRUCTION.COM / Established 1976

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date: 10/18/24

Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

PROJECT: DE PERE HISTORICAL SOCIETY BID SET
NEW WHITE PILLARS BUILDING
403 N BROADWAY

PROJECT NO.: 24-277

SHEET NO.: LS1.0

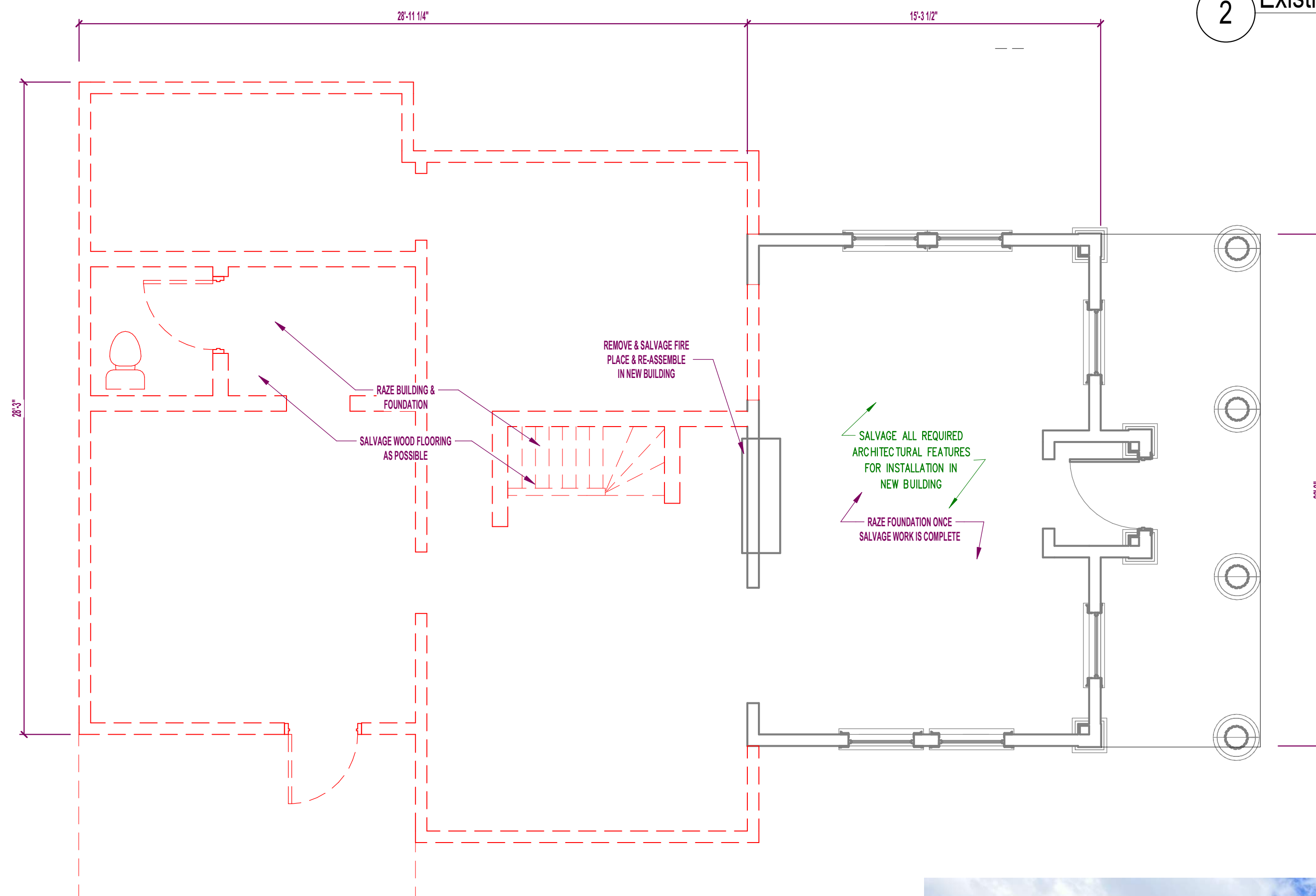
LIFE SAFETY PLAN



5 Existing N



2 Existing NE



1 EXISTING/DEMO PLAN
1/4" = 1'-0"



4 Existing S



3 Existing SE

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

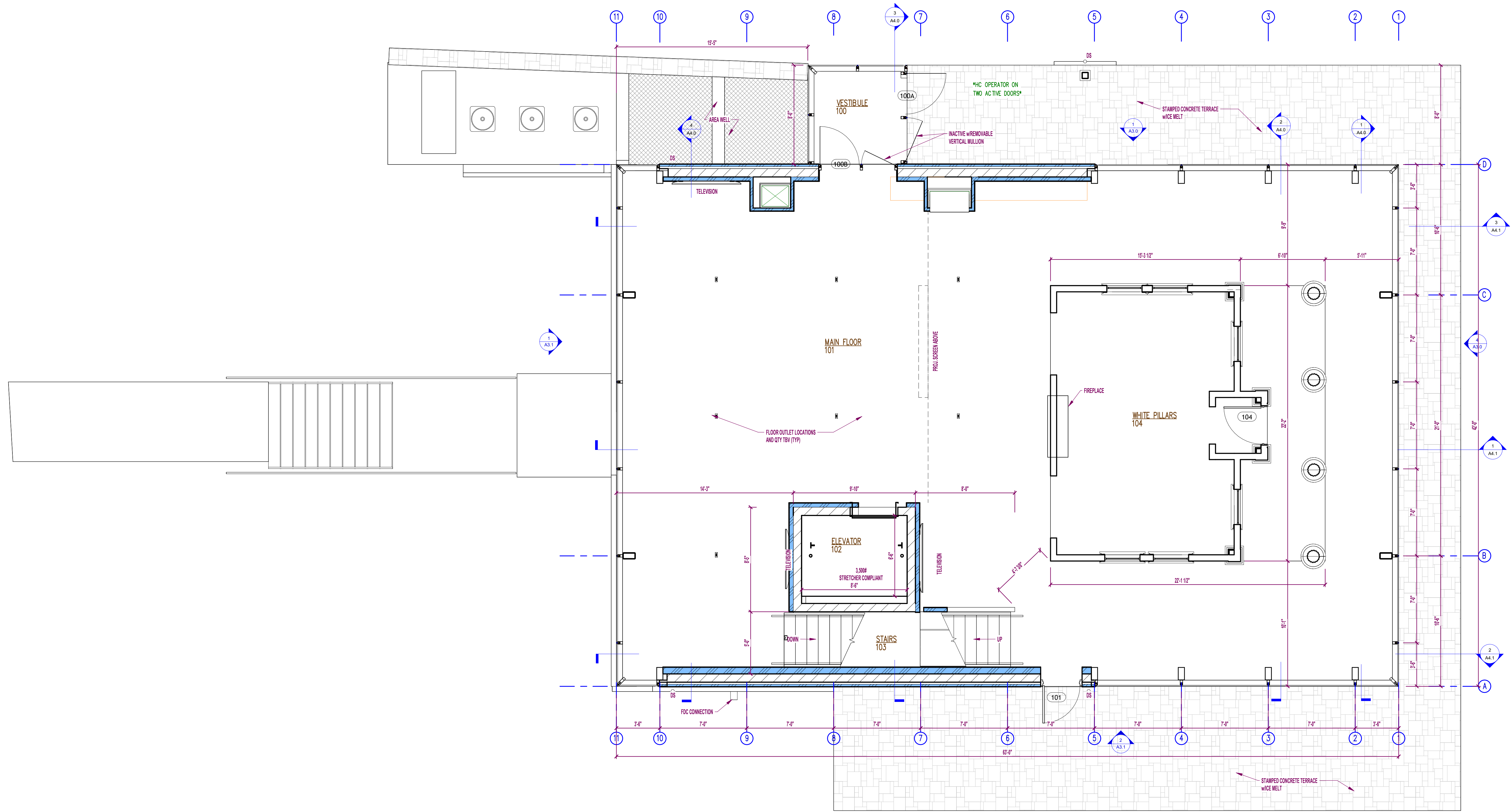
Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

PROJECT:
**DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
D1.0



1st Floor Plan
 1/4" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
 10/18/24

Revision History

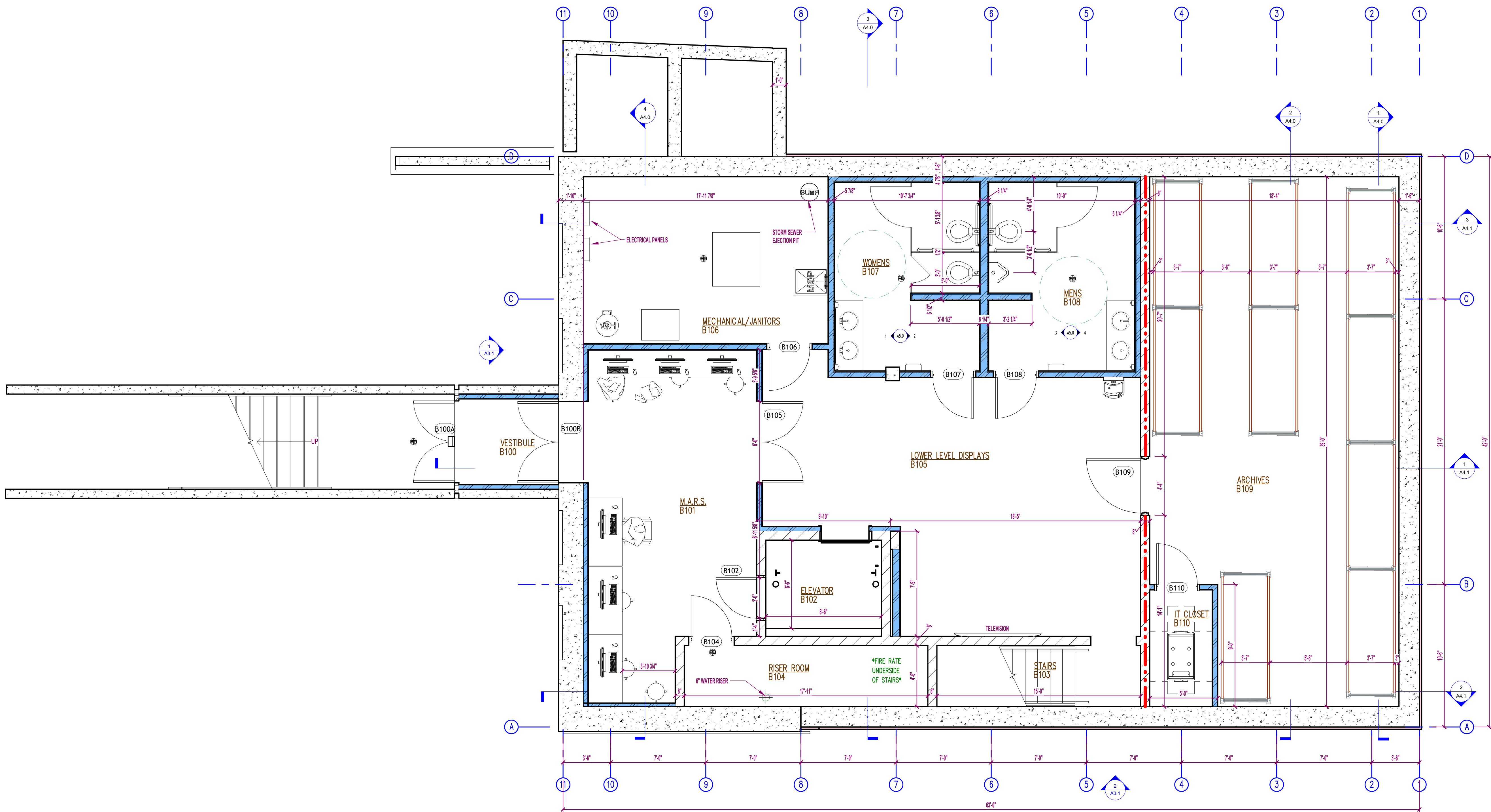
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR CONSTRUCTION

PROJECT:
DE PERE HISTORICAL SOCIETY BUILDING
 NEW WHITE PILLARS BUILDING
 403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A1.0



Basement Plan
1/4" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History

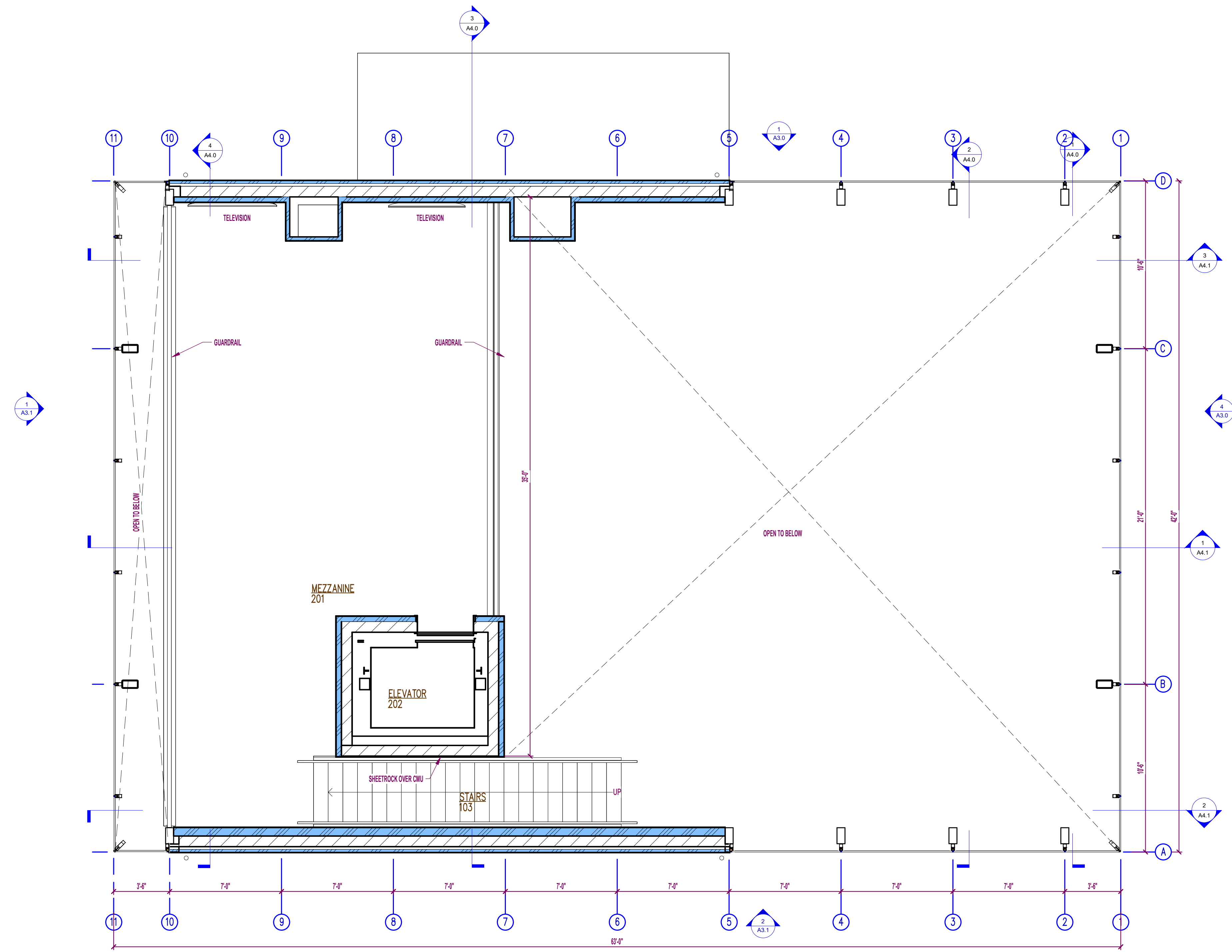
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

PROJECT:
**DE PERE HISTORICAL SOCIETY BUILDING
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A1.1



1 Mezzanine Plan
1/4" = 1'-0"

DESIGN / BUILD
GENERAL CONTRACTOR
STEEL FABRICATION
BUTLER
METAL BUILDINGS
Established 1976
T.920.833.6465 / SCHUHCONSTRUCTION.COM

Schuh
CONSTRUCTION, INC.
T.920.833.6465 / SCHUHCONSTRUCTION.COM / Established 1976

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

PROJECT:
**DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

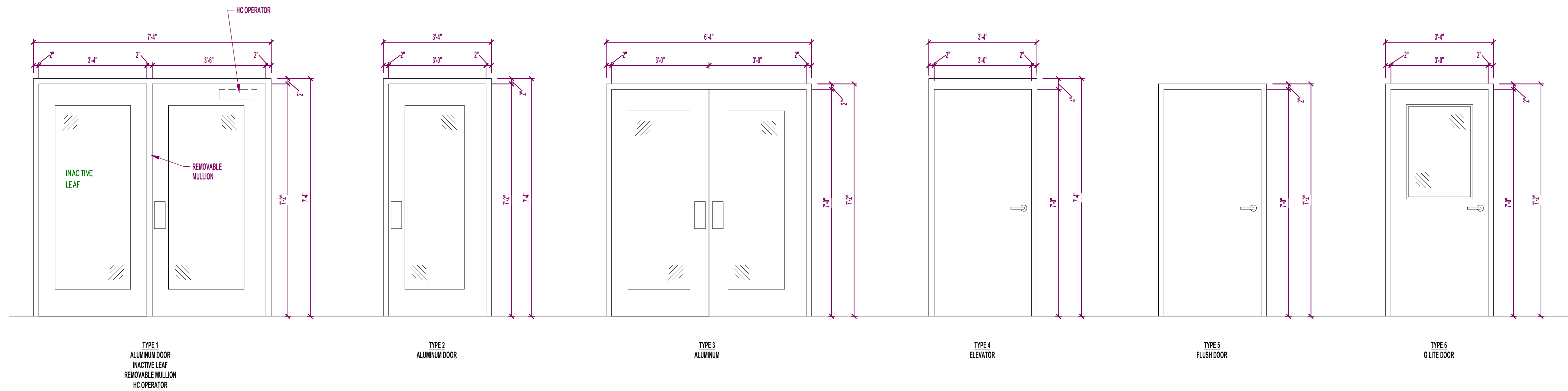
PROJECT NO.:
24-277

SHEET NO.:

A1.2

MEZZANINE PLAN

Author: 10/20/23 12:30:06 PM



DOOR TYPES WALK DOORS
1/2" = 1'-0"

DOOR AND FRAME SCHEDULE																							
MARK	ROOM NAME	DOOR TYPE	DOOR SWING	DOOR SIZE	DOOR MAT'L	DOOR LITE	FRAME MAT'L	FRAME HEAD	FRAME ANCHOR	FIRE RATING	HDW SET	LOCKSET	PANIC	PUSH/PU LL	CLOSER	KICK PLATE	DOOR STOP	WEATHER STRIP	THRESH HOLD	SWEEP	POWER ASSIST	REMARKS	MARK
10A	VESTIBULE	1	LH	3672	ALUM		ALUM	2"				ENTRY						Yes	Yes	Yes		HC OPERATOR	10A
10B	VESTIBULE	1	LH	3672	ALUM		ALUM	2"				ENTRY						Yes	Yes	Yes		HC OPERATOR	10B
101	MAIN FLOOR	2	RH	3072	ALUM		ALUM	4"				ENTRY			Yes			Yes	Yes	Yes			101
104	WHITE PILLARS		RH																			EXISTING	104
B10A	VESTIBULE	3	LHRH	6070	ALUM		ALUM	2"				ENTRY			Yes			Yes	Yes	Yes			B10A
B10B	VESTIBULE	3	LHRH	6070	ALUM		ALUM	2"				ENTRY			Yes			Yes	Yes	Yes			B10B
B102	ELEVATOR	4	RH	3070	HM		HM	4"				STORAGE						Yes	Yes	Yes		ELEVATOR - Surface Mount Frame	B102
B104	ROSER ROOM	5	LH	3070	HM		HM	4"				STORAGE			Yes			Yes	Yes	Yes			B104
B105	LOWER LEVEL DISPLAYS	3	LHRH	6070	ALUM		ALUM	2"				ENTRY						Yes	Yes	Yes			B105
B106	MECHANICAL/UNITS	5	LH	3070	WOOD		HM	2"				STORAGE						Yes					B106
B107	WOMENS	5	RH	3070	WOOD		HM	2"						Yes	Yes			Yes					B107
B108	MENS	5	LH	3070	WOOD		HM	2"						Yes	Yes			Yes					B108
B109	ARCHIVES	5	RH	4070	HM		HM	4"		1 HOUR		ENTRY			Yes			Yes	Yes	Yes			B109
B110	IT CLOSET	5	LH	3070								STORAGE											B110

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/25/24

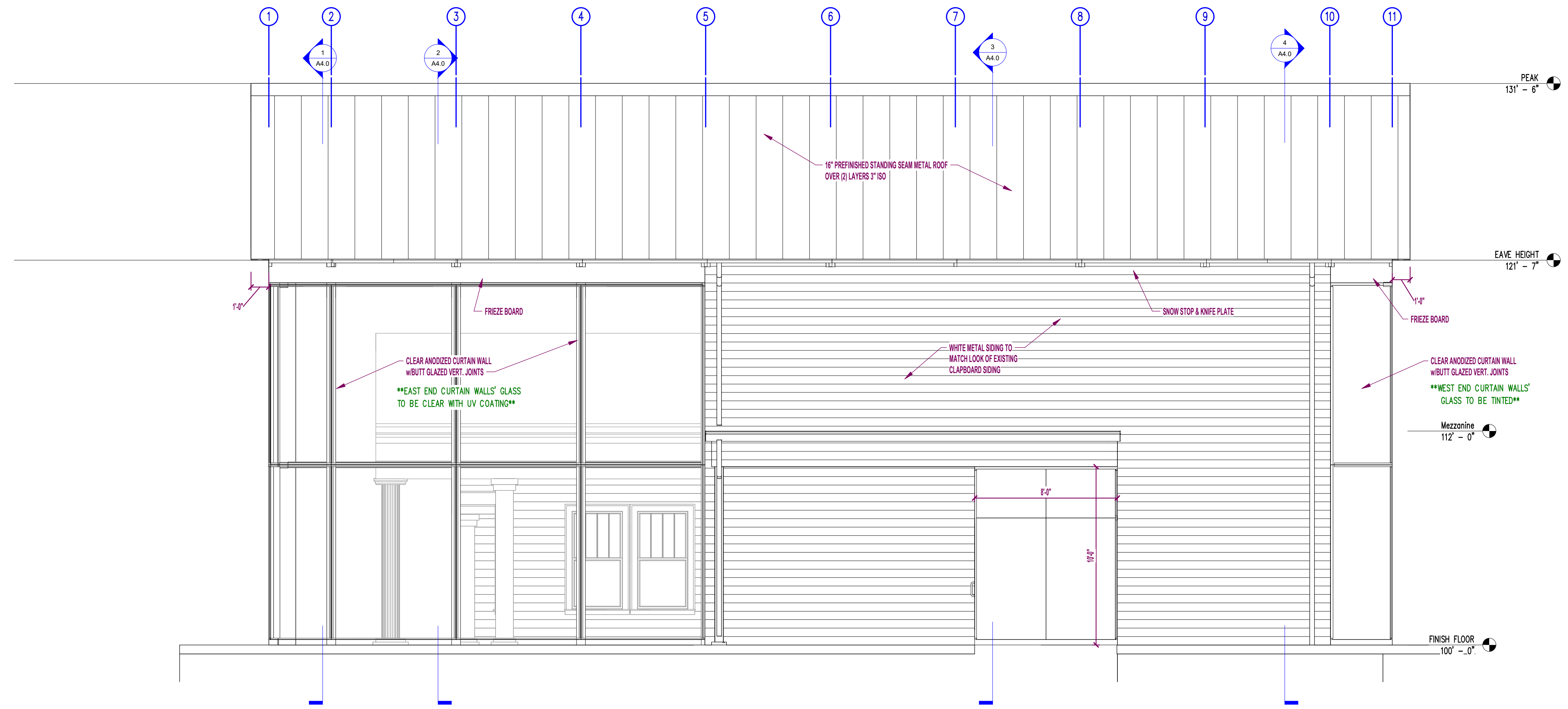
Revision History	
Revision Description	Revision Date
Rev 2	10/31/24
Rev 3	11/11/24
Rev 4	11/13/24
Rev 5	01/03/25

PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION

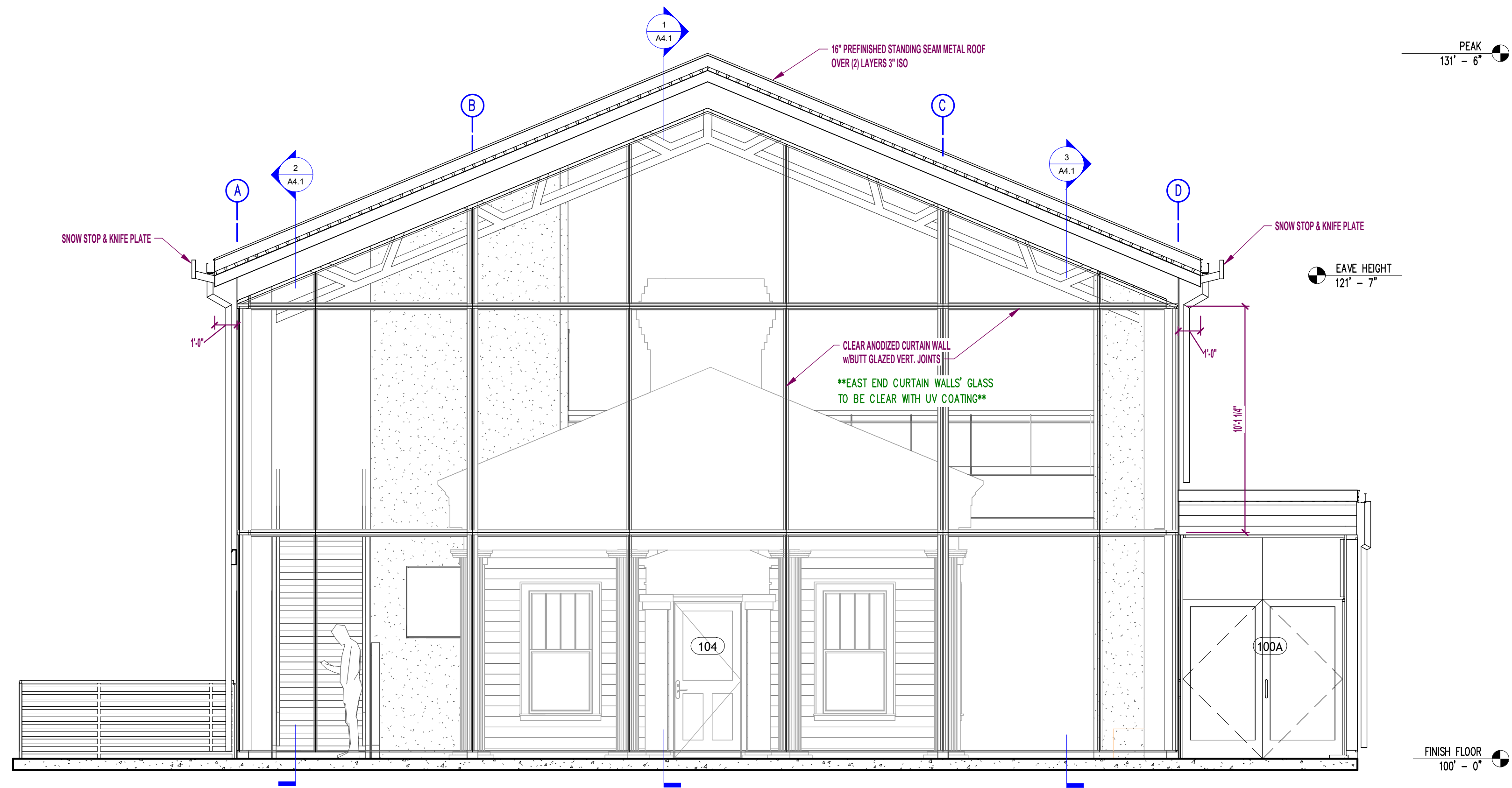
PROJECT:
DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A2.0



1 NORTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

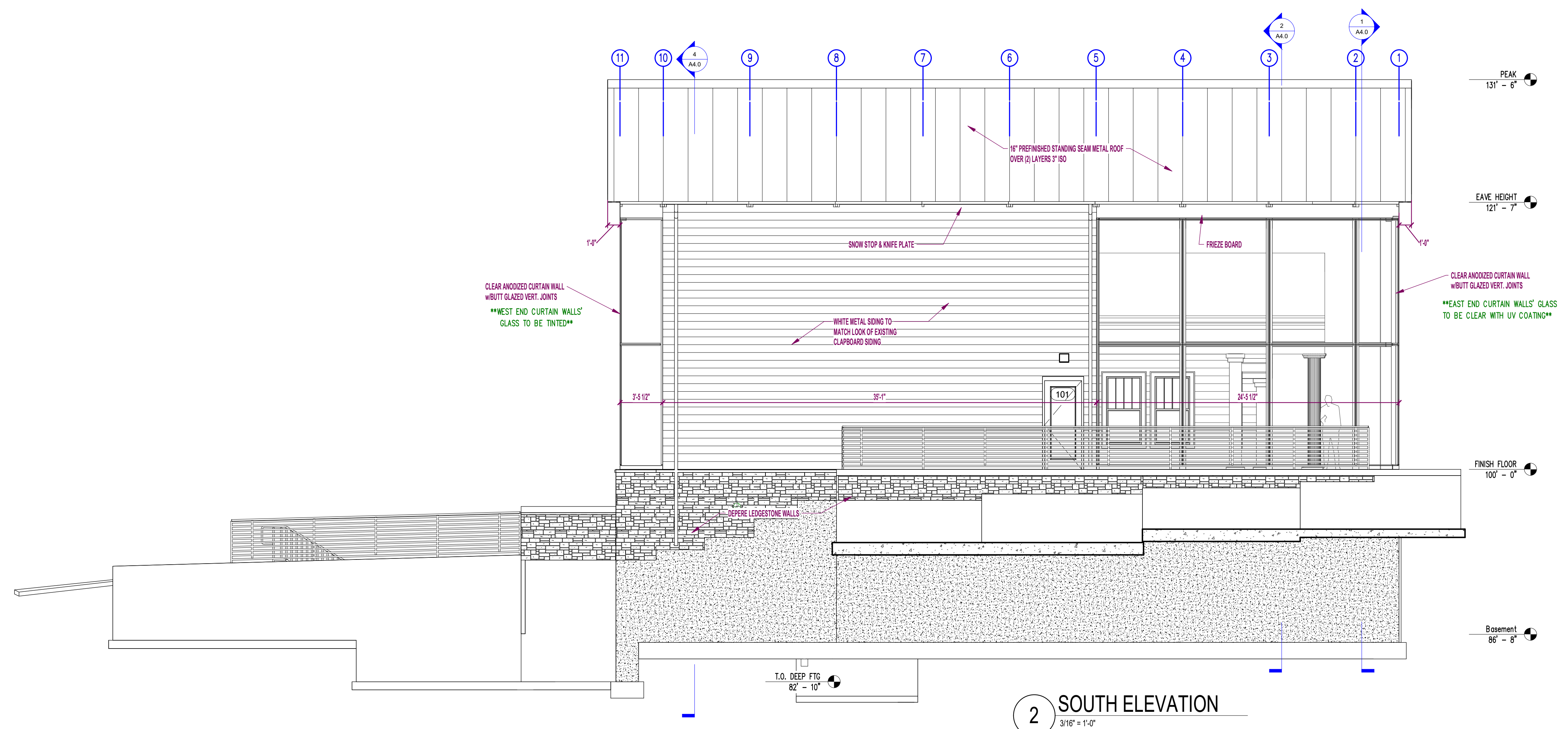
Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
PROPOSED BID SET
NOT INTENDED FOR
CONSTRUCTION**

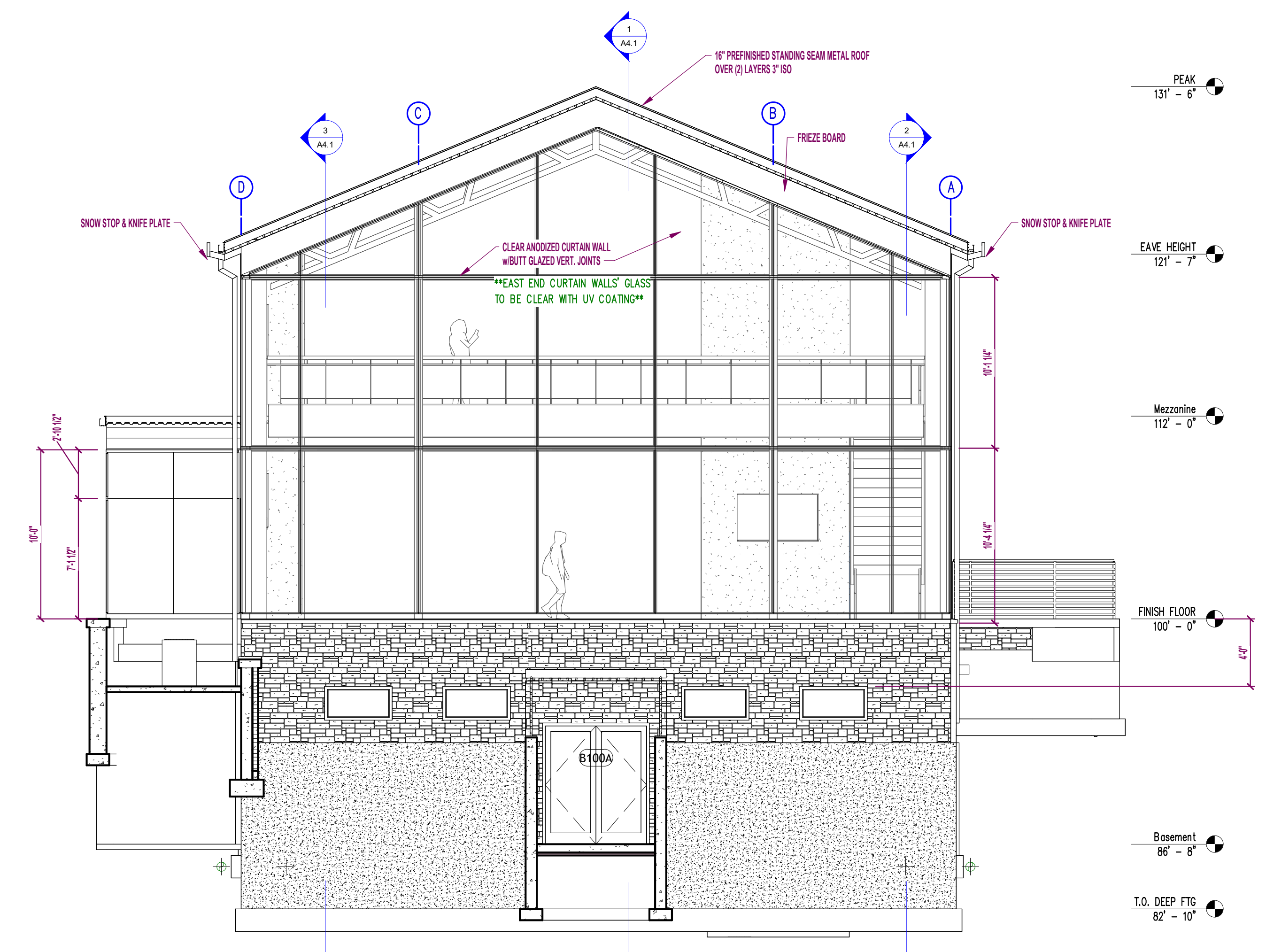
PROJECT:
DE PERE HISTORICAL SOCIETY BUILDING
NEW WHITE PILLARS BUILDING
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A3.0



2 SOUTH ELEVATION
3/16" = 1'-0"



1 WEST ELEVATION
3/16" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History

Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

PROJECT:
**DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A3.1

EXTERIOR ELEVATIONS



2 Exterior Render 2
1/8" = 1'-0"



1 Exterior Render 1
1/8" = 1'-0"



3 Exterior Render 3
1/8" = 1'-0"



4 Exterior Render 4
1/8" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History

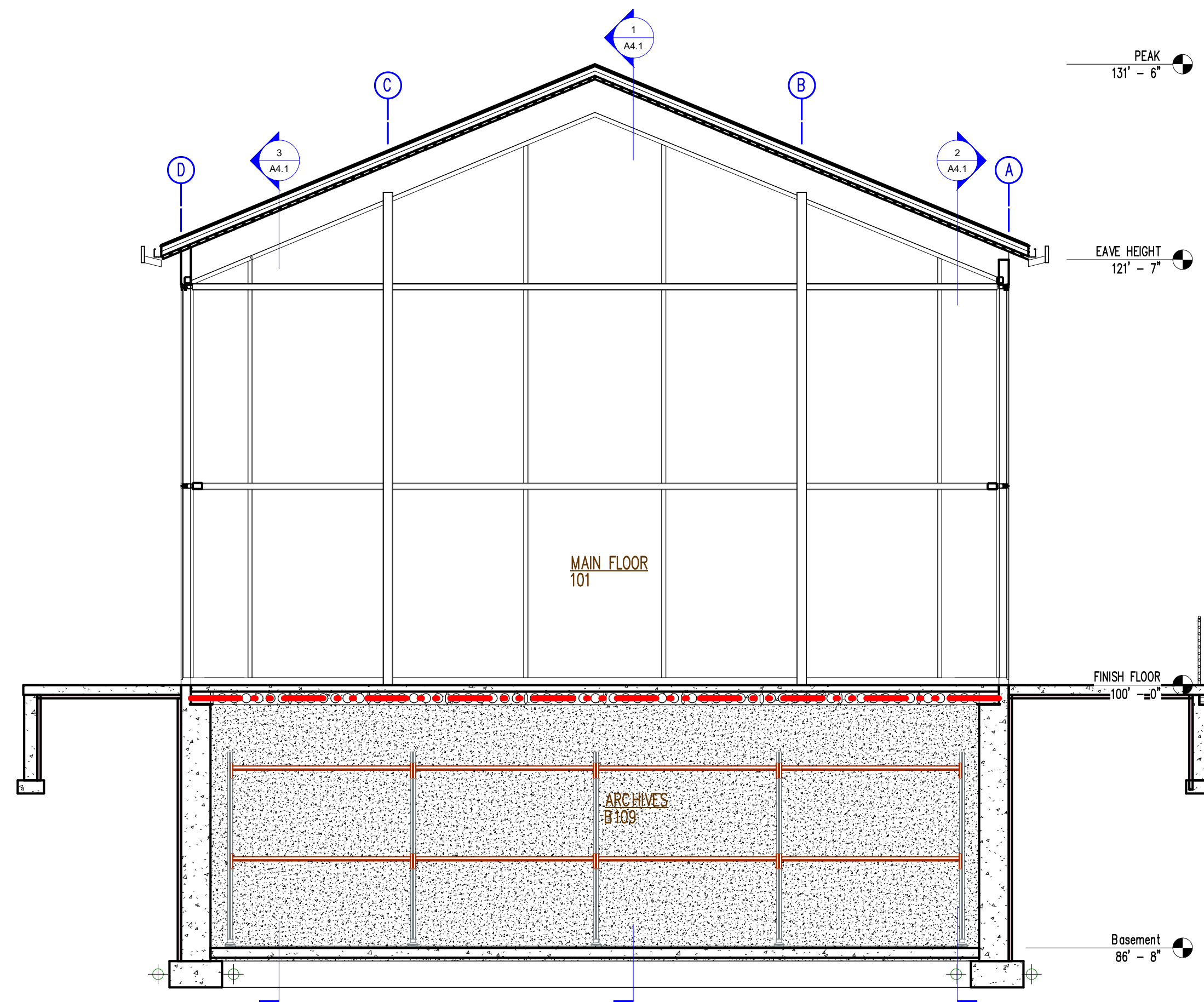
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION

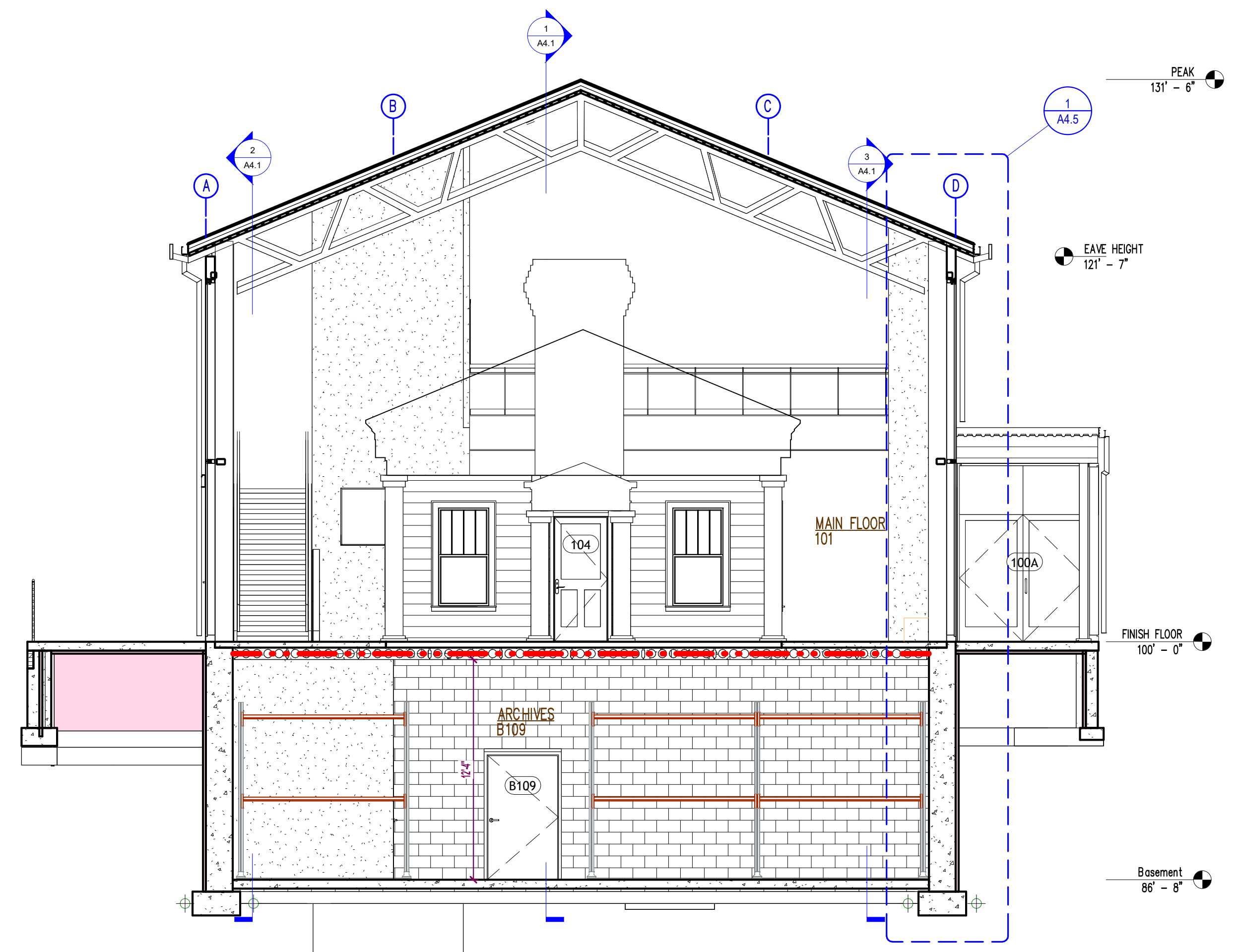
PROJECT:
DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING
403 N BROADWAY

PROJECT NO.:
24-277

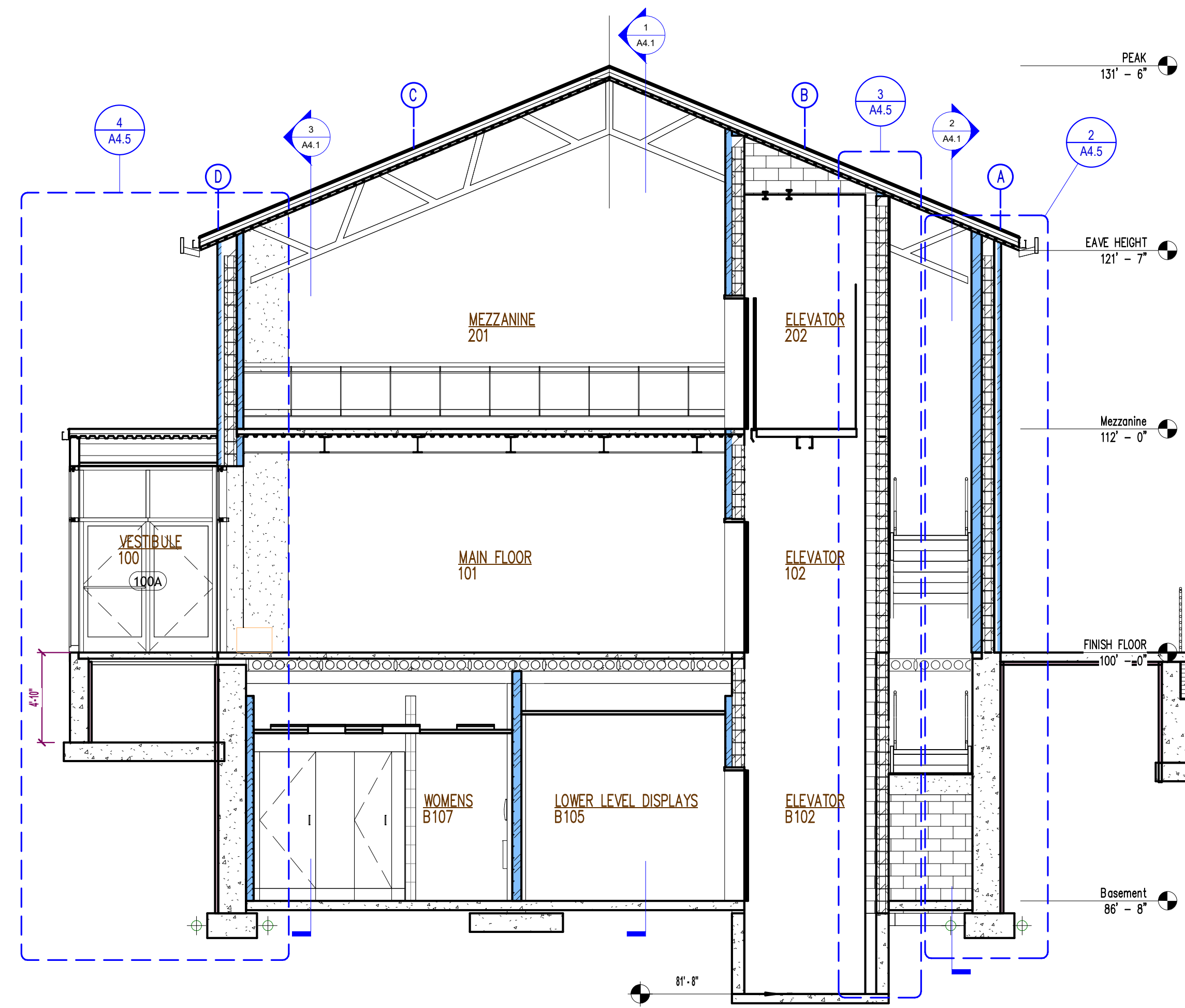
SHEET NO.:
A3.2



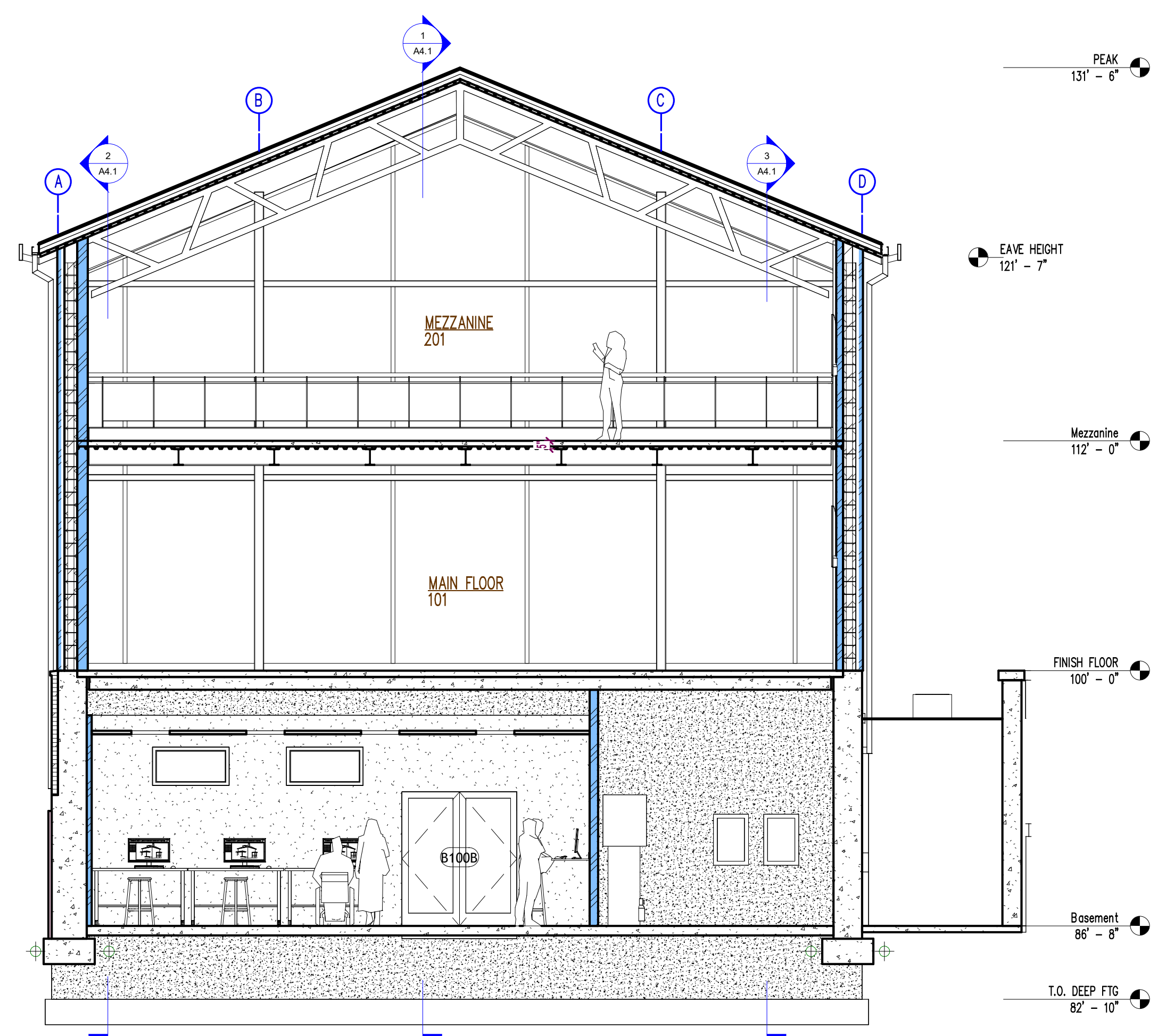
1 N/S Building Section 1
3/16" = 1'-0" LOOKING EAST



2 N/S Building Section 2
3/16" = 1'-0" LOOKING WEST



3 N/S Building Section 3
3/16" = 1'-0" LOOKING WEST



4 N/S Building Section 4
3/16" = 1'-0" LOOKING WEST

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

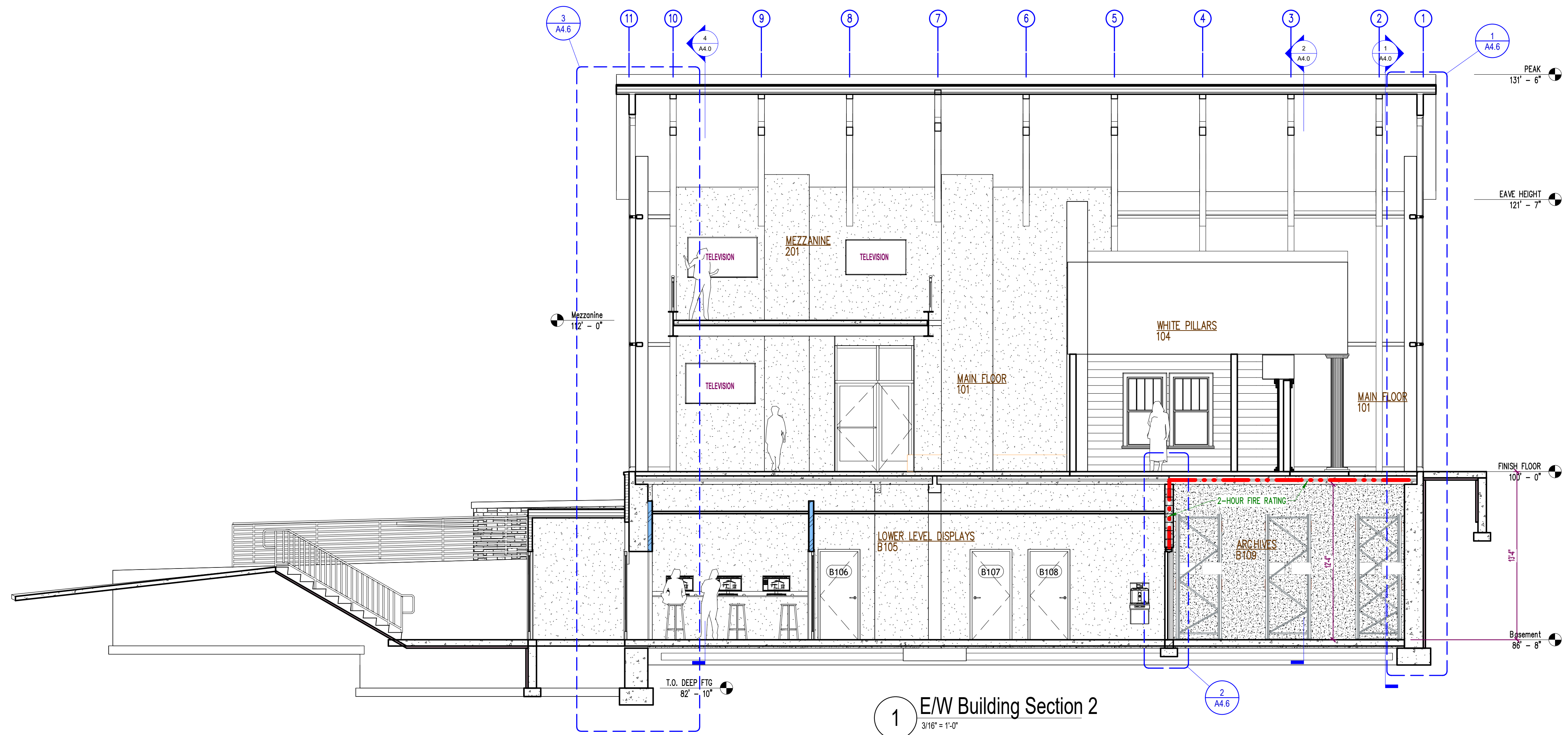
Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION

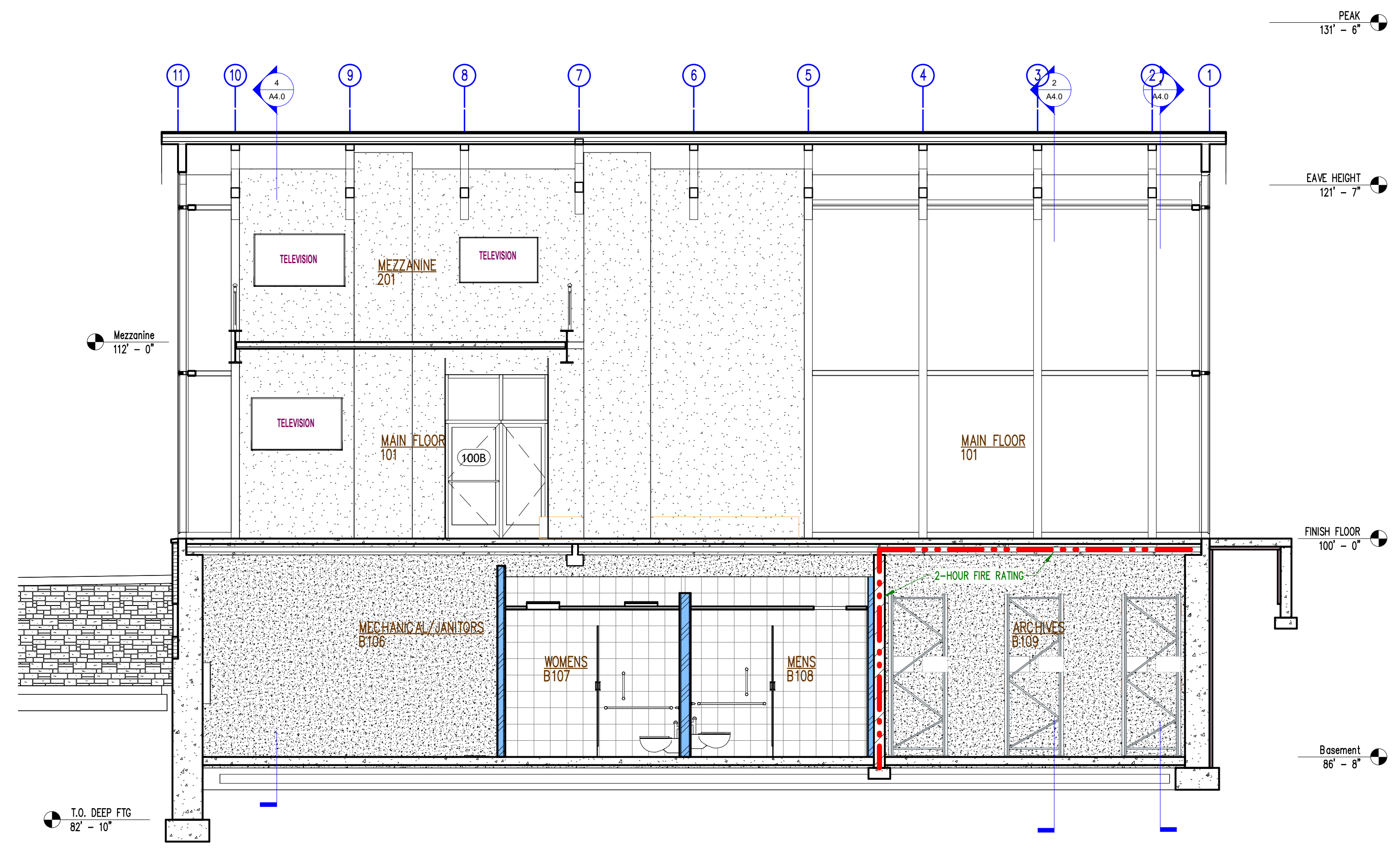
PROJECT:
DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING
403 N BROADWAY

PROJECT NO.:
24-277

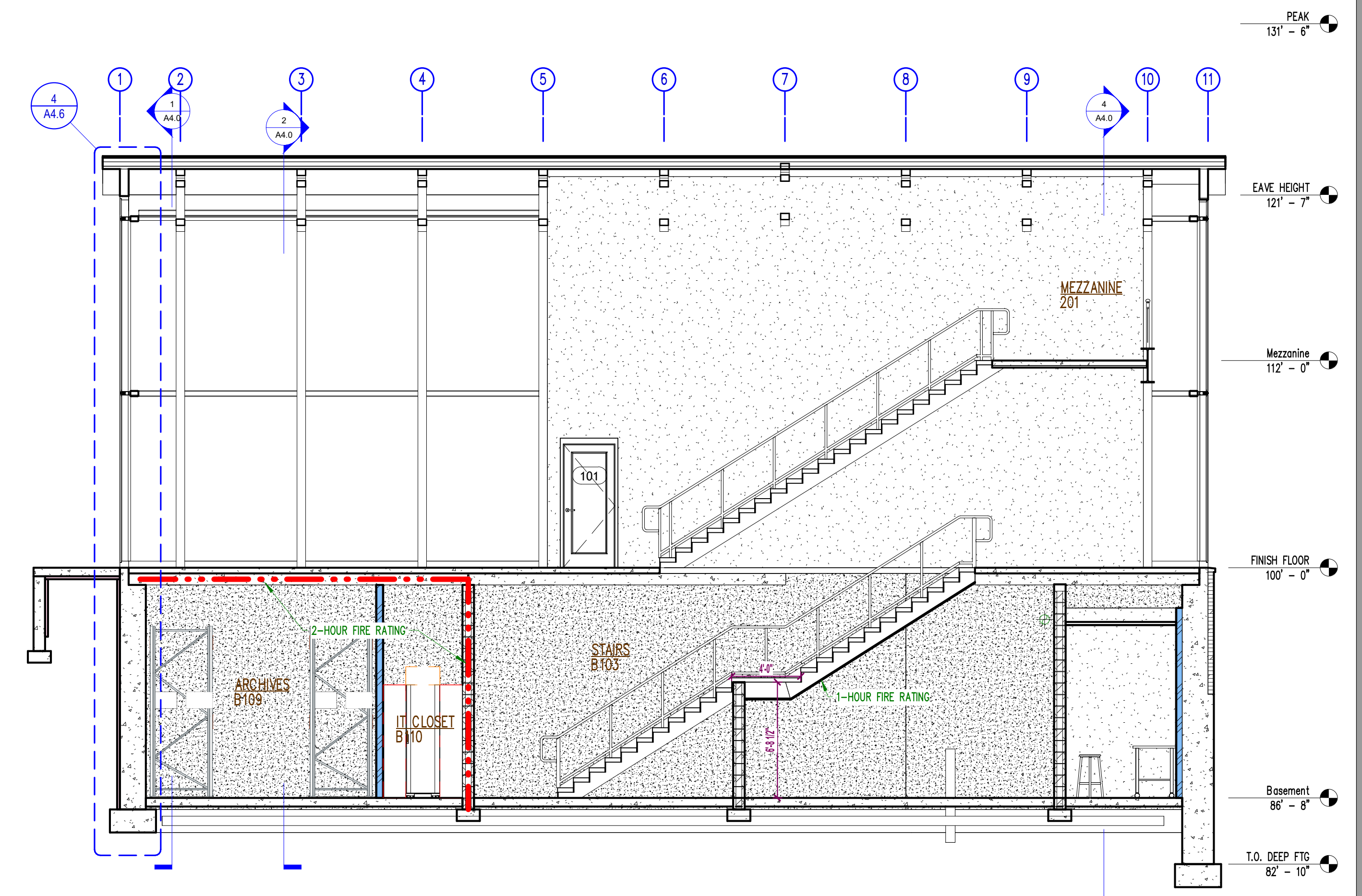
SHEET NO.:
A4.0



1 E/W Building Section 2
3/16" = 1'-0"



3 E/W Building Section 4
3/16" = 1'-0"



2 E/W Stairwell Section
3/16" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION

PROJECT:
DE PERE HISTORICAL SOCIETY BUILDING
NEW WHITE PILLARS BUILDING
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A4.1

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

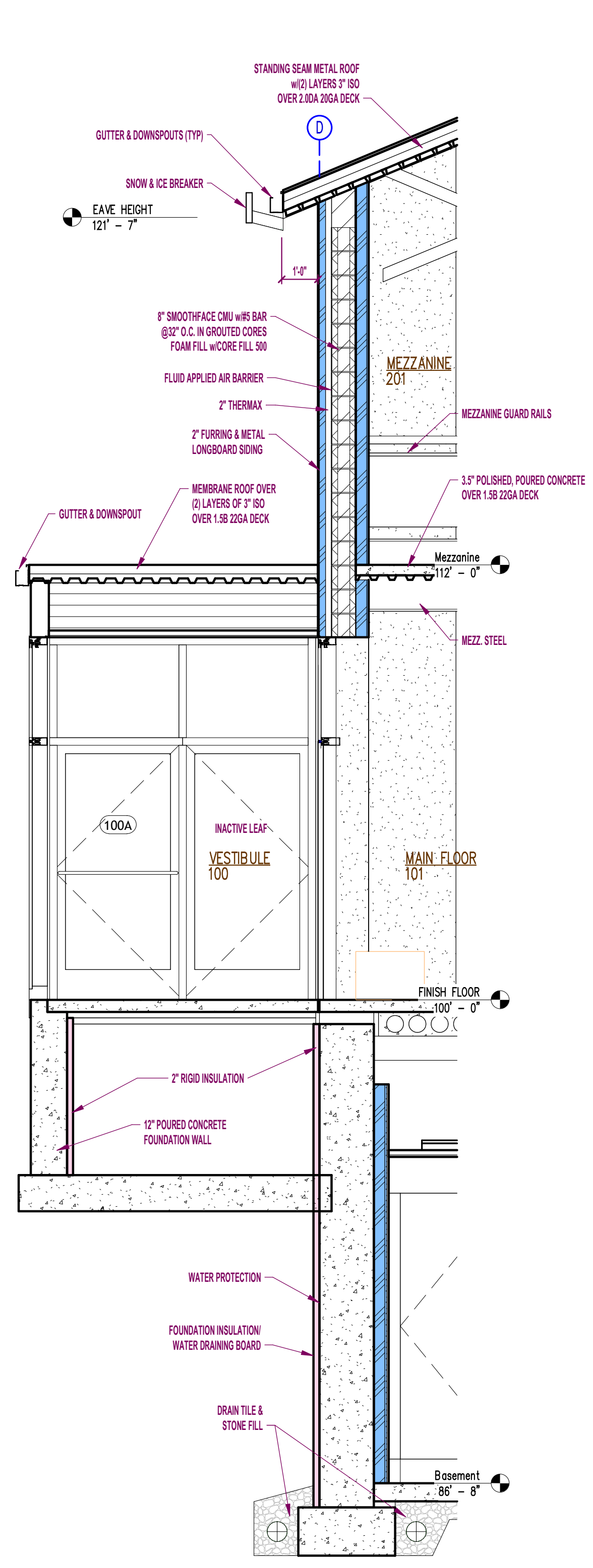
PRELIMINARY
BID SET
NOT INTENDED FOR
CONSTRUCTION

PROJECT:
DE PERE HISTORICAL SOCIETY BUILDING
NEW WHITE PILLARS BUILDING
403 N BROADWAY

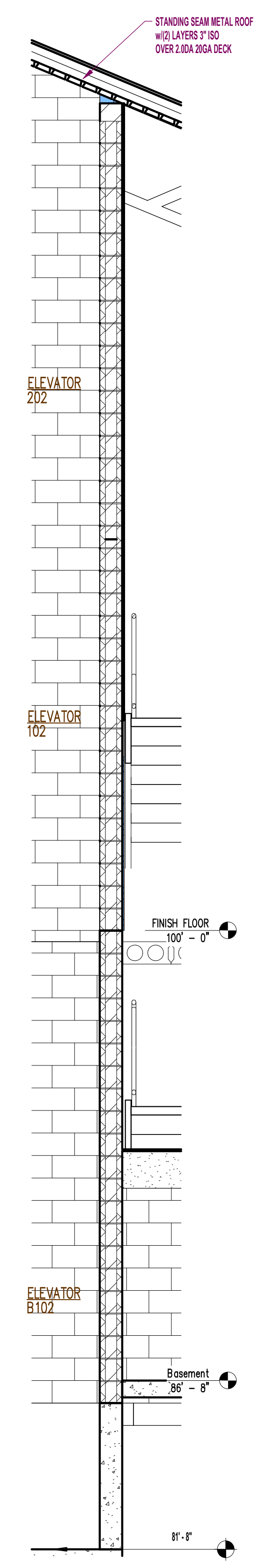
PROJECT NO.:
24-277

SHEET NO.:
A4.5

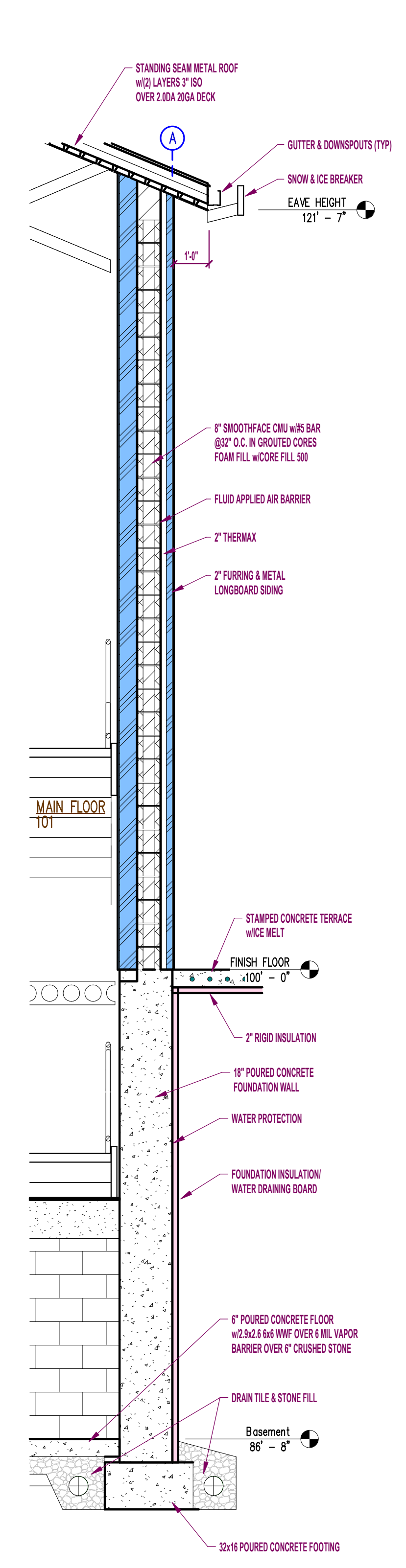
N/S WALL SECTIONS



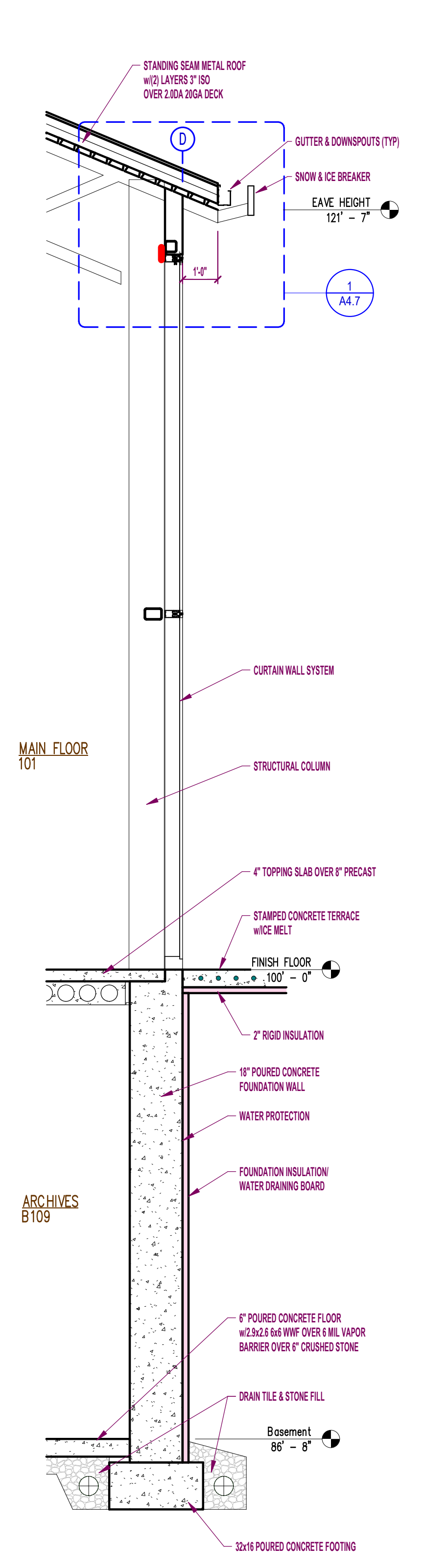
4 Wall Section 4
3/8" = 1'-0"



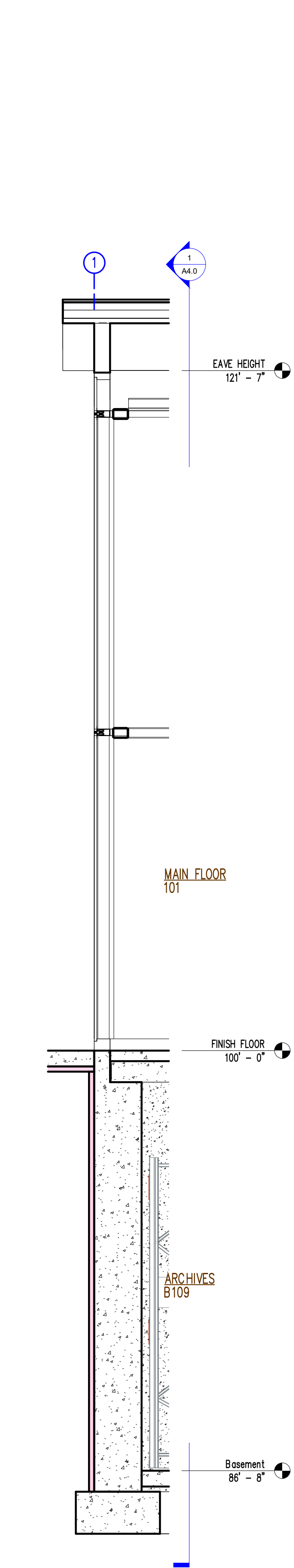
3 Wall Section 3
3/8" = 1'-0"



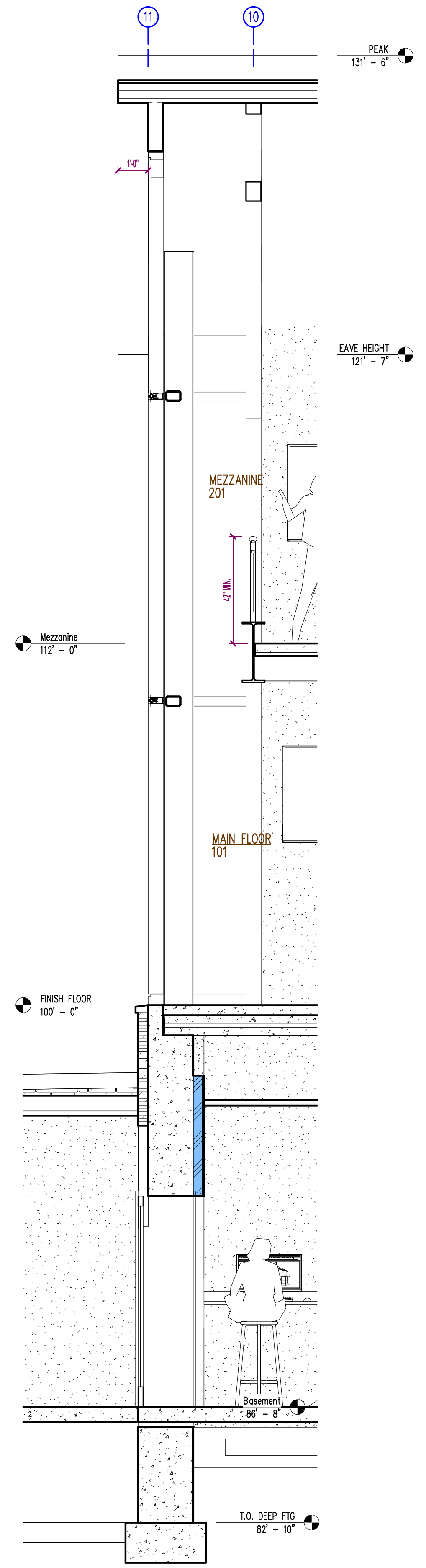
2 Wall Section 2
3/8" = 1'-0"



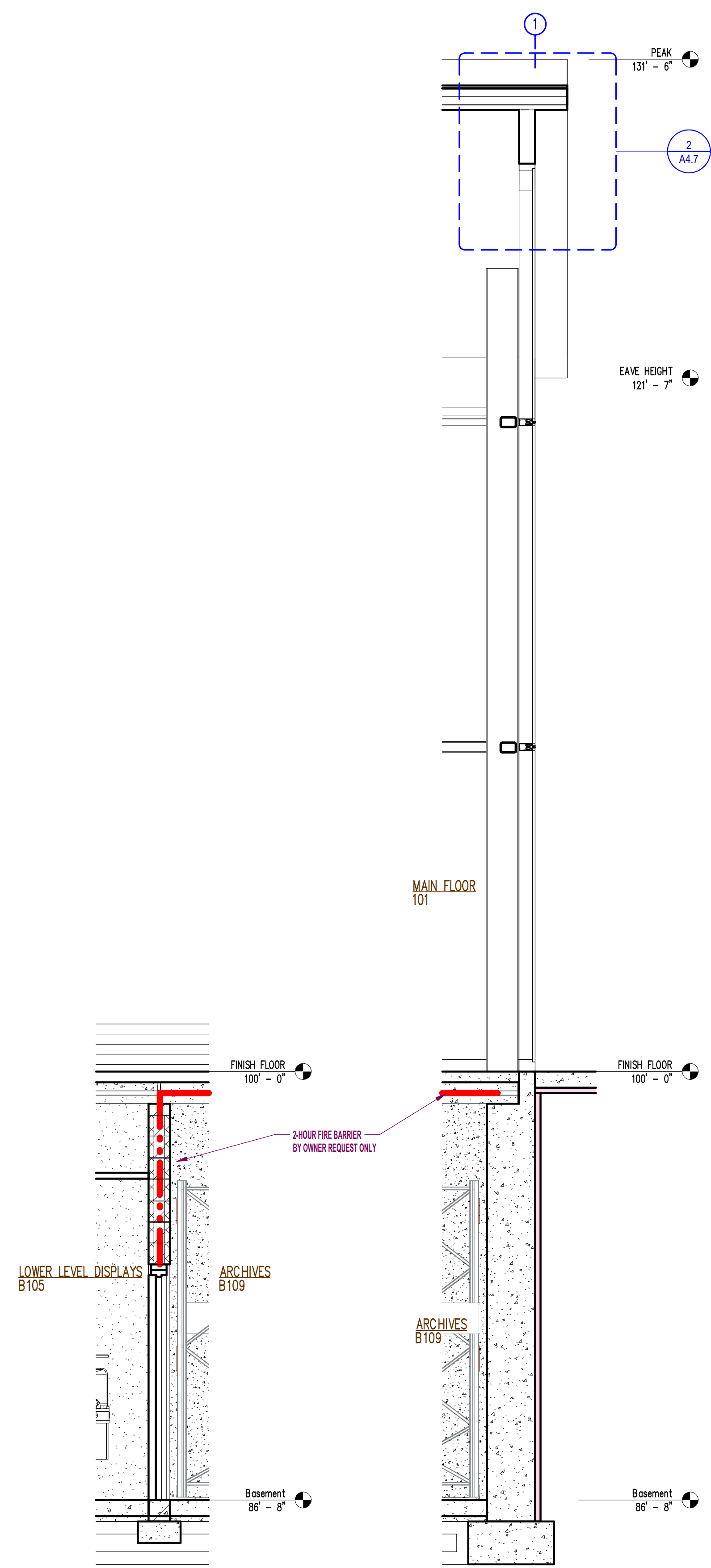
1 Wall Section 1
3/8" = 1'-0"



4 Wall Section 8
3/8" = 1'-0"



3 Wall Section 7
3/8" = 1'-0"



2 Wall Section 6
3/8" = 1'-0"

1 Wall Section 5
3/8" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

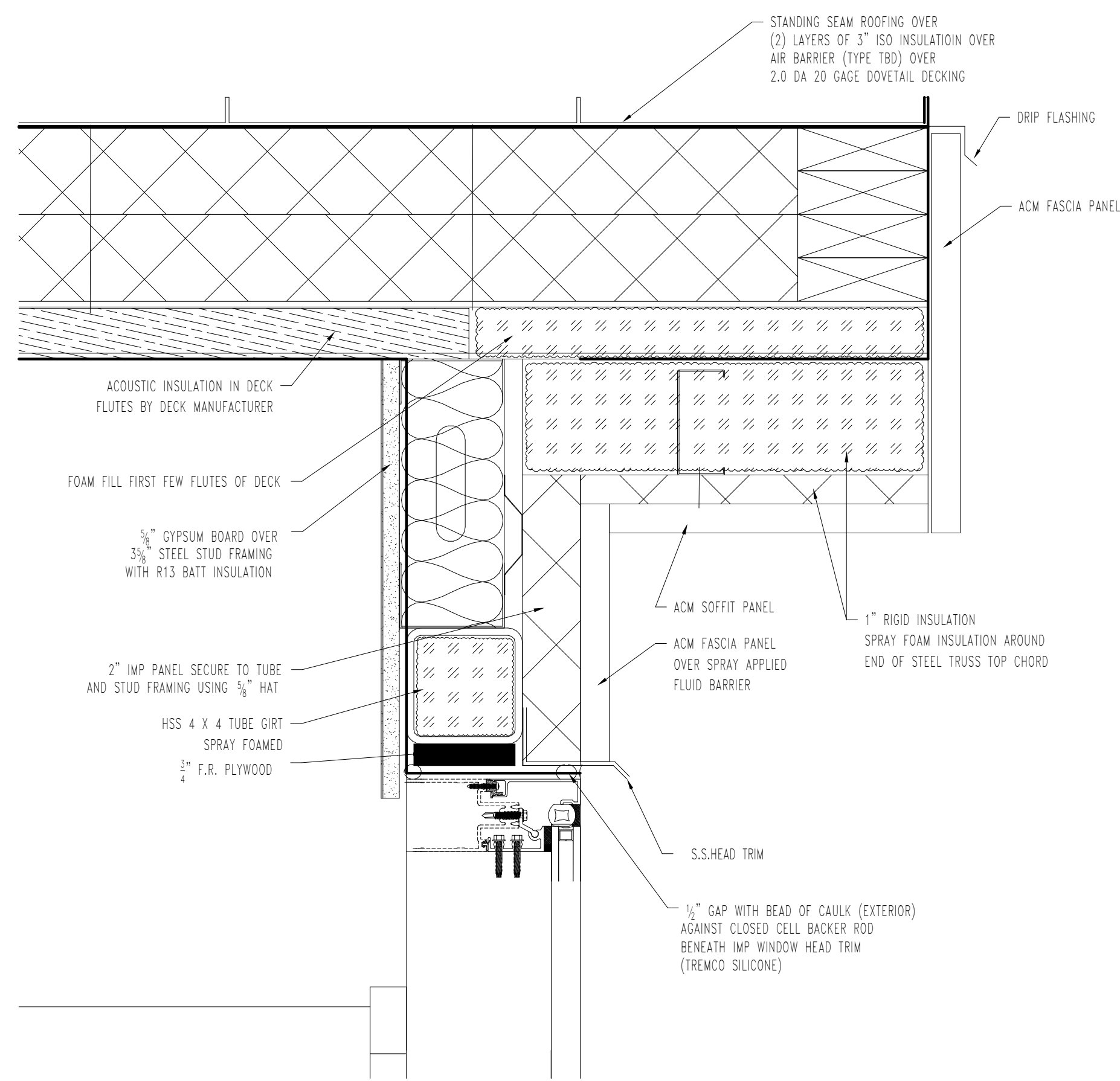
Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

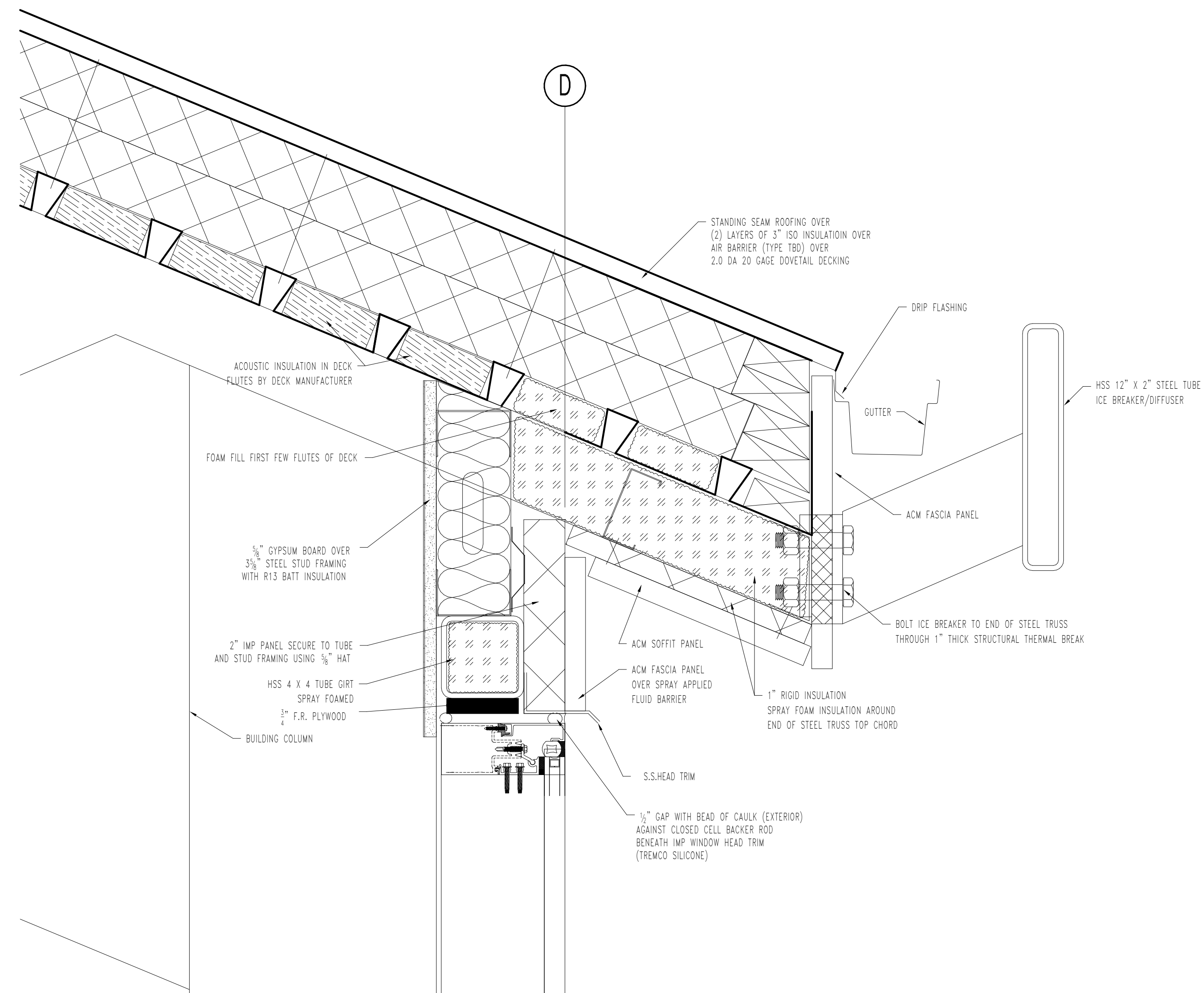
PROJECT:
**DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A4.6



2 EAVE DETAIL 2
3" = 1'-0"



1 EAVE DETAIL 1
3" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/31/24

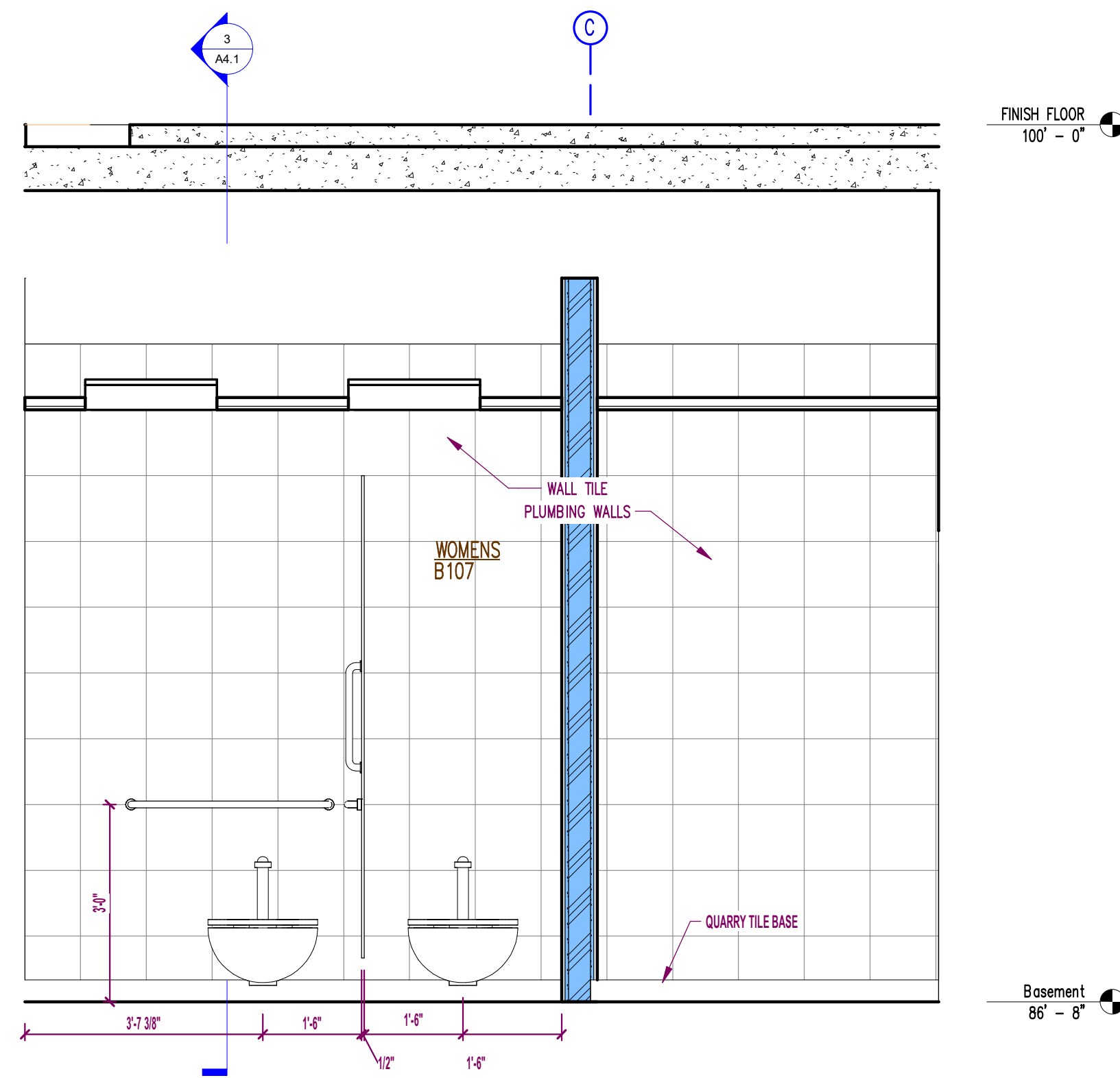
Revision History	
Revision Description	Revision Date
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

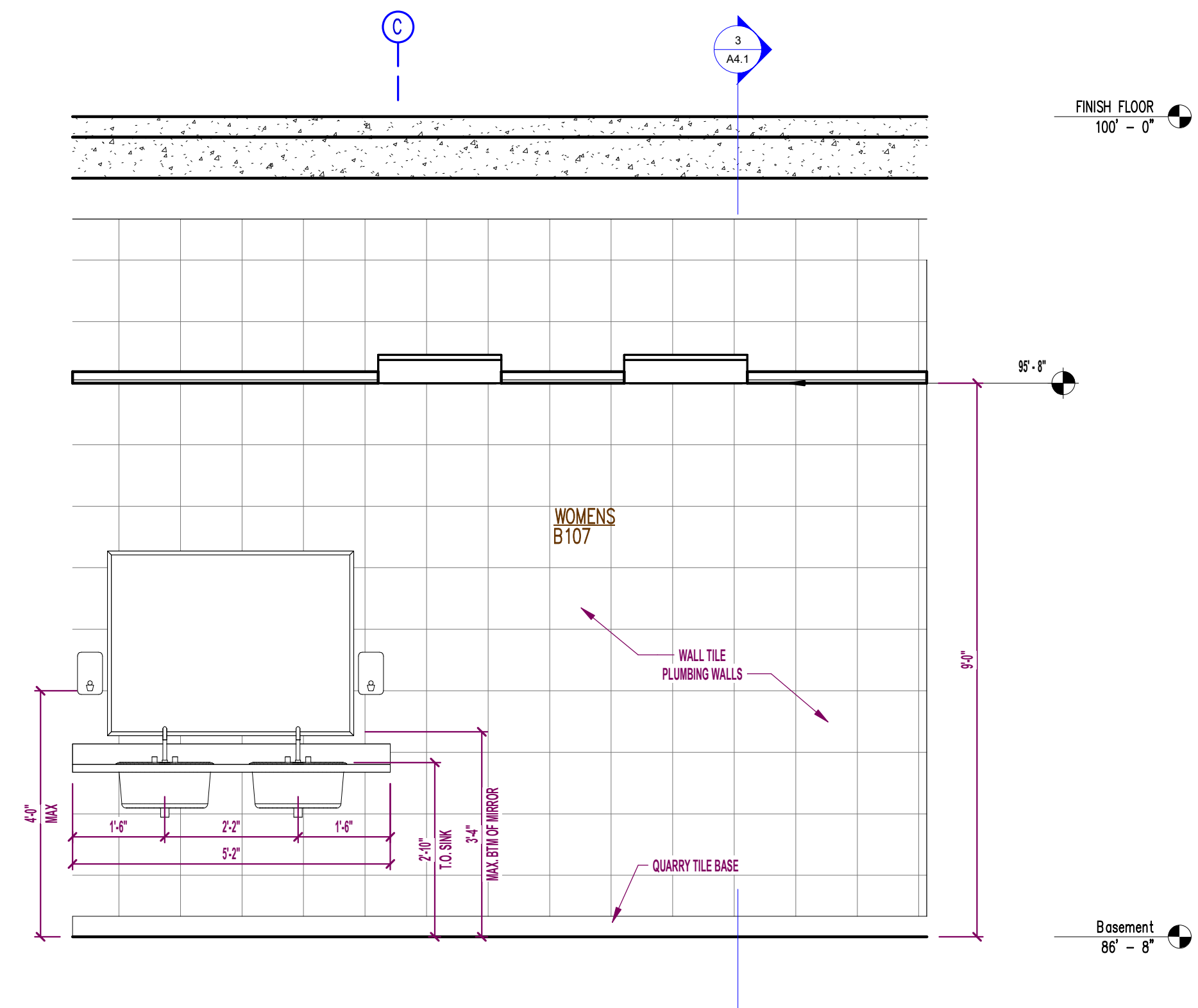
PROJECT:
**DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A4.7

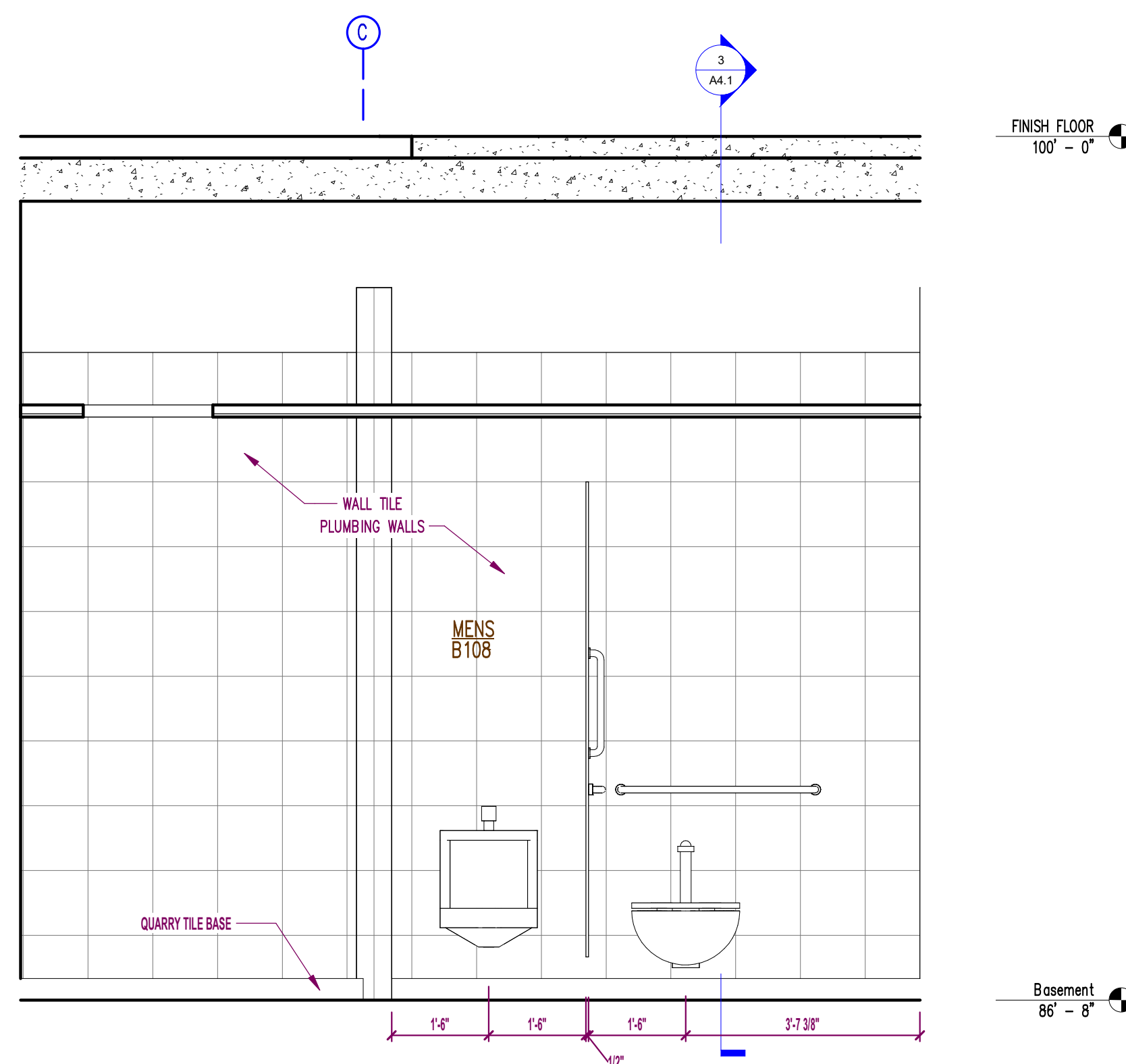


2 WOMENS R/R EAST
1/2" = 1'-0"

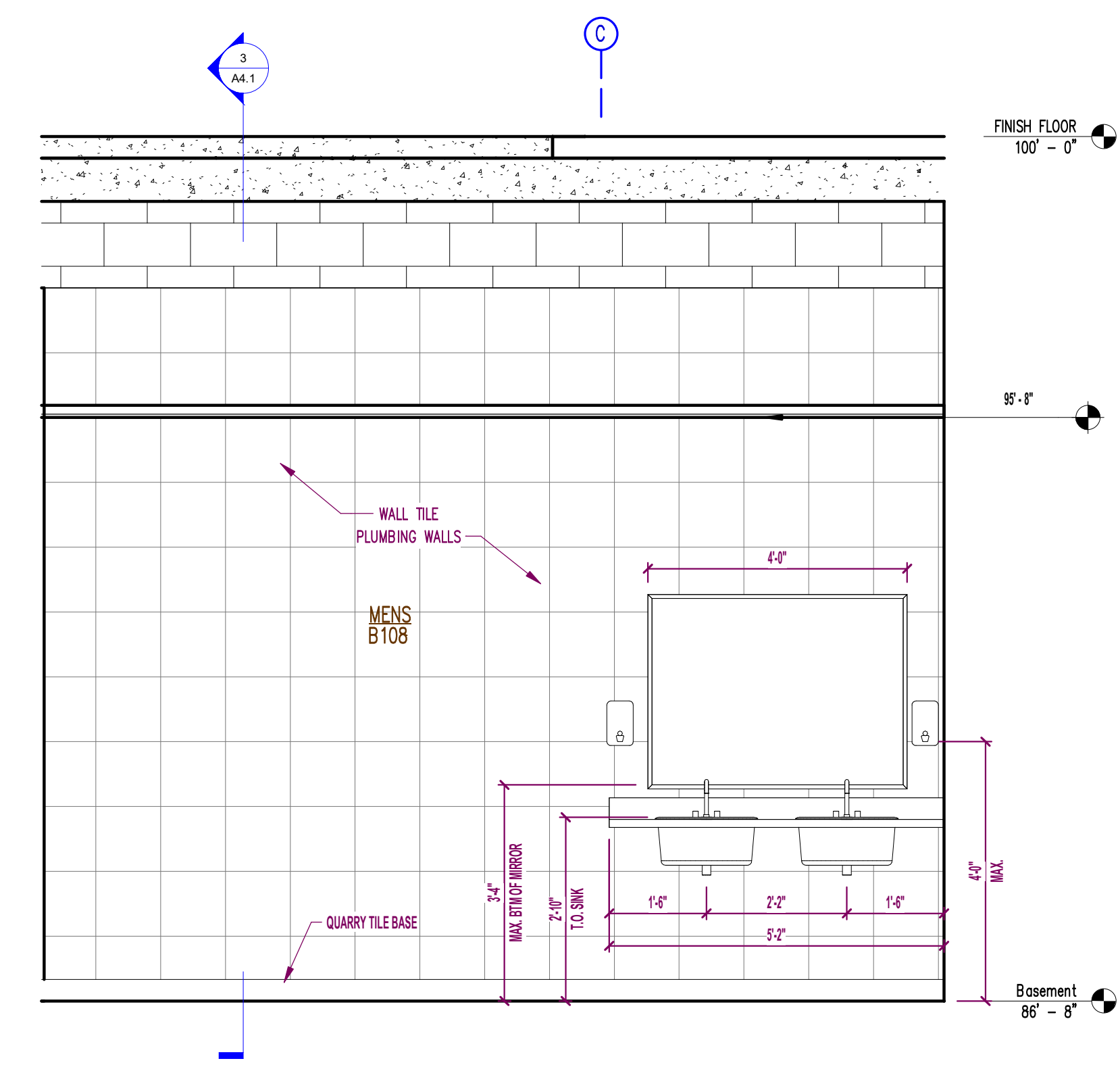


1 WOMENS R/R WEST
1/2" = 1'-0"

- RESTROOM PLUMBING WALLS TO BE WALL TILE
- POLISHED CONCRETE FLOORS
- QUARRY TILE BASE



3 MENS R/R WEST
1/2" = 1'-0"



4 MENS R/R EAST
1/2" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

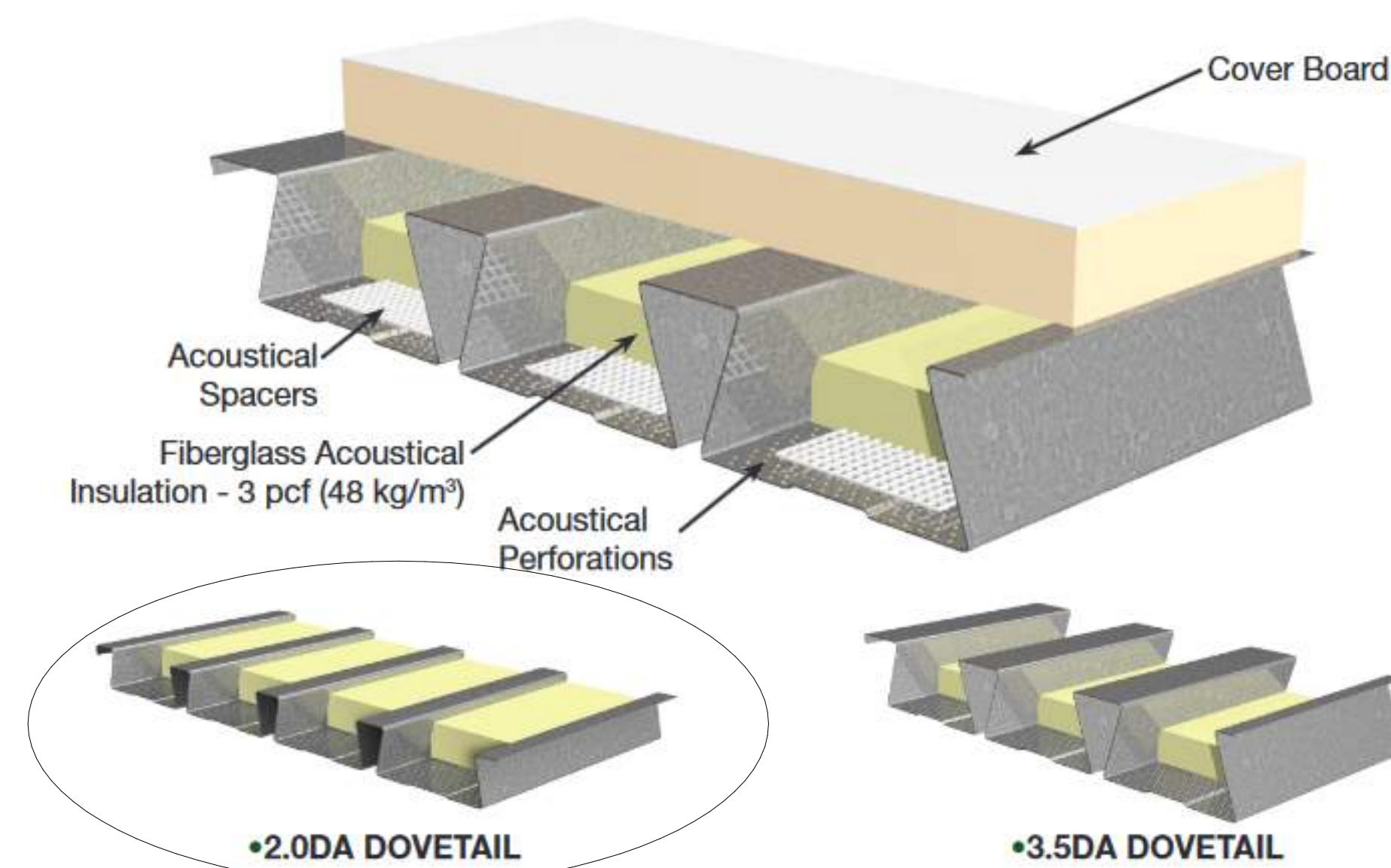
PROJECT:
**DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A5.0

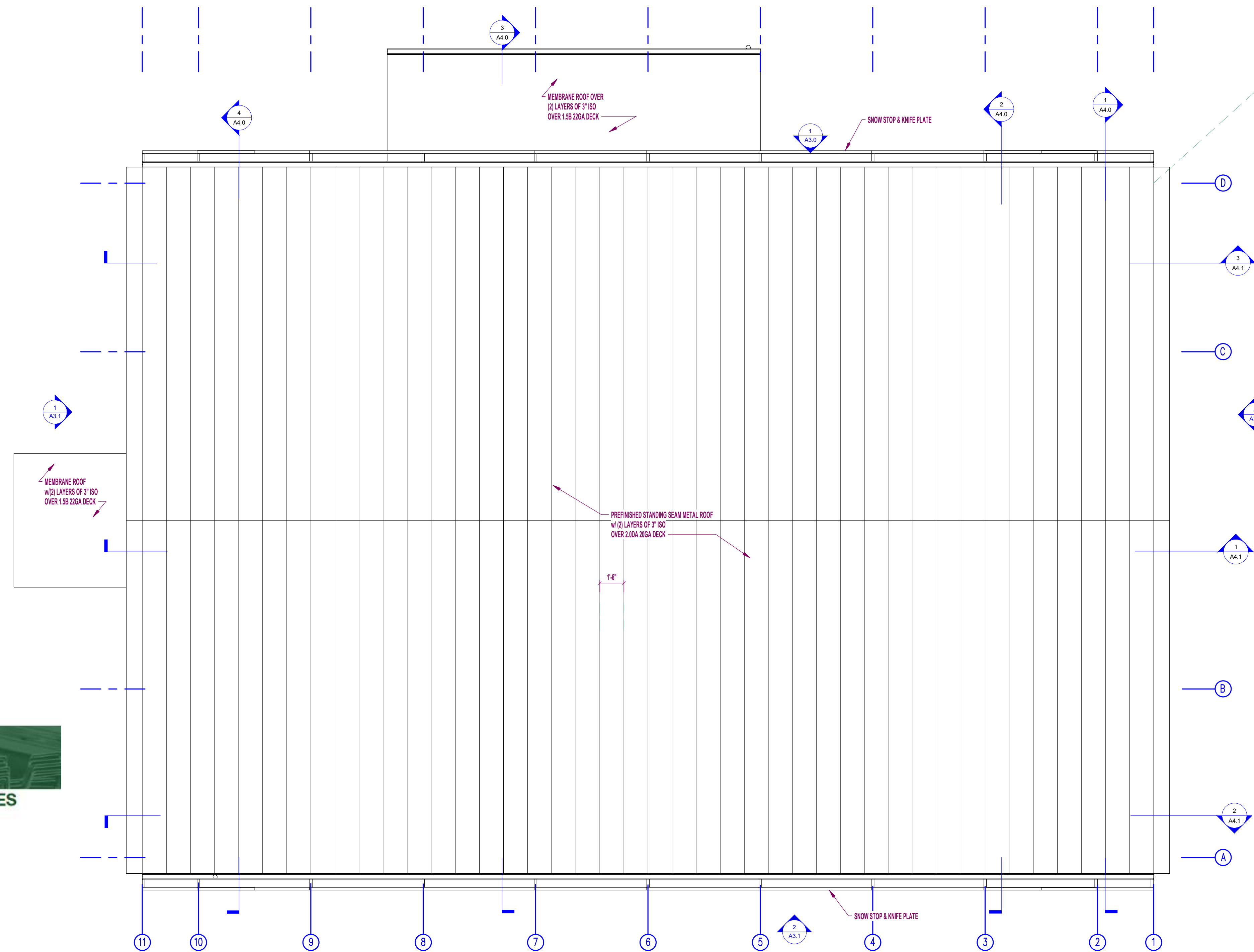
**VULCRAFT NRC ACOUSTICAL SOLUTIONS
DOVETAIL ACOUSTICAL DECKS**

**REDUCE INTERIOR NOISE WITH THE SOUND ABSORPTION CAPABILITIES
OF VULCRAFT ACOUSTICAL ROOF DECK**



Roof Insulation	AC Insulation	Absorption Coefficients							SSA	NRC	RAL Test. No.
		125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz				
2.0DA DOVETAIL											
Poly-Iso	Plain	0.19	0.54	1.15	1.07	1.01	0.79	0.95	0.95	A14-170	
	Encapsulated	0.35	0.82	1.15	0.99	0.97	0.72	0.96	1.00	A14-167	

2 ROOF DECK DETAIL



1 ROOF PLAN
1/4" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History

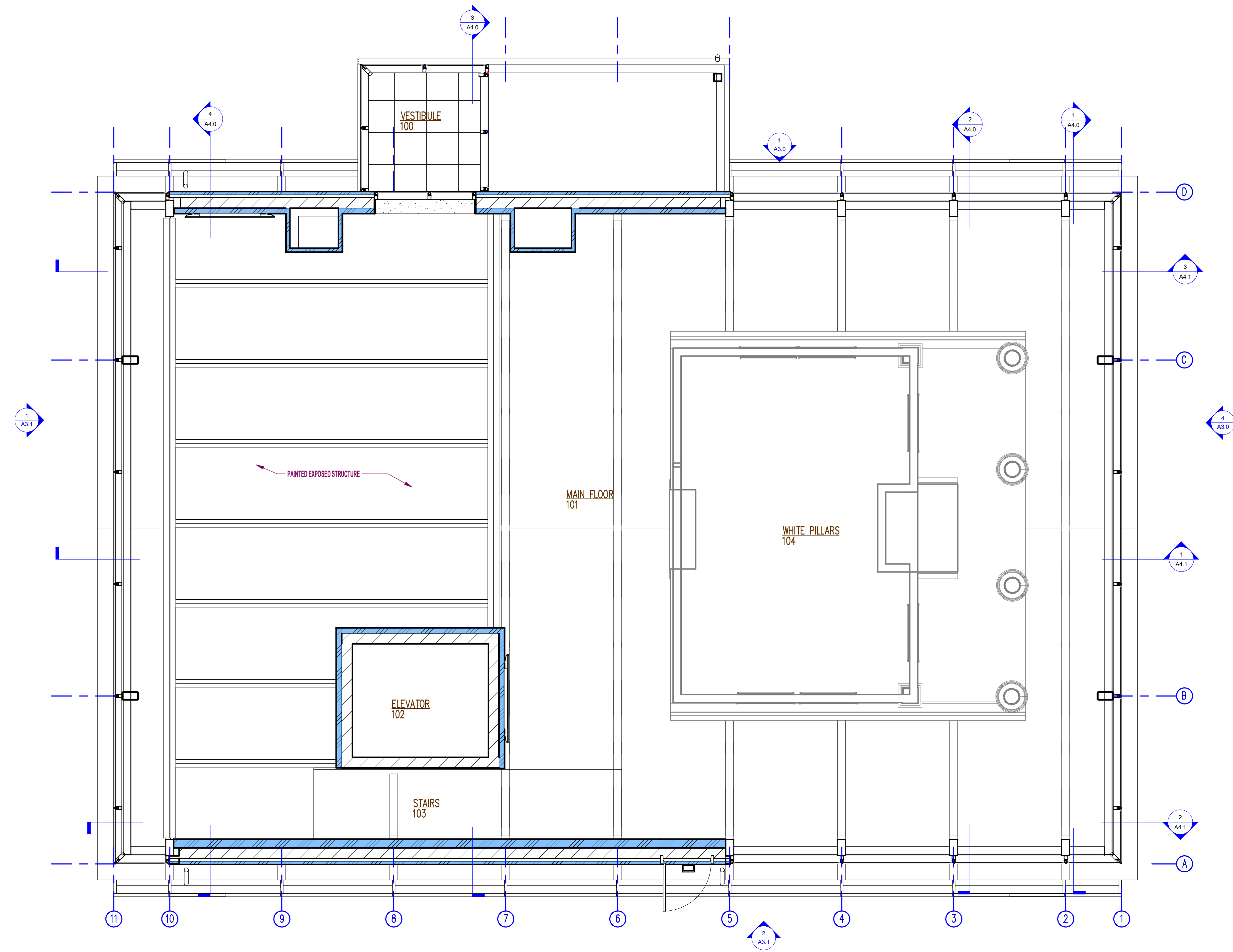
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

PROJECT:
**DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A6.0



1 1st Floor RCP
1/4" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History

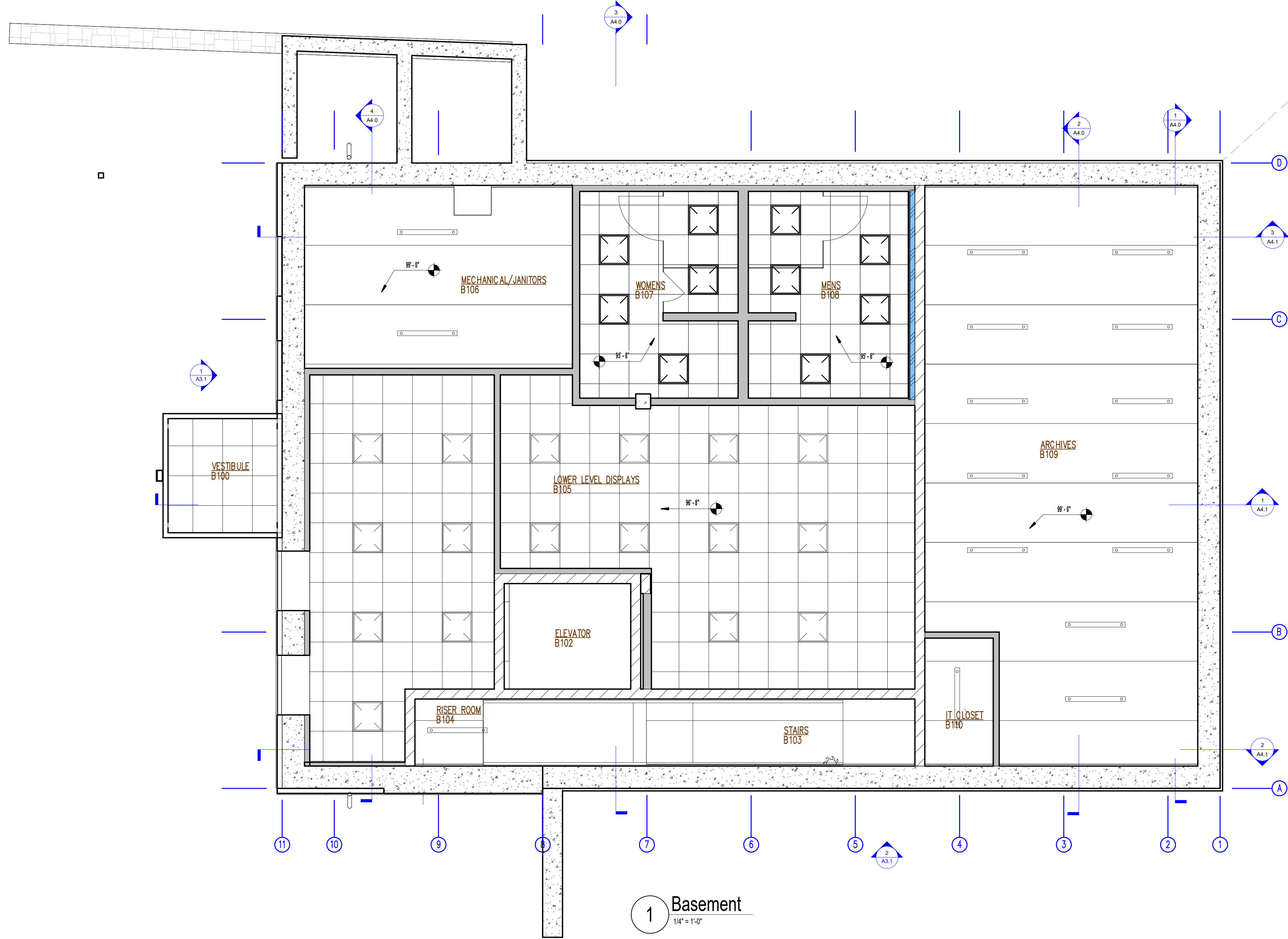
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

PROJECT:
**DE PERE HISTORICAL SOCIETY BUILDING
NEW WHITE PILLARS BUILDING
403 N BROADWAY**

PROJECT NO.:
24-277

SHEET NO.:
A7.0



Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History

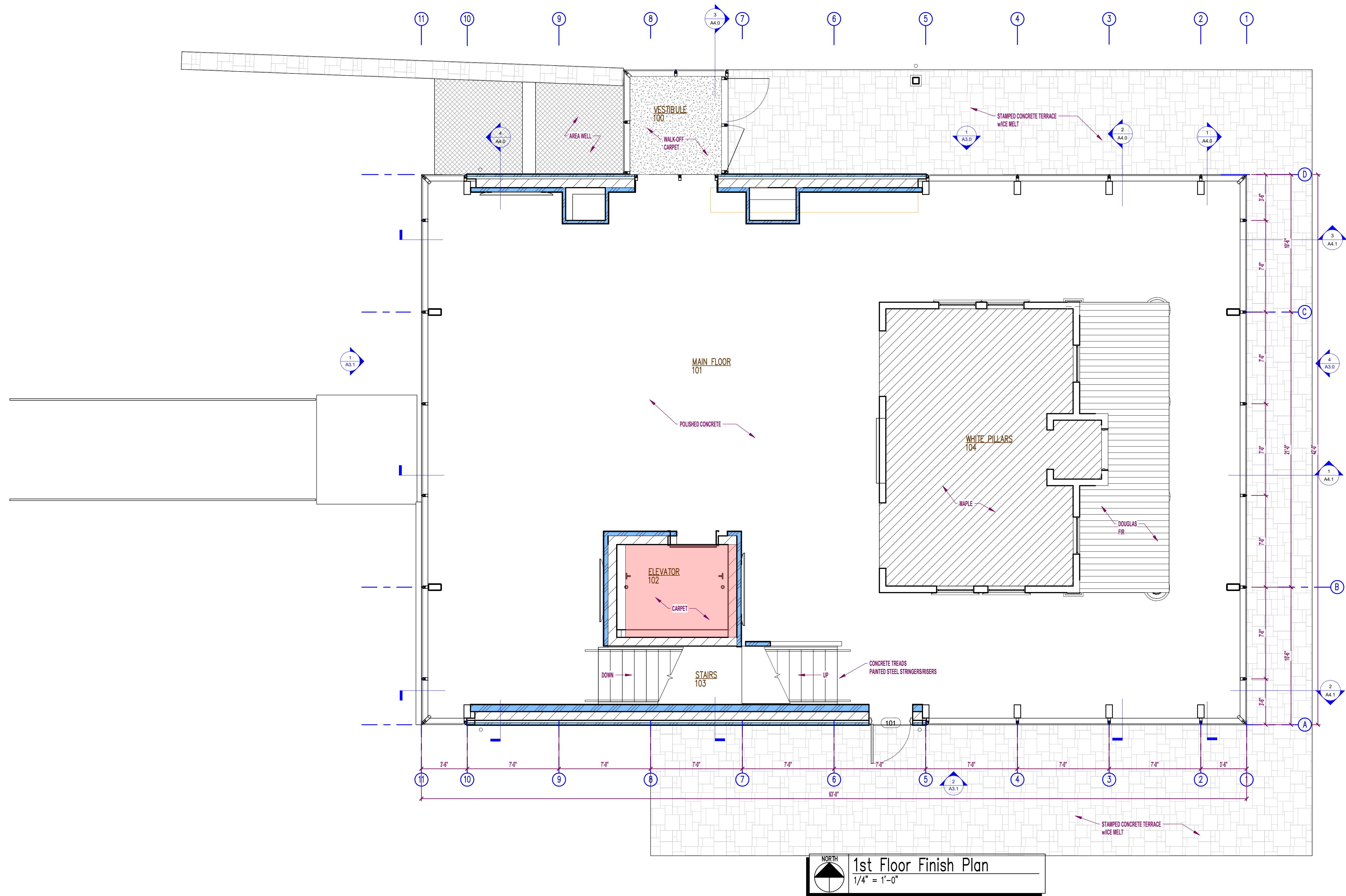
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
PROPOSAL
NOT INTENDED FOR
CONSTRUCTION**

PROJECT:
DE PERE HISTORICAL SOCIETY BID SET
NEW WHITE PILLARS BUILDING
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A7.1



FLOOR FINISH			
	MARLE		POLISHED CONCRETE
	DOUGLAS FIR		WALK-OFF CARPET
	STAMPED CONCRETE W/ICE MELT		CARPET
	SEALED CONCRETE		

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
CONSTRUCTION, INC.

ESTABLISHED 1976

T. 920.833.6465 / SCHUHCONSTRUCTION.COM

BUTLER METAL BUILDINGS

Author: 10/25/24 12:30:58 PM

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/25/24

Revision History	
Revision Description	Revision Date
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

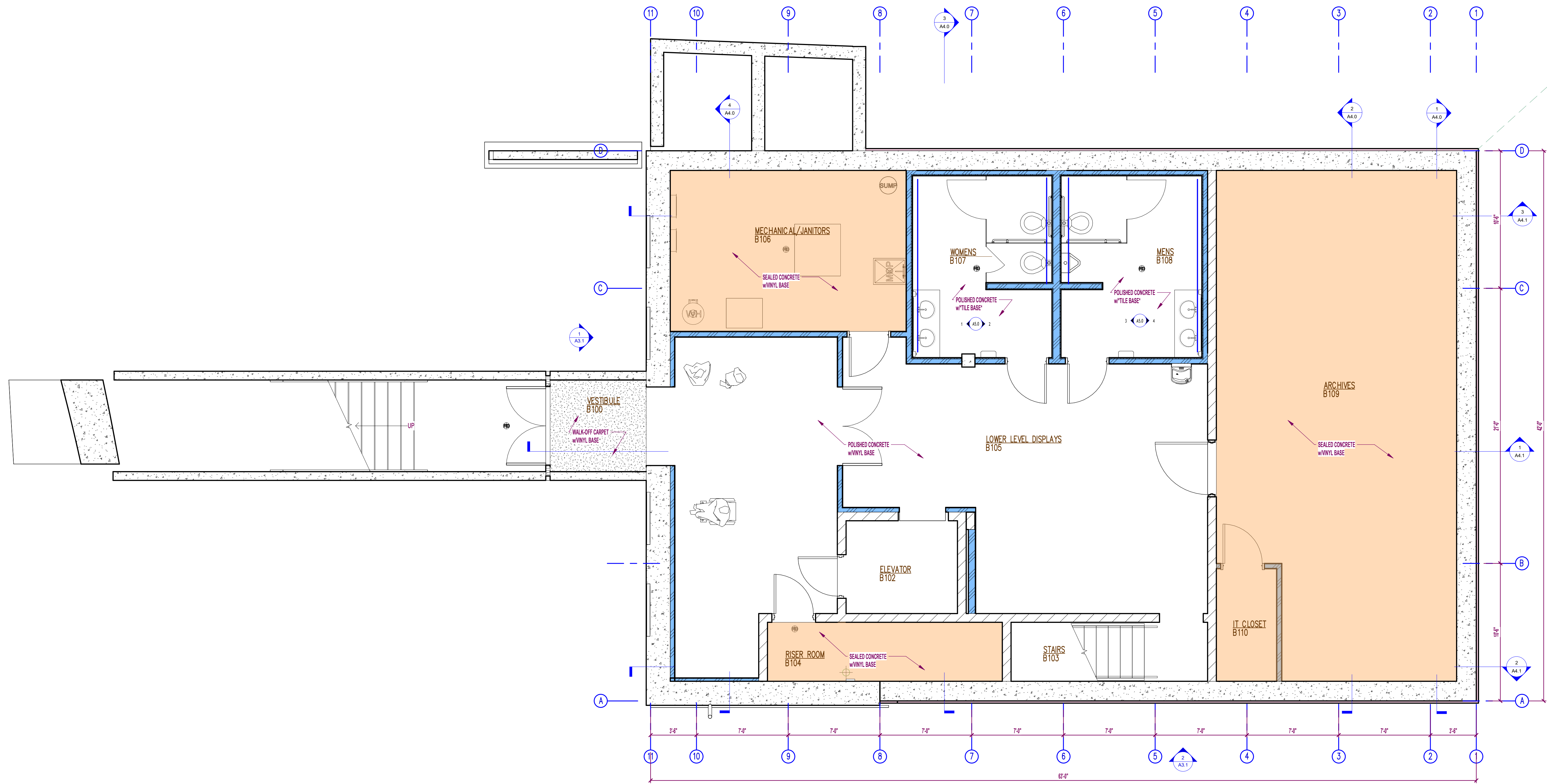
**PRELIMINARY
PRELIMINARY BID SET
NOT INTENDED FOR
CONSTRUCTION**

PROJECT:
**DE PERE HISTORICAL SOCIETY BUILDING
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A8.0

1st FLOOR FINISH PLAN



Basement Finish Plan
 1/4" = 1'-0"

FLOOR FINISH			
	MAPLE		POLISHED CONCRETE
	DOUGLAS FIR		WALK-OFF CARPET
	STAMPED CONCRETE w/ICE MELT		CARPET
	SEALED CONCRETE		

DESIGN / BUILD
 GENERAL CONTRACTING
 STEEL FABRICATION

Schuh
 CONSTRUCTION, INC.

ESTABLISHED 1976

T.920.833.6465 / SCHUHCONSTRUCTION.COM

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
 10/25/24

Revision History	
Revision Description	Revision Date
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
 NOT INTENDED FOR
 CONSTRUCTION

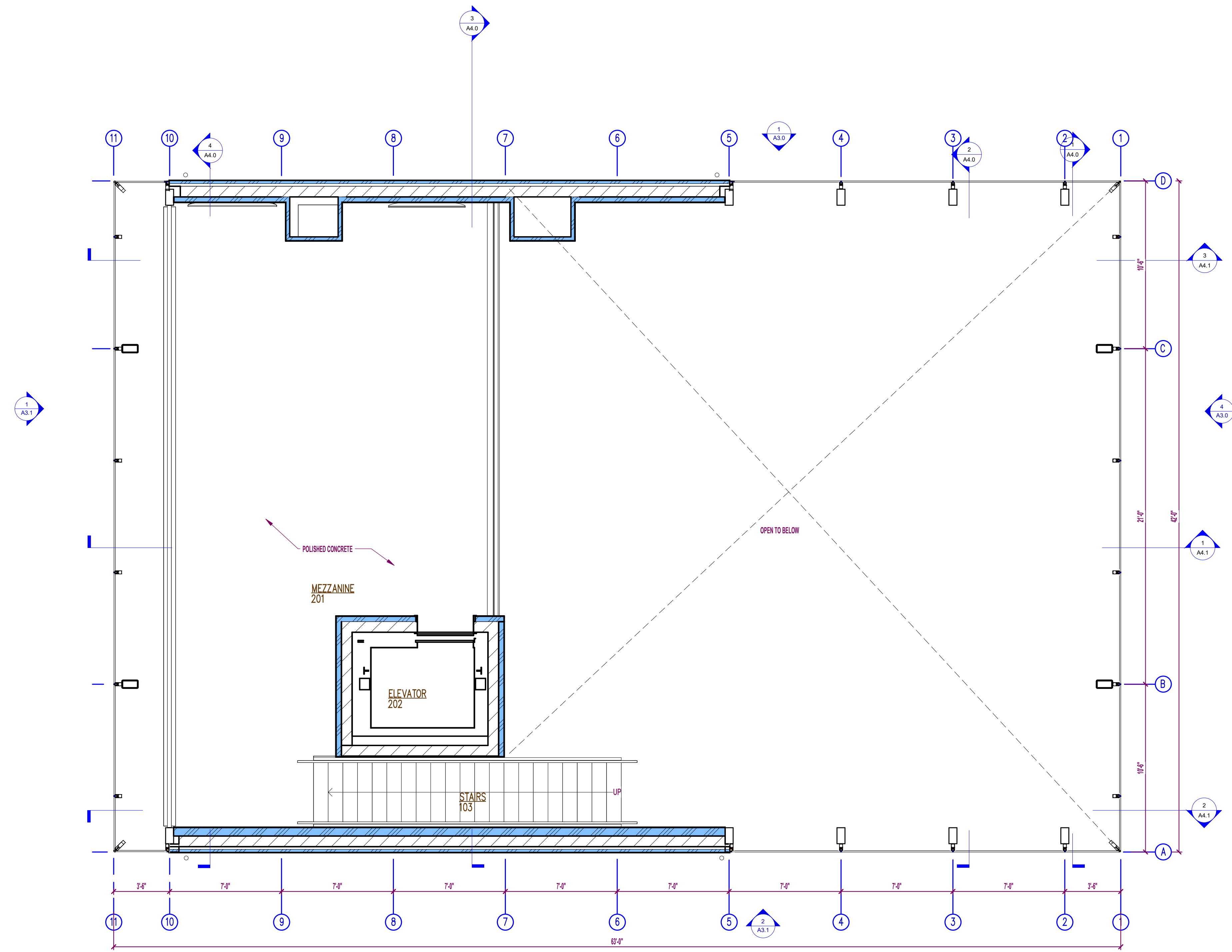
PROJECT:
DE PERE HISTORICAL SOCIETY BUILDING
 NEW WHITE PILLARS BUILDING
 403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A8.1

BASEMENT FINISH PLAN

Author: 10/25/24 12:30:57 PM



Mezzanine Finish Plan
 1/4" = 1'-0"

FLOOR FINISH			
	MAPLE		POLISHED CONCRETE
	DOUGLAS FIR		WALK-OFF CARPET
	STAMPED CONCRETE WIDE MELT		CARPET
	SEALED CONCRETE		

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
 10/25/24

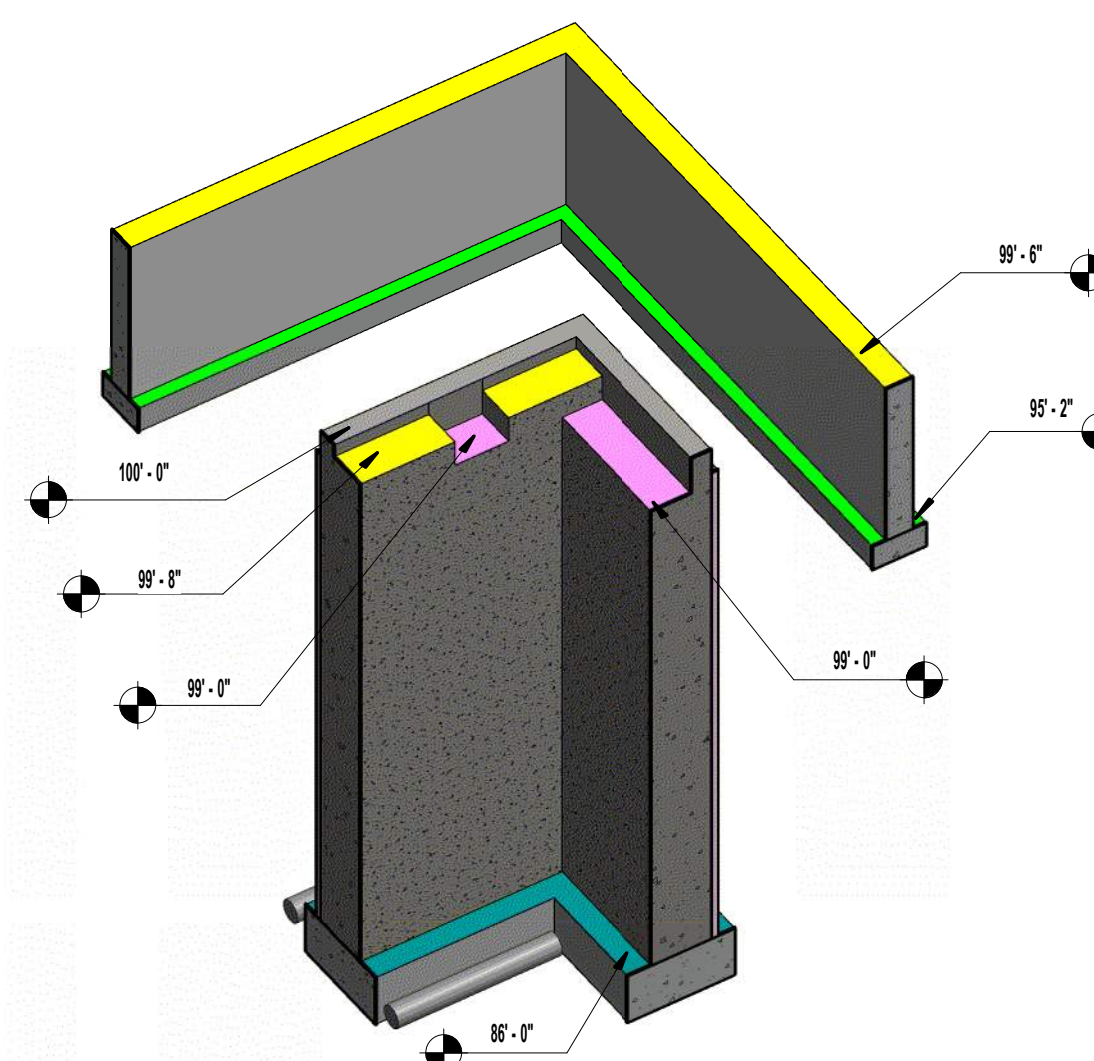
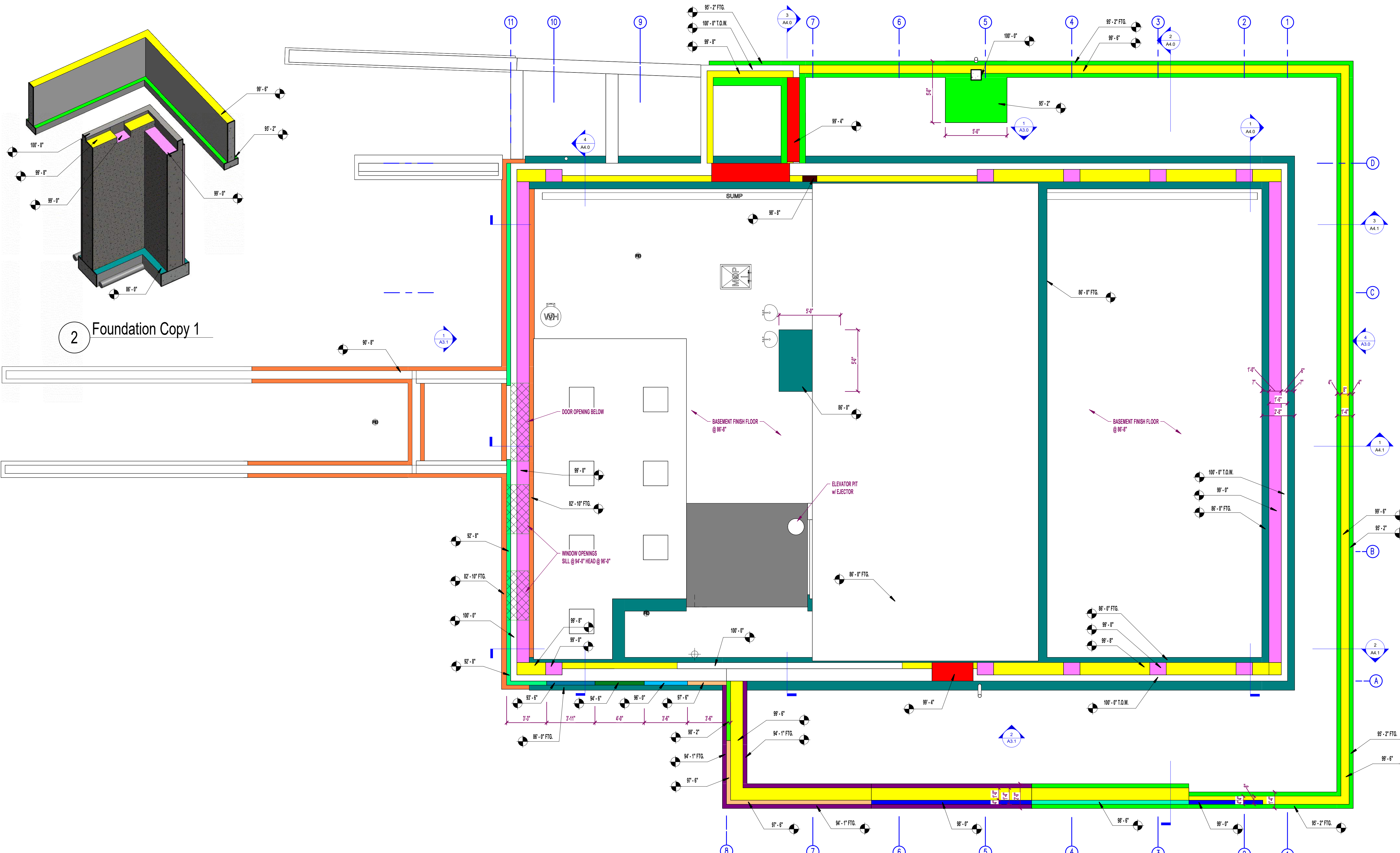
Revision History	
Revision Description	Revision Date
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
 PRELIMINARY BID SET
 NOT INTENDED FOR
 CONSTRUCTION**

PROJECT:
DE PERE HISTORICAL SOCIETY BUILDING
 NEW WHITE PILLARS BUILDING
 403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
A8.2



2 Foundation Copy 1

FOUNDATION LEGEND			
	TOP OF WALL - 100'-0"		TOP OF WALL - 88'-4"
	TOP OF WALL - 89'-6"		TOP OF WALL - 88'-2"
	TOP OF WALL - 88'-4"		TOP OF WALL - 88'-0"
	TOP OF WALL - 88'-0"		TOP OF WALL - 87'-6"
	TOP OF WALL - 86'-0"		TOP OF WALL - 84'-6"
	TOP OF WALL - 82'-6"		TOP OF WALL - 84'-1"
	TOP OF WALL - 85'-2"		TOP OF WALL - 81'-6"

NORTH
FOUNDATION PLAN
1/4" = 1'-0"

COLUMN FOOTING SCHEDULE			
MARK	SIZE	DEPTH	REBAR
F1	3'-4"x10"	12"	#5 BARS @ 12" O.C. EA.
F2	8x8"	12"	#5 BARS @ 12" O.C. EA.
F3	8x8"	12"	#5 BARS @ 12" O.C. EA.
F4	7x7"	12"	#5 BARS @ 12" O.C. EA.
F5	4x8"	12"	#5 BARS @ 12" O.C. EA.
F6	3x3"	12"	#5 BARS @ 12" O.C. EA.
F7	3'-4"x8"	12"	#5 BARS @ 12" O.C. EA.
F7	4x4"	12"	#5 BARS @ 12" O.C. EA.

SCHUH CONSTRUCTION, INC.
 1.920.833.6465 / SCHUHCONSTRUCTION.COM / Established 1976

DESIGN / BUILD
 GENERAL CONTRACTING
 STEEL FABRICATION
 METAL BUILDINGS
 BUTLER METAL BUILDINGS
 Author: 10/20/23 12:30:58 PM

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
 10/18/24

Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

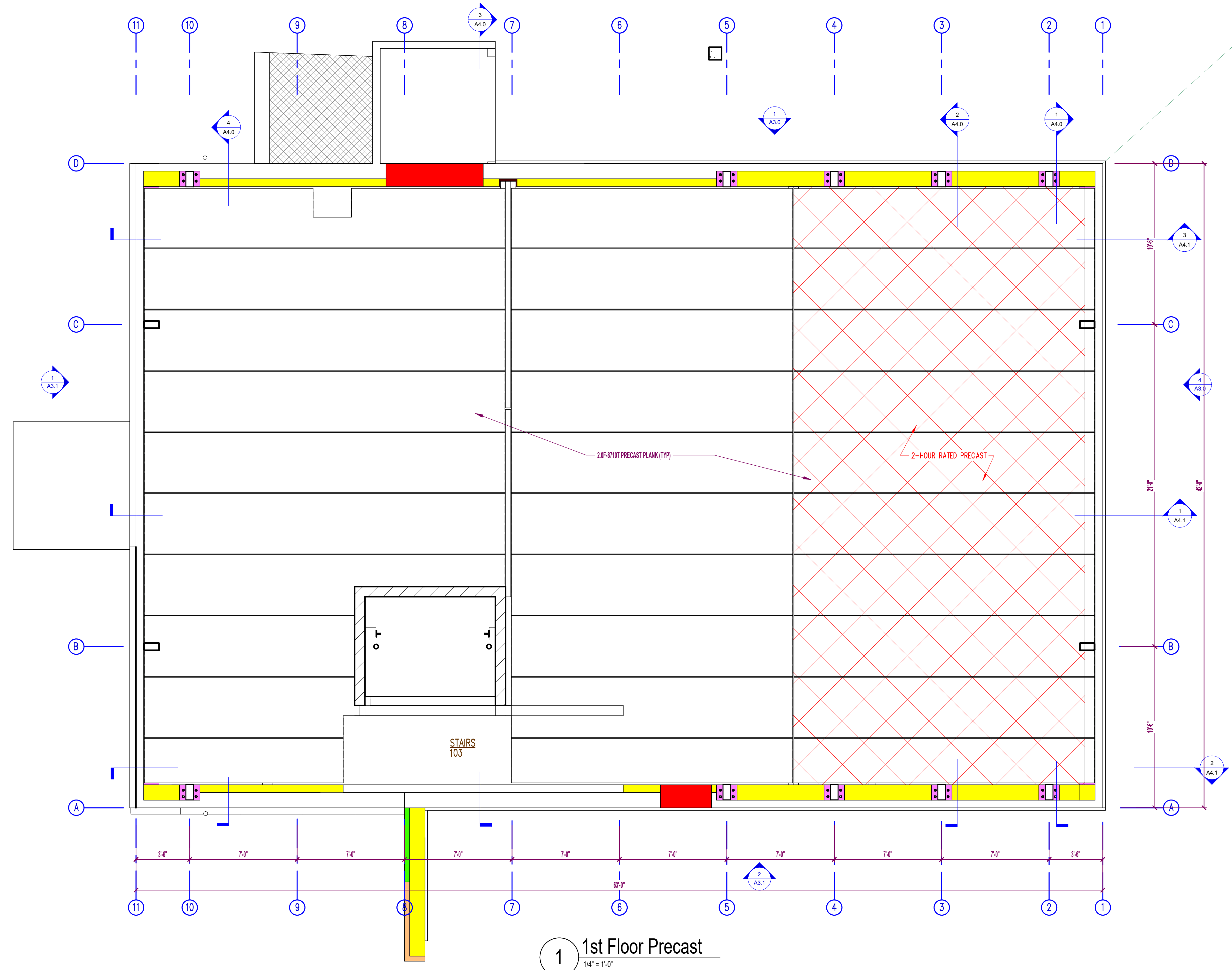
PRELIMINARY
 DE PERE HISTORICAL SOCIETY BID SET
 NOT INTENDED FOR
 CONSTRUCTION

PROJECT:
DE PERE HISTORICAL SOCIETY BUILDING
 NEW WHITE PILLARS BUILDING
 403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
S1.0

FOUNDATION PLAN



1 1st Floor Precast
1/4" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

Revision History

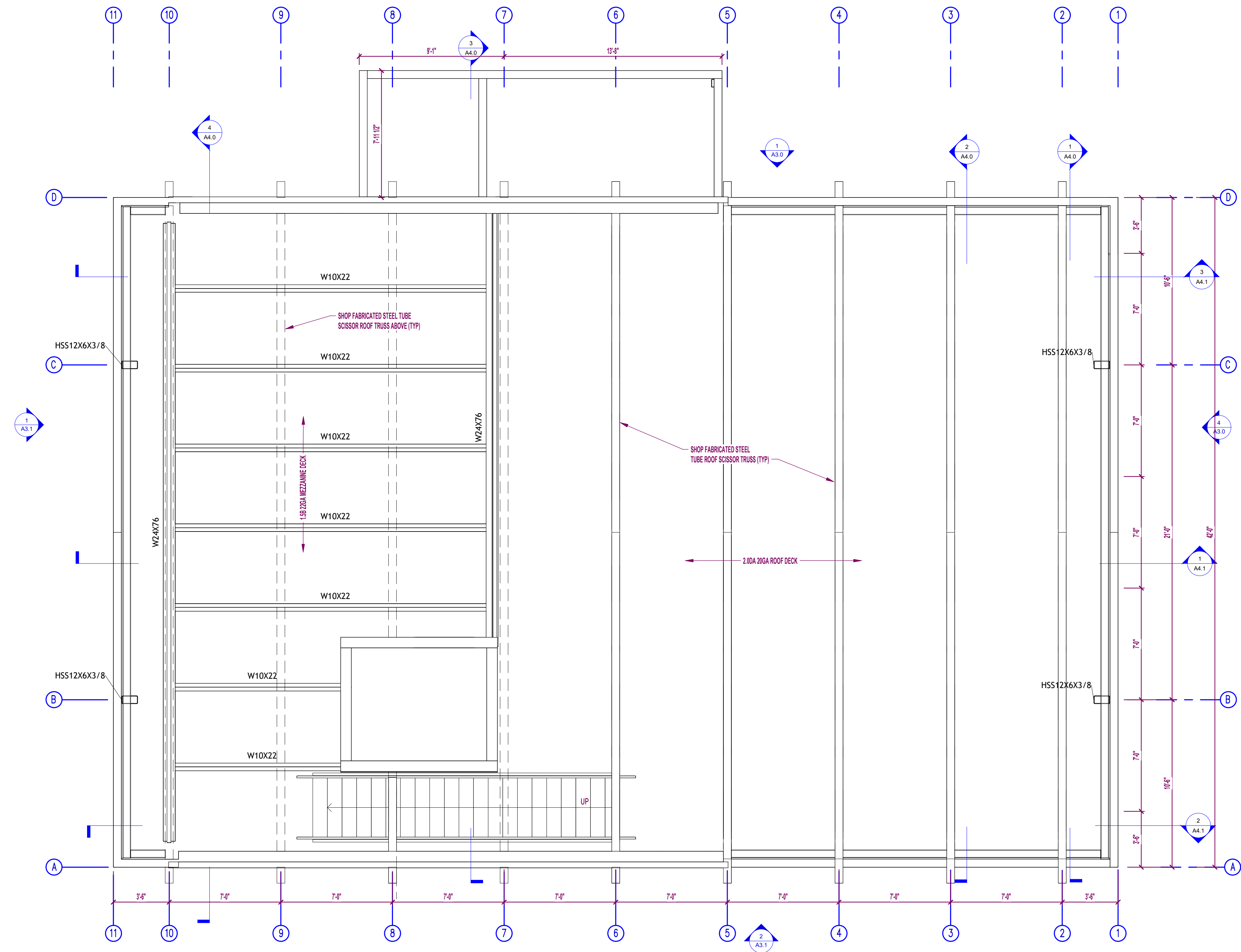
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION

PROJECT:
DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
S2.0



1 MEZZ/ROOF FRAMING PLAN
1/4" = 1'-0"

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc., and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

Sheet Issue Date:
10/18/24

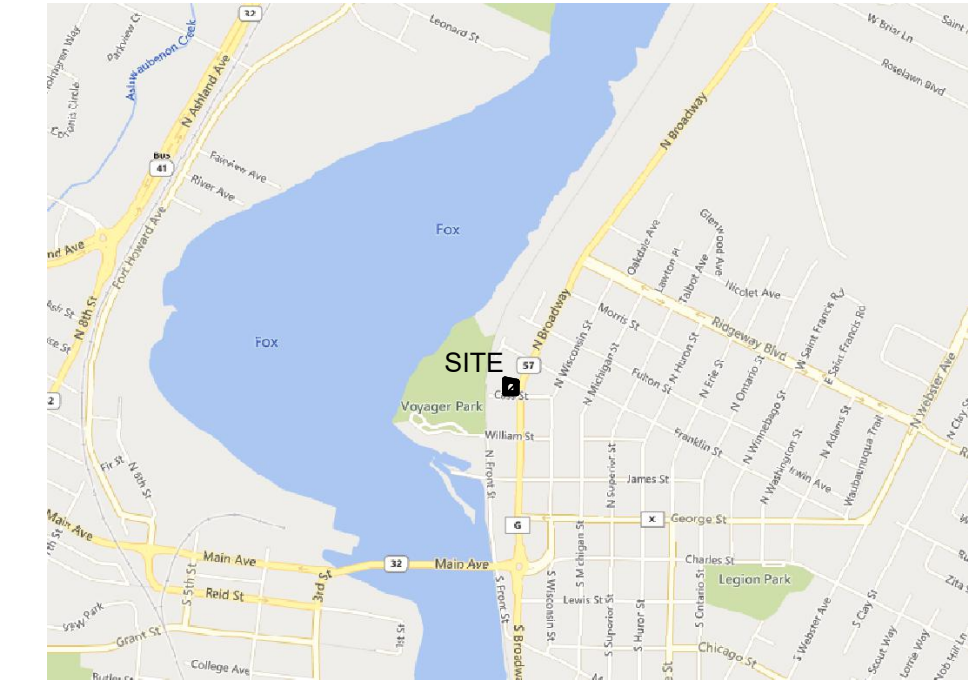
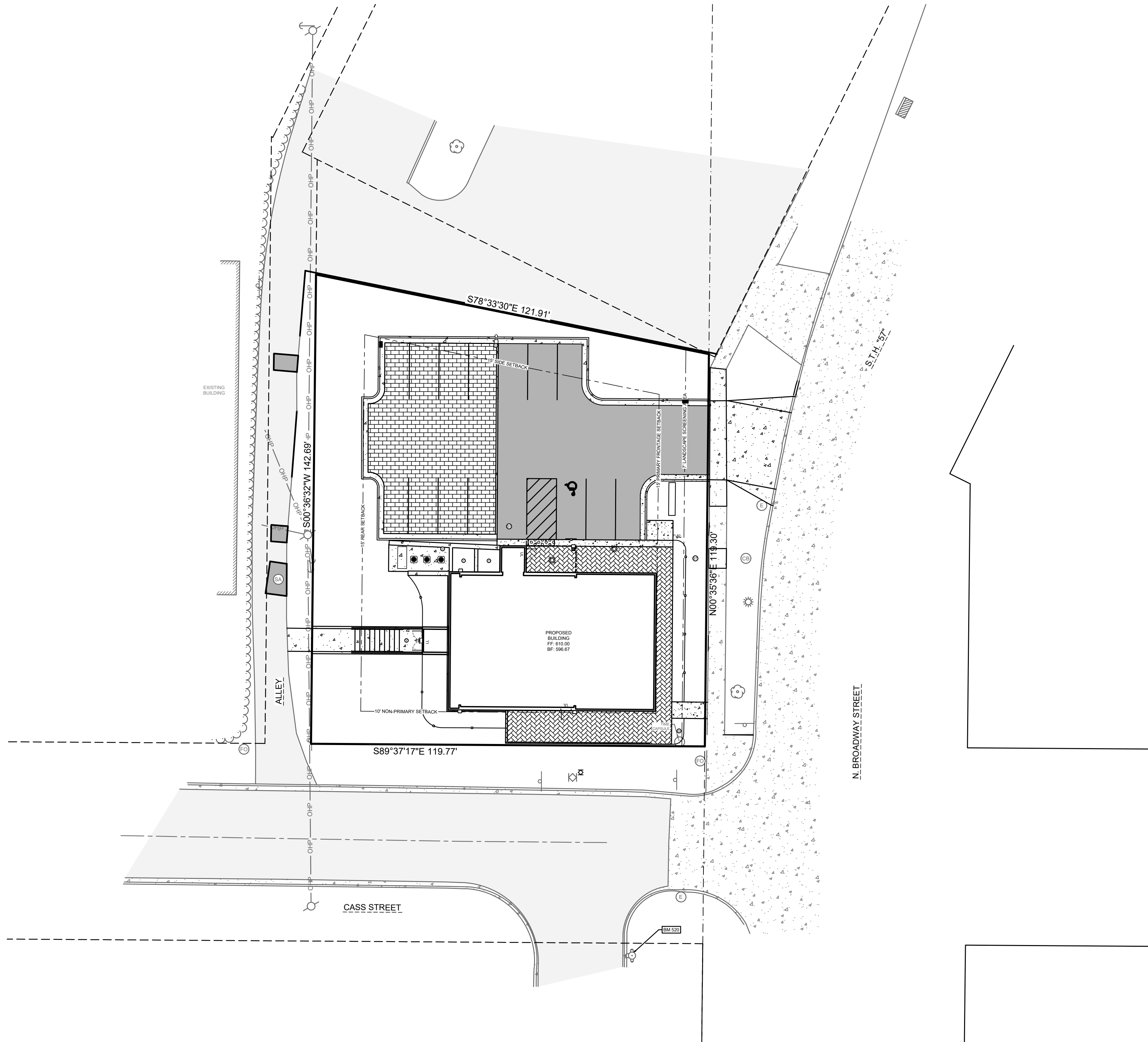
Revision History	
Revision Description	Revision Date
Rev 1	10/25/24
Rev 2	10/31/24
Rev 3	11/11/24
Rev 5	01/03/25

**PRELIMINARY
DE PERE HISTORICAL SOCIETY BID SET
NOT INTENDED FOR
CONSTRUCTION**

PROJECT:
**DE PERE HISTORICAL SOCIETY
NEW WHITE PILLARS BUILDING**
403 N BROADWAY

PROJECT NO.:
24-277

SHEET NO.:
S2.1



LOCATION MAP
403 NORTH BROADWAY STREET
DE PERE, WI 54115
NOT TO SCALE

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- C6.1 UTILITY & GRADING DETAILS
- C6.2 TRAFFIC CONTROL PLAN
- L1.0 LANDSCAPE PLAN

CIVIL GENERAL NOTES:

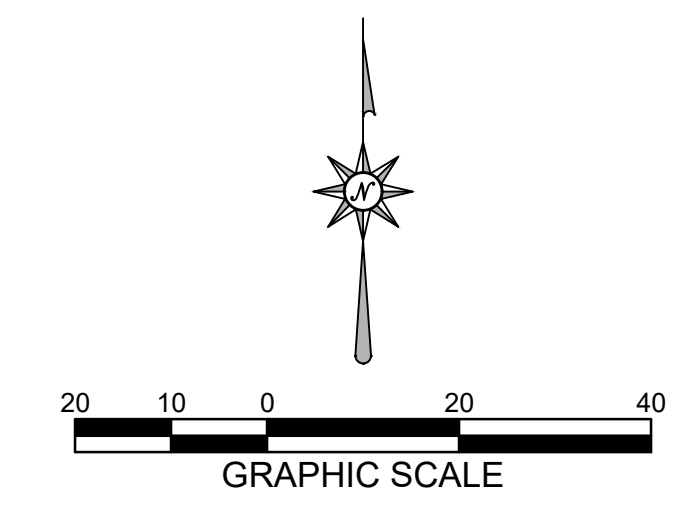
1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC SEPTEMBER 6, 2024.
2. SURVEY VERTICAL DATUM IS NAVD88.
3. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
4. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
5. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
6. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
7. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
8. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
9. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
10. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
11. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
12. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
13. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
15. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
16. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
17. FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0 AND C5.1.
18. FOR NOTES SHOWN THUS, "Ⓢ", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL	[Symbol]	EVERGREEN SHRUB	[Symbol]
ELECTRIC METER	[Symbol]	EVERGREEN TREE	[Symbol]
ELECTRIC PEDESTAL	[Symbol]	TREE	[Symbol]
GUY WIRE	[Symbol]	TREE SHRUB	[Symbol]
LIGHT POLE	[Symbol]	BUILDING OVERHANG	[Symbol]
POWER POLE	[Symbol]	UNDERGROUND CABLE	[Symbol]
GAS METER	[Symbol]	OVERHEAD WIRE	[Symbol]
GAS VALVE	[Symbol]	UNDERGROUND ELECTRIC	[Symbol]
BOLLARD	[Symbol]	GAS	[Symbol]
HANDICAP PARKING	[Symbol]	LANDSCAPE	[Symbol]
SANITARY CLEANOUT	[Symbol]	FENCE	[Symbol]
SANITARY MANHOLE	[Symbol]	GUARDRAIL	[Symbol]
CATCH BASIN	[Symbol]	CENTERLINE	[Symbol]
CULVERT	[Symbol]	CURB	[Symbol]
DOWNSPOUT	[Symbol]	PARKING STRIPE	[Symbol]
INLET	[Symbol]	SANITARY SEWER	[Symbol]
INLET 2' X 2'	[Symbol]	CULVERT	[Symbol]
STORM CLEANOUT	[Symbol]	STORM SEWER	[Symbol]
STORM MANHOLE	[Symbol]	FIBER OPTIC	[Symbol]
FIBER OPTIC PEDESTAL	[Symbol]	WOOD LINE	[Symbol]
SIGN	[Symbol]	RETAINING WALL	[Symbol]
FIRE HYDRANT	[Symbol]	WATERMAIN	[Symbol]
WATER SHUT OFF	[Symbol]	CONTOUR MAJOR	[Symbol]
WATER VALVE	[Symbol]	CONTOUR MINOR	[Symbol]
		STANDARD DUTY ASPHALT	[Symbol]
		HEAVY DUTY ASPHALT	[Symbol]
		BUILDING	[Symbol]
		ASPHALT	[Symbol]
		CONCRETE	[Symbol]
		GRAVEL	[Symbol]
		LANDSCAPE WOOD MULCH	[Symbol]
		LANDSCAPE STONE MULCH	[Symbol]

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
EL	ELECTRIC (BURIED)	SA	SANITARY
EL	ELEVATION	SAN	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SCHD	SCHEDULE
FFE	FIRST FLOOR ELEVATION	S.D.	SUMP DEPTH
FL	FLOW LINE	SQ	SQUARE
FO	FIBER OPTIC	ST	STORM
FT	FEET	S.T.H.	STATE TRUNK HIGHWAY
G	GAS	STM	STORM
G.F.E.	GROUND FLOOR ELEVATION	T	TELEPHONE
GR	GRADE	T/C	TOP OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	U.S.H.	UNITED STATES HIGHWAY
INL	INLET	V	VARIES
INV	INVERT	W	WEST
M	METER	WAT	WATER
MAX	MAXIMUM	WI	WISCONSIN
MH	MANHOLE	WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION



DIGGERS HOTLINE
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

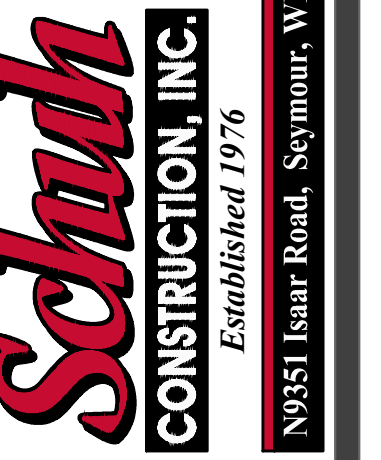
WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2258-01-24
Date: NOVEMBER 22, 2024

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION



State ID# 680499

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc. and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
**DE PERE HISTORICAL SOCIETY
WHITE PILLARS**
403 NORTH BROADWAY STREET
DE PERE, WI 54115

PROJECT NO.:

24-277

SHEET NO.:

C0.1

COVER SHEET

Benchmarks		
Label	Elevation	Description
BM 520	610.44	HYDRANT BURY BOLT

SHEET KEY NOTES:

- ① SAW CUT ASPHALT
- ② REMOVE ASPHALT
- ③ SAW CUT CONCRETE
- ④ REMOVE CONCRETE
- ⑤ REMOVE TREE(S) AND GRUB ROOTS TO 2' BELOW FINISHED GRADE
- ⑥ REMOVE LANDSCAPE PLANTS AND MATERIAL
- ⑦ REMOVE / SALVAGE SLOPE STABILIZATION STONES
- ⑧ REMOVE LIGHT
- ⑨ REMOVE PAVER BRICKS
- ⑩ REMOVE / SALVAGE SIGN
- ⑪ REFER TO OWNER ON TIME CAPSULE REMOVAL
- ⑫ BUILDING AND APPURTENANCES TO BE MODIFIED BY OTHERS
- ⑬ COORDINATE DISCONNECTION OF UTILITY WITH UTILITY OWNER
- ⑭ REMOVE / SALVAGE FLAG POLE
- ⑮ REMOVE EXISTING WATER SERVICE TO PROPERTY BOUNDARY
- ⑯ COORDINATE REMOVAL AND RECONNECTION OF GAS SERVICE WITH UTILITY OWNER
- ⑰ SAW CUT AND REMOVE ASPHALT; REPLACE ASPHALT IN-KIND
- ⑱ SAW CUT SIDEWALK AT NEAREST JOINT FOR STORM SEWER INSTALLATION; REPLACE SIDEWALK IN-KIND
- ⑲ REMOVE CURB HEAD WITHIN LIMITS SHOWN
- ⑳ RESTORE FULL-DEPTH CURB; MATCH EXISTING & REFER TO SHEET C2.0
- ㉑ ABANDON EXISTING WATER SERVICE AT WATER MAIN. LOCATION AND MATERIAL OF EXISTING WATER MAIN AS WELL AS THE LOCATION OF THE EXISTING SERVICE WITHIN THE R.O.W. IS APPROXIMATE BASED ON GIS DATA PROVIDED BY THE CITY OF DE PERE. IF THE WATER MAIN IS IRON, THE CORPORATION SHALL BE TURNED OFF AND THE SERVICE LINE SHALL BE REMOVED FROM THE CORPORATION. IF THE MAIN IS PVC, THE CORPORATION SHALL BE REMOVED AND A SOLID SLEEVE SHALL BE INSTALLED OVER THE HOLE. THE CITY OF DE PERE SHALL BE NOTIFIED A MINIMUM OF 2 WEEKS PRIOR TO ABANDONMENT AND WORK IN R.O.W.
- ㉒ ABANDON EXISTING SANITARY SERVICE AT MAIN. LOCATION OF EXISTING SERVICE SHOWN IS APPROXIMATE BASED ON TELEVISION DATA PROVIDED BY THE CITY OF DE PERE. EXISTING LATERAL SHALL BE ABANDONED WITH A GLUED CAP OVER THE WYE/BRANCH AT THE MAIN. THE CITY OF DE PERE SHALL BE NOTIFIED A MINIMUM OF 2 WEEKS PRIOR TO ABANDONMENT AND WORK IN R.O.W.
- ㉓ SAW CUT AND REMOVE CONCRETE PAVEMENT AND MEDIAN CURB & GUTTER AS NECESSARY FOR WATER SERVICE ABANDONMENT. EXISTING CONCRETE PAVEMENT AND CURB & GUTTER SHALL BE RESTORED IN-KIND. THE CITY OF DE PERE SHALL BE NOTIFIED A MINIMUM OF 2 WEEKS PRIOR TO ABANDONMENT AND WORK IN R.O.W.

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
CONSTRUCTION, INC.
Established 1976

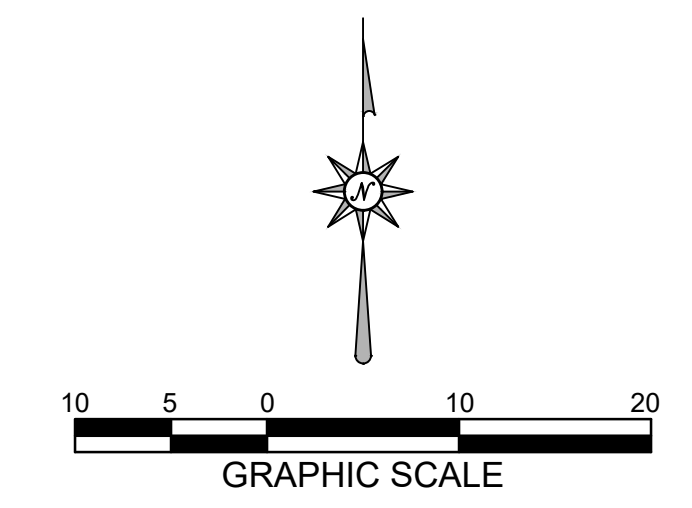
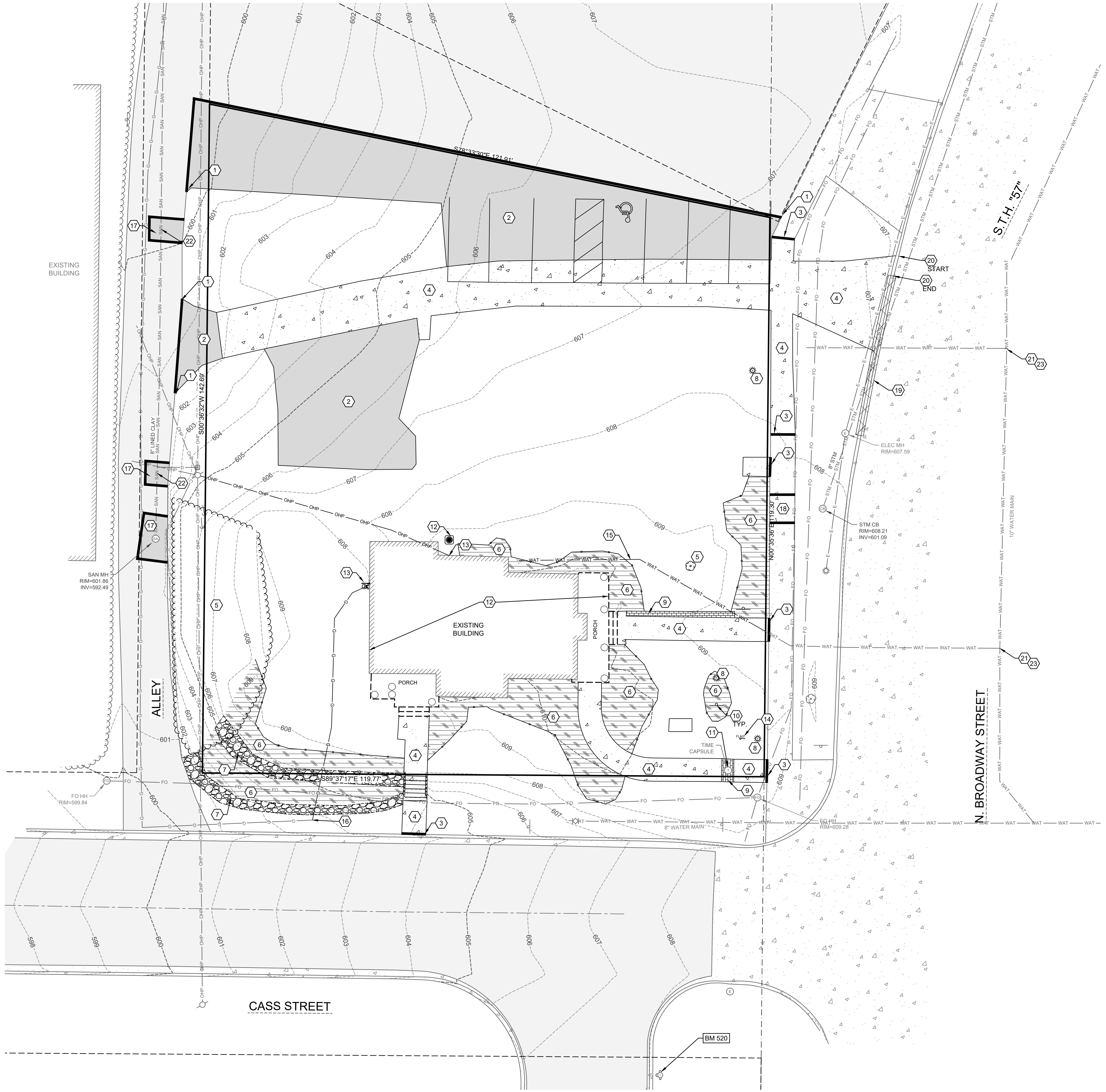
State ID# 680499
Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc. and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
**DE PERE HISTORICAL SOCIETY
WHITE PILLARS**
403 NORTH BROADWAY STREET
DE PERE, WI 54115

PROJECT NO.:
24-277

SHEET NO.:
C1.0

DEMOLITION PLAN

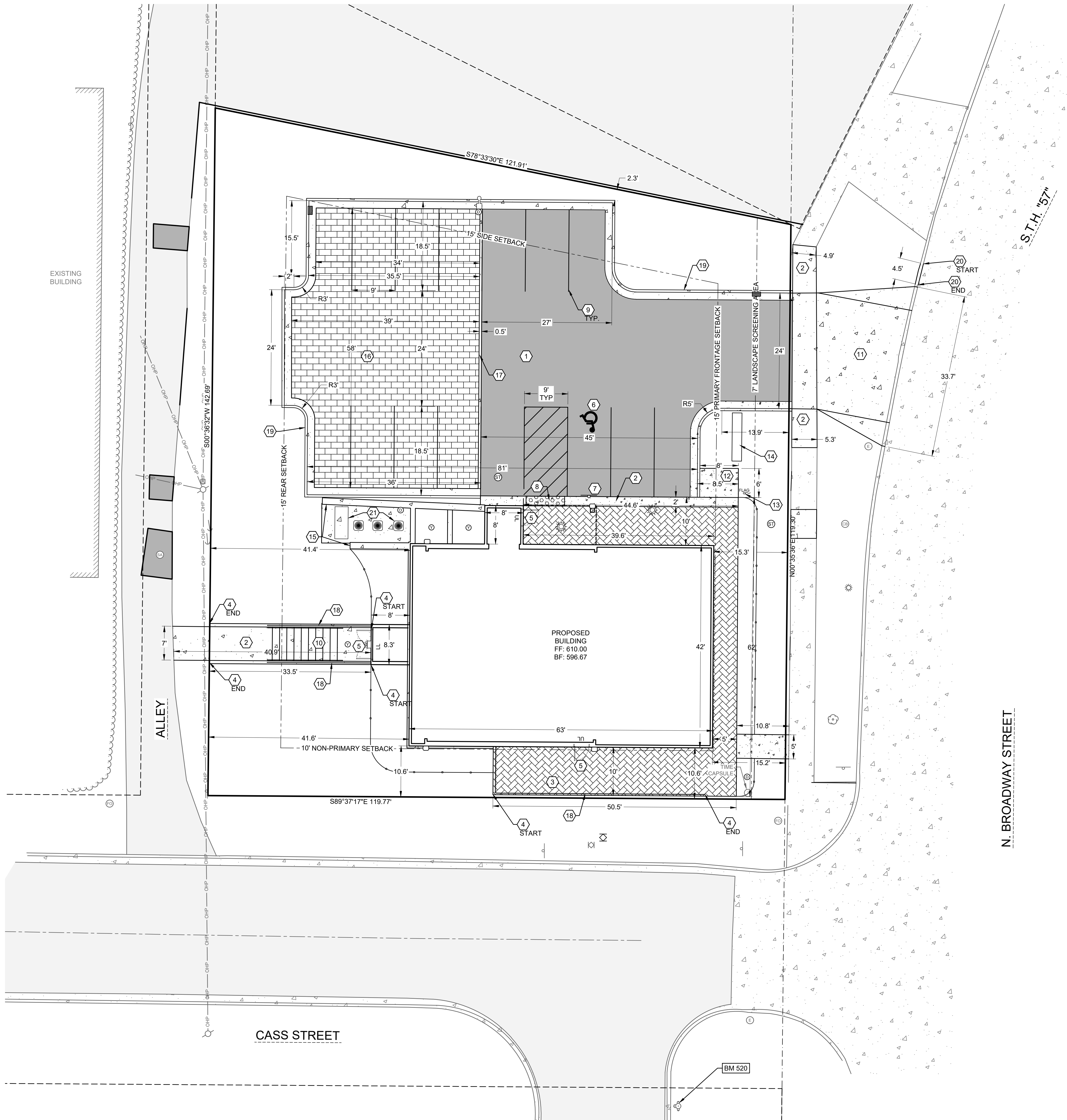


MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2258-01-24
Date: NOVEMBER 22, 2024

R:\Jobs\2258-01-24 White Pillars\DRAWINGS\2258-01-24 Eng.dwg 1/3/2025 3:27:44 PM

R:\Jobs\2258-01-24 White Pillars\DRAWINGS\2258-01-24 Eng.dwg 1/3/2025 3:27:45 PM



OWNER

DE PERE HISTORICAL SOCIETY
403 N. BROADWAY ST.
DE PERE, WI 54115-2511

SHEET KEY NOTES:

- ① STANDARD DUTY ASPHALT; SEE DETAIL A SHEET C6.0
- ② CONCRETE SIDEWALK; SEE DETAIL B SHEET C6.0
- ③ STONE TERRACE; REFER TO ARCHITECTURAL DRAWINGS
- ④ STONE RETAINING WALL REFER TO ARCHITECTURAL DRAWINGS
- ⑤ STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- ⑥ ADA HANDICAP STALL, SYMBOL; SEE DETAIL C SHEET C6.0
- ⑦ ADA HANDICAP SIGN; SEE DETAIL D SHEET C6.0
- ⑧ ADA HANDICAP WARNING PLATE; SEE DETAIL E SHEET C6.0
- ⑨ 4" WIDE PAINT STRIPE, COLOR BY OWNER
- ⑩ WALKWAY STEPS; REFER TO ARCHITECTURAL DRAWINGS
- ⑪ CONCRETE DRIVEWAY APRON; SEE DETAIL F SHEET C6.0
- ⑫ BIKE RACK; REFER TO ARCHITECTURAL DRAWINGS
- ⑬ FLAG POLE
- ⑭ MONUMENT SIGN
- ⑮ MECHANICAL SCREENING WALL; FINAL SIZE AND CONFIGURATION TO BE COORDINATED WITH ARCHITECTURAL PLANS
- ⑯ PERMEABLE PAVERS; SEE DETAIL G SHEET C6.0
- ⑰ CONCRETE PAVER EDGING; SEE DETAIL G SHEET C6.0
- ⑱ GUARDRAIL; REFER TO ARCHITECTURAL DRAWINGS
- ⑲ CONCRETE CURB AND GUTTER; SEE DETAIL H SHEET C6.0
- ⑳ RESTORE FULL-DEPTH CURB; MATCH EXISTING
- ㉑ GENERATOR AND MECHANICAL EQUIPMENT; REFER TO ARCHITECTURAL DRAWINGS

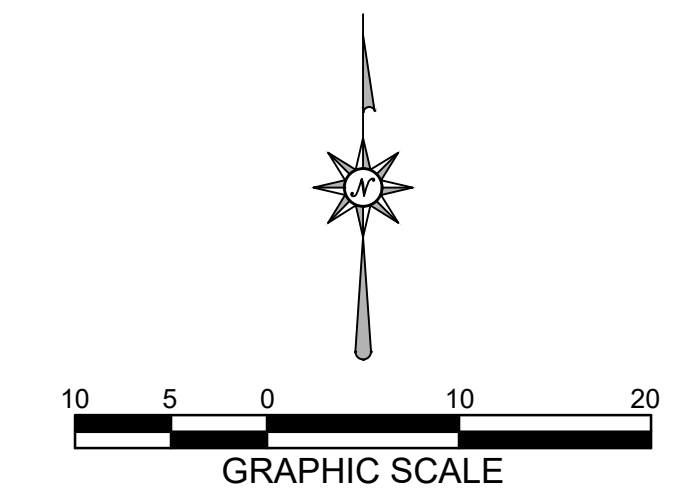
SITE STATISTICS

PARCEL ADDRESS: 403 & 409 N. BROADWAY ST.
 PARCEL NUMBER: ED-752 & ED 751
 PARCEL SIZE: 7,194 SF + 8,493 SF = 15,687 SF (0.360 AC)
 ZONING: PI-1 (COMPLIES WITH GX1)

EXISTING SITE
 GREEN SPACE: 9,871 SF (62.9%)
 IMPERVIOUS AREA
 BUILDING: 1,444 SF (9.2%)
 PAVEMENT: 4,372 SF (27.9%)
 TOTAL IMPERVIOUS: 5,816 SF (37.1%)

PROPOSED SITE
 TOTAL DISTURBED AREA: 17,883 SF (0.41 AC)
 GREEN SPACE REQUIRED: 3,922 SF (25.0%)
 GREEN SPACE PROVIDED: 5,828 SF (37.2%)
 IMPERVIOUS AREA
 BUILDING: 2,770 SF (17.7%)
 PAVEMENT: 5,005 SF (31.9%)
 TOTAL IMPERVIOUS: 7,778 SF (49.6%)
 SEMI-IMPERVIOUS AREA: 2,084 SF (13.3%)

PARKING PROVIDED
 PARKING SPACES REQ'D/CALCS: 1 STALL/2 EMPLOYEES + 1/600 SF
 ((1 STALL/2 EMPLOYEES) * 6 EMPLOYEES) + (4,145 SF/600 SF) = 10 STALLS
 PARKING SPACES PROVIDED: 15 (INCLUDES 1 ADA STALL)



MACH IV
 ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
 PH: 920-569-5765; Fax: 920-569-5767
 www.mach-iv.com
 Project Number: 2258-01-24
 Date: NOVEMBER 22, 2024

DESIGN / BUILD
 GENERAL CONTRACTING
 STEEL FABRICATION
SCHUH
 METAL BUILDINGS
 www.schuhconstruction.com

Schuh
 CONSTRUCTION, INC.
 Established 1976
 9351 Isnar Road, Seymour, WI 54155 / T: 920.833.6465 / F: 920.833.2158

State ID# 680499

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc. and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
DE PERE HISTORICAL SOCIETY
WHITE PILLARS
 403 NORTH BROADWAY STREET
 DE PERE, WI 54115

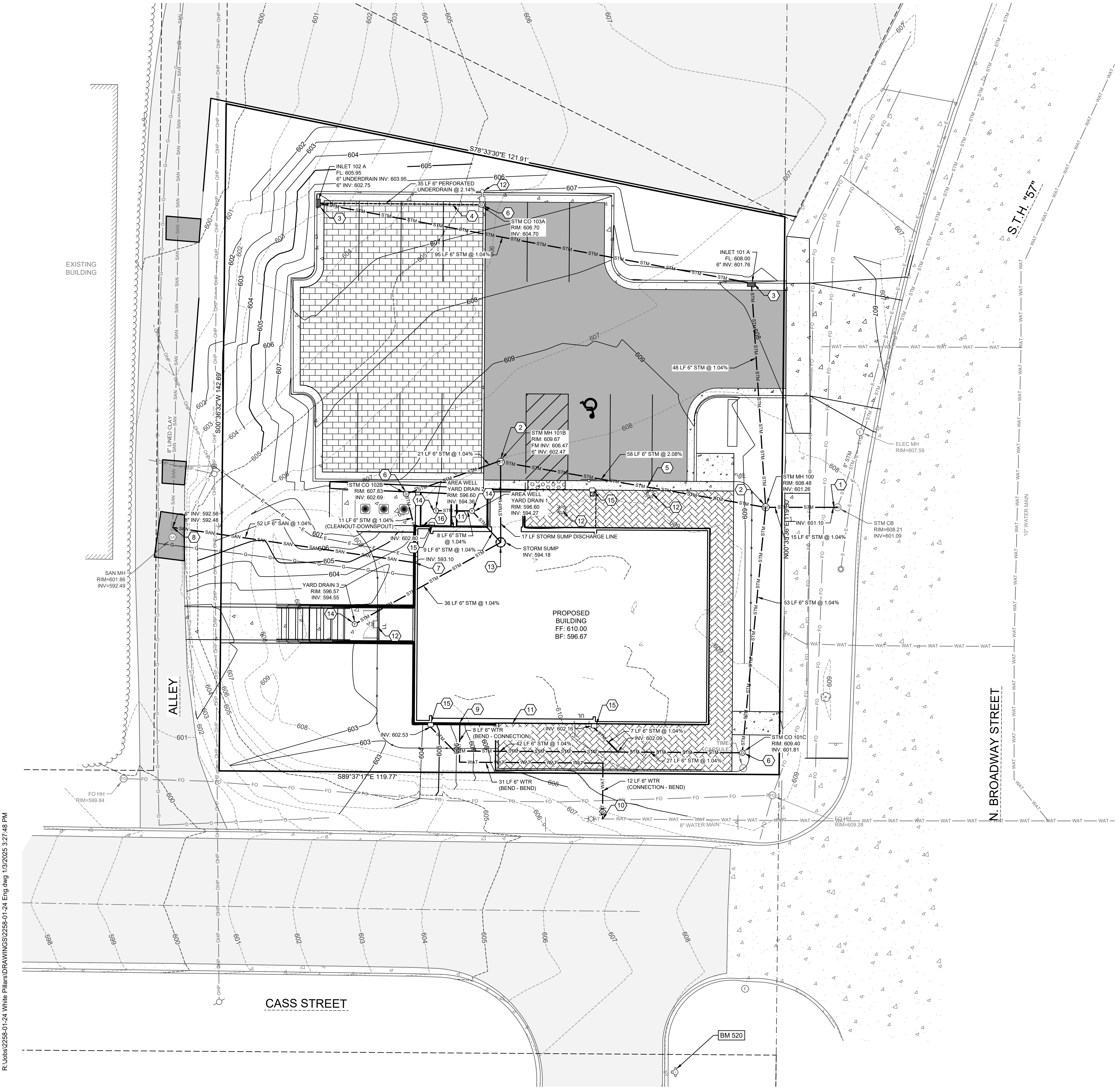
PROJECT NO.:

24-277

SHEET NO.:

C2.0

SITE PLAN



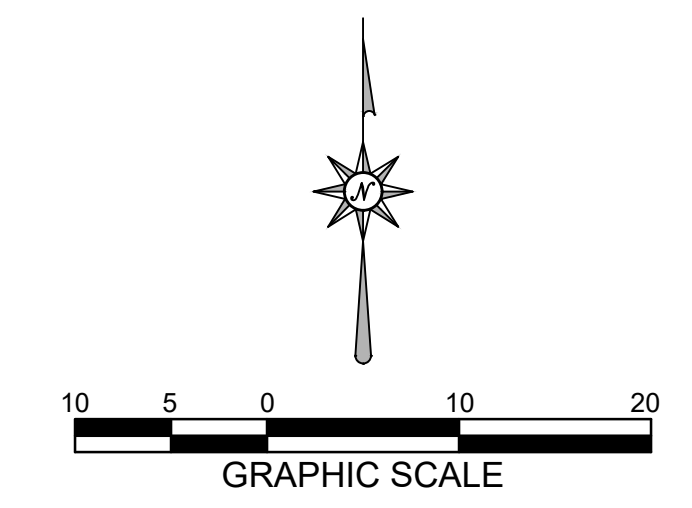
Benchmarks		
Label	Elevation	Description
BM 520	610.44	HYDRANT BURY BOLT

SHEET KEY NOTES:

1. CONNECT TO EXISTING STORM SEWER STRUCTURE WITH WATERTIGHT CONNECTION (KOR-N-SEAL BY TRELLEBORG OR APPROVED EQUAL). CONTRACTOR SHALL FIELD VERIFY INVERT ELEVATION AND LOCATION PRIOR TO INSTALLATION.
2. STORM MANHOLE; SEE DETAIL A SHEET C6.1
3. STORM INLET - 2'X3'; SEE DETAIL B SHEET C6.1
4. 6" UNDERDRAIN. CONNECT TO STORM INLET; REFER TO DETAIL G SHEET C6.0
5. ROOF DRAIN COLLECTOR LINE; VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS.
6. STORM CLEANOUT; SEE DETAIL C SHEET C6.1. CLEANOUTS TO BE LOCATED NO MORE THAN 100 FEET APART
7. COORDINATE SANITARY SEWER CONNECTION TO BUILDING WITH BUILDING PLUMBER
8. CONNECT TO EXISTING SANITARY SEWER WITH WATERTIGHT CONNECTION (KOR-N-TEE BY TRELLEBORG OR APPROVED EQUAL). CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF THE EXISTING SANITARY SEWER MAIN AT THE PROPOSED POINT OF CONNECTION PRIOR TO INSTALLATION.
9. COORDINATE WATER SERVICE CONNECTION TO BUILDING WITH BUILDING PLUMBER
10. CONNECT TO EXISTING 8" WATER MAIN; SEE DETAIL E SHEET C6.1.
11. EXTERIOR HOSE BIB LOCATION; COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS
12. LIGHT FIXTURE LOCATION; REFER TO ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR FIXTURE TYPE
13. SUMP PIT AND PUMP; COORDINATE WITH PLUMBING PLANS
14. YARD DRAIN; SEE DETAIL D SHEET C6.1
15. DOWNSPOUT LOCATION; VERIFY WITH PLUMBING AND ARCHITECTURAL DRAWINGS
16. MOUNT ROOF DRAIN TO AREA WELL SALL

UTILITY NOTES:

1. SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
2. WATER SERVICE SHALL BE C900 PVC. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
3. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
4. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
5. WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
6. STORM SEWER SHALL BE PVC SDR 35 (ASTM-D-3034) OR SCH 40.
7. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
8. CONNECTIONS TO MUNICIPAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S STANDARD SPECIFICATIONS.



MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2258-01-24
Date: NOVEMBER 22, 2024

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
CONSTRUCTION, INC.
Established 1976
N9351 Isaar Road, Seymour, WI 54155 / F: 920.833.6465 / T: 920.833.2158 / www.schuhconstruction.com

State ID# 680499
Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc. and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
**DE PERE HISTORICAL SOCIETY
WHITE PILLARS**
403 NORTH BROADWAY STREET
DE PERE, WI 54115

PROJECT NO.:
24-277

SHEET NO.:
C3.0

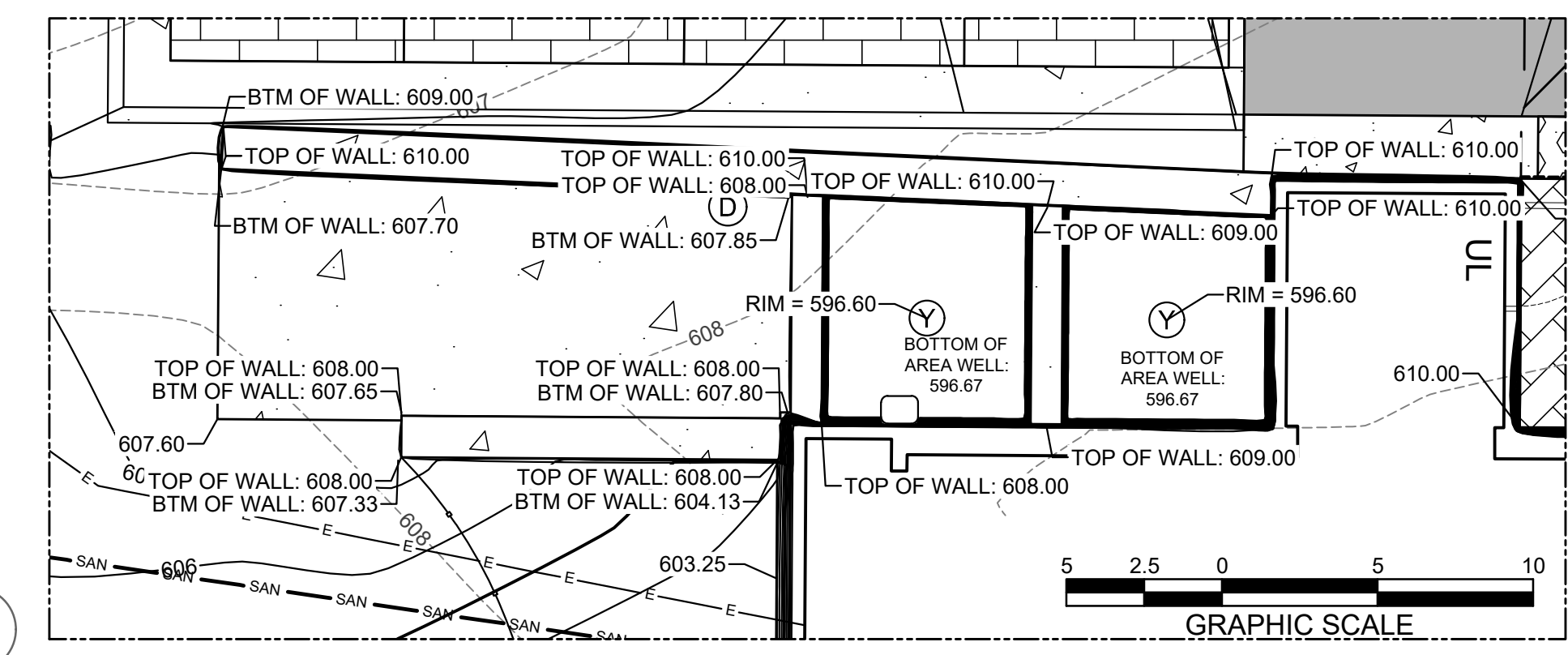
UTILITY PLAN

R:\Jobs\2258-01-24 White Pillars\DRAWINGS\2258-01-24 Eng.dwg 1/3/2025 3:27:48 PM

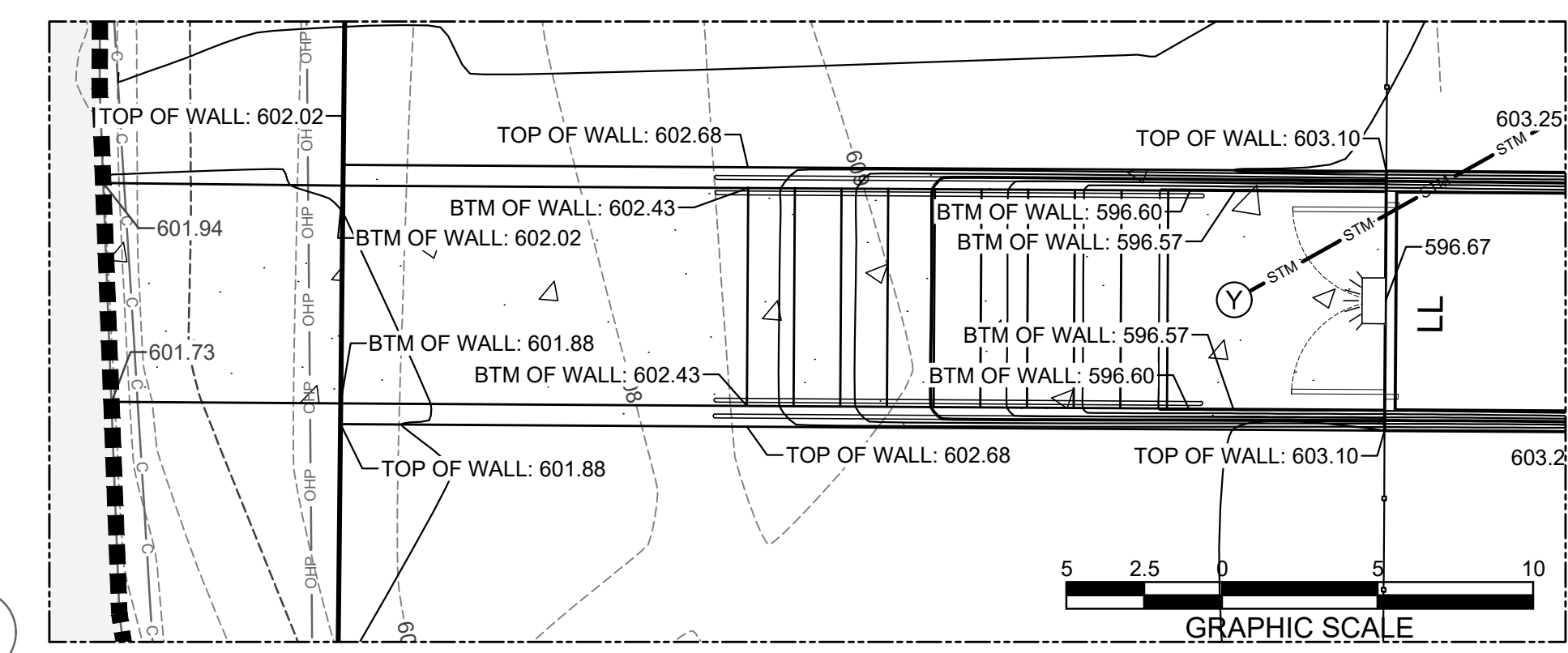
Benchmarks		
Label	Elevation	Description
BM 520	610.44	HYDRANT BURY BOLT

SHEET KEY NOTES:

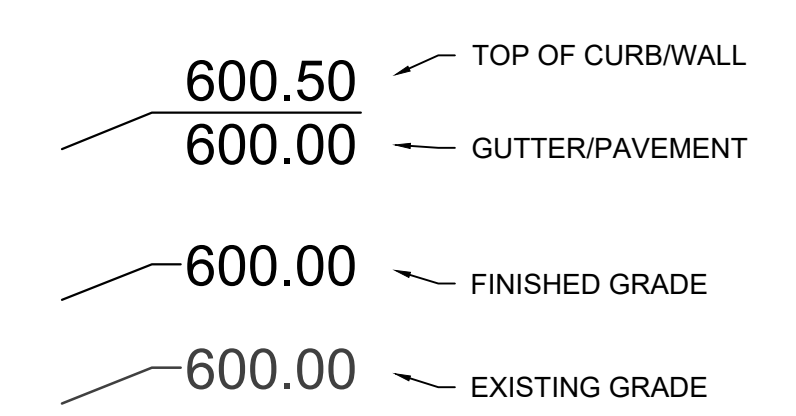
- ① CONSTRUCTION / GRADING LIMITS
- ② SPOT GRADE; SEE DETAIL A THIS SHEET
- ③ REVERSE PAN CURB AND GUTTER; SEE DETAIL H SHEET C6.0
- ④ STANDARD PAN CURB AND GUTTER; SEE DETAIL H SHEET C6.0
- ⑤ SEE INSET A THIS SHEET & REFER TO ARCHITECTURAL ELEVATIONS
- ⑥ SEE INSET B THIS SHEET & REFER TO ARCHITECTURAL ELEVATIONS



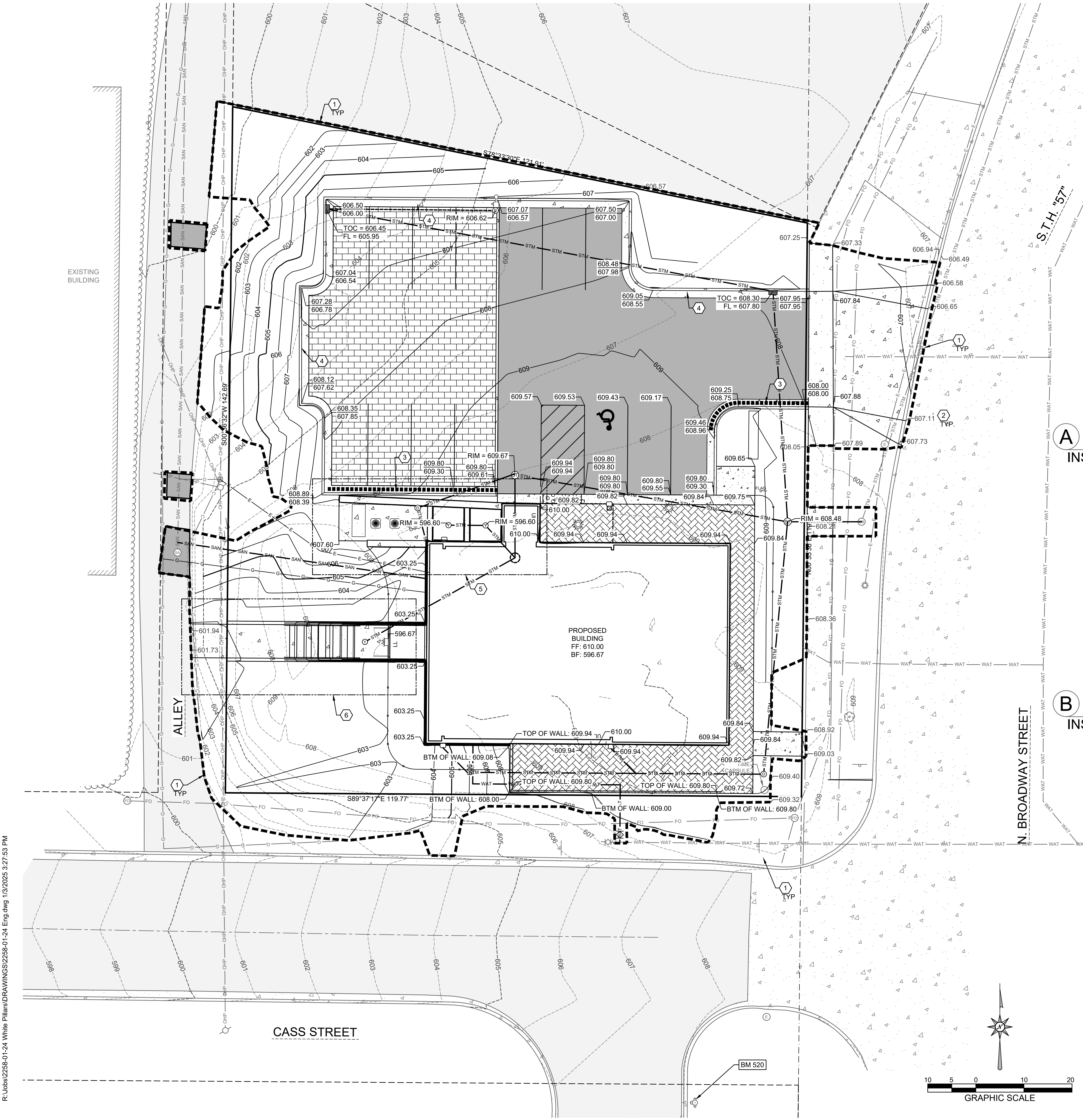
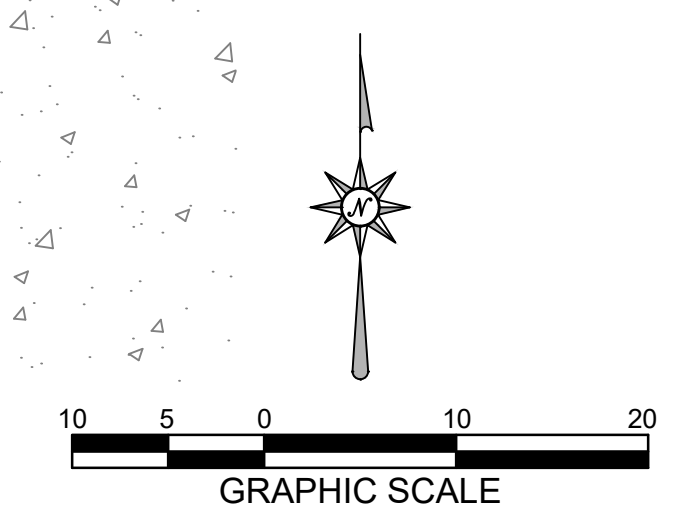
A
INSET A



B
INSET B



A
SPOT GRADE KEY



R:\Jobs\2258-01-24 White Pillars\DRAWINGS\2258-01-24 Eng.dwg 1/3/2025 3:27:53 PM

DESIGN / BUILD
 GENERAL CONTRACTING
 STEEL FABRICATION
SCHUH
 CONSTRUCTION, INC.
 Established 1976
 9351 Isnar Road, Seymour, WI 54155 / T: 920.833.6465 / F: 920.833.2158 / www.schuhconstruction.com
 State ID# 680499

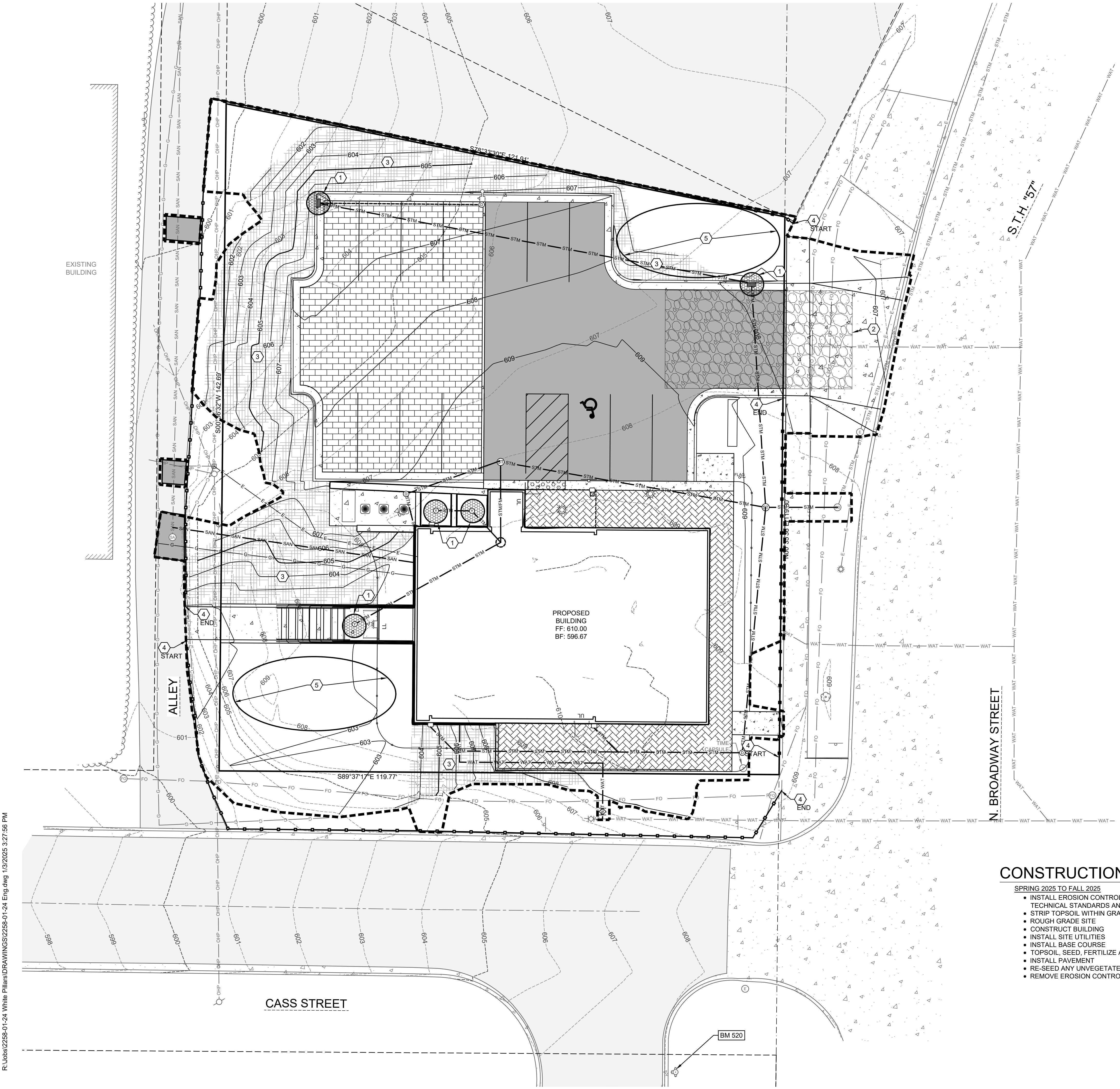
Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc. and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
DE PERE HISTORICAL SOCIETY
WHITE PILLARS
 403 NORTH BROADWAY STREET
 DE PERE, WI 54115

PROJECT NO.:
24-277
 SHEET NO.:
C4.0

MACH IV
 ENGINEERING • SURVEYING • ENVIRONMENTAL
 2260 Salscheider Court Green Bay, WI 54313
 PH: 920-569-5765; Fax: 920-569-5767
 www.mach-iv.com
 Project Number: 2258-01-24
 Date: NOVEMBER 22, 2024

GRADING PLAN



SHEET KEY NOTES:

- ① INLET PROTECTION; SEE DETAIL A SHEET C5.1
- ② STONE TRACKING PAD; SEE DETAIL B SHEET C5.1
- ③ CLASS I URBAN, TYPE B WOOD EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL C SHEET C5.1
- ④ SILT FENCE; SEE DETAIL D SHEET C5.1
- ⑤ TEMPORARY STOCKPILES

PLANNED EROSION CONTROL PRACTICES:

1. **SILT FENCE (TECH. STANDARD 1056)**
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. **INLET PROTECTION (TECH STANDARD 1060)**
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. **DUST CONTROL (TECH STANDARD 1068)**
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. **STOCKPILED TOPSOIL/TEMPORARY FILL PILLS**
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILLS. SOIL PILLS OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. **TEMPORARY CONSTRUCTION ENTRANCE/EXIT (TECH. STANDARD 1057)**
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. **EROSION CONTROL MATS (TECH. STANDARD 1053)**
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. **DEWATERING (TECH STANDARD 1061)**
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

MAINTENANCE PLAN:

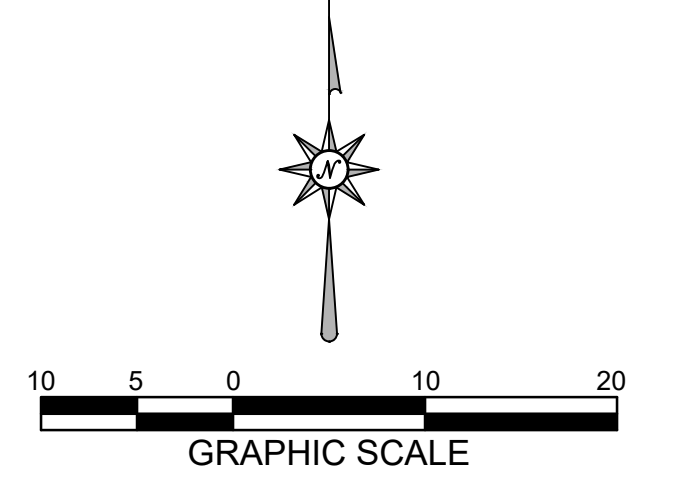
1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF-SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEP OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

CONSTRUCTION NOTES:

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

CONSTRUCTION SEQUENCE:

- SPRING 2025 TO FALL 2025**
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS AND STORMWATER MANAGEMENT PLAN.
 - STRIP TOPSOIL WITHIN GRADING LIMITS
 - ROUGH GRADE SITE
 - CONSTRUCT BUILDING
 - INSTALL SITE UTILITIES
 - INSTALL BASE COURSE
 - TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
 - INSTALL PAVEMENT
 - RE-SEED ANY UNVEGETATED AREAS
 - REMOVE EROSION CONTROL BMPS UPON SITE STABILIZATION



2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2258-01-24
Date: NOVEMBER 22, 2024

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
METAL BUILDINGS



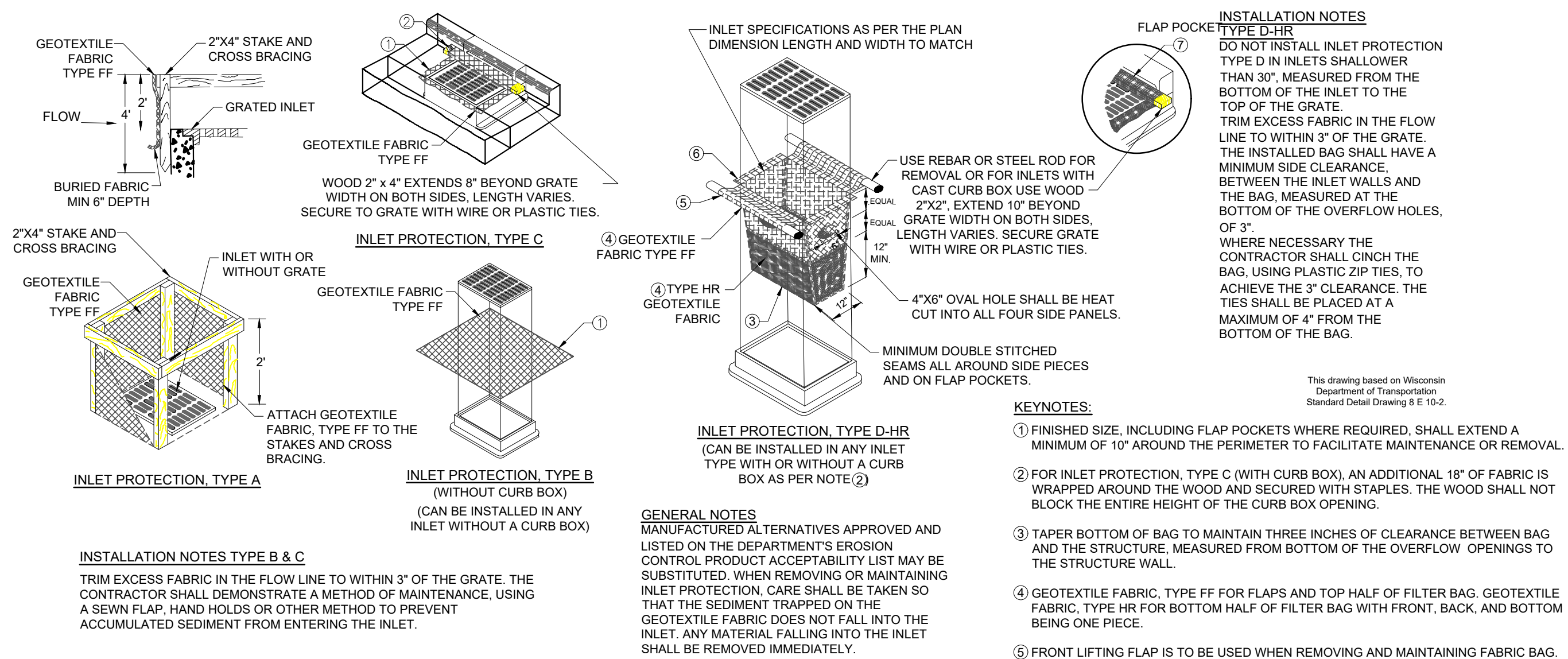
Notes: These plans/electronic files are the exclusive property of Schuh Construction, Inc. and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or otherwise used without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
**DE PERE HISTORICAL SOCIETY
WHITE PILLARS**
403 NORTH BROADWAY STREET
DE PERE, WI 54115

PROJECT NO.:
24-277

SHEET NO.:
C5.0

EROSION CONTROL PLAN

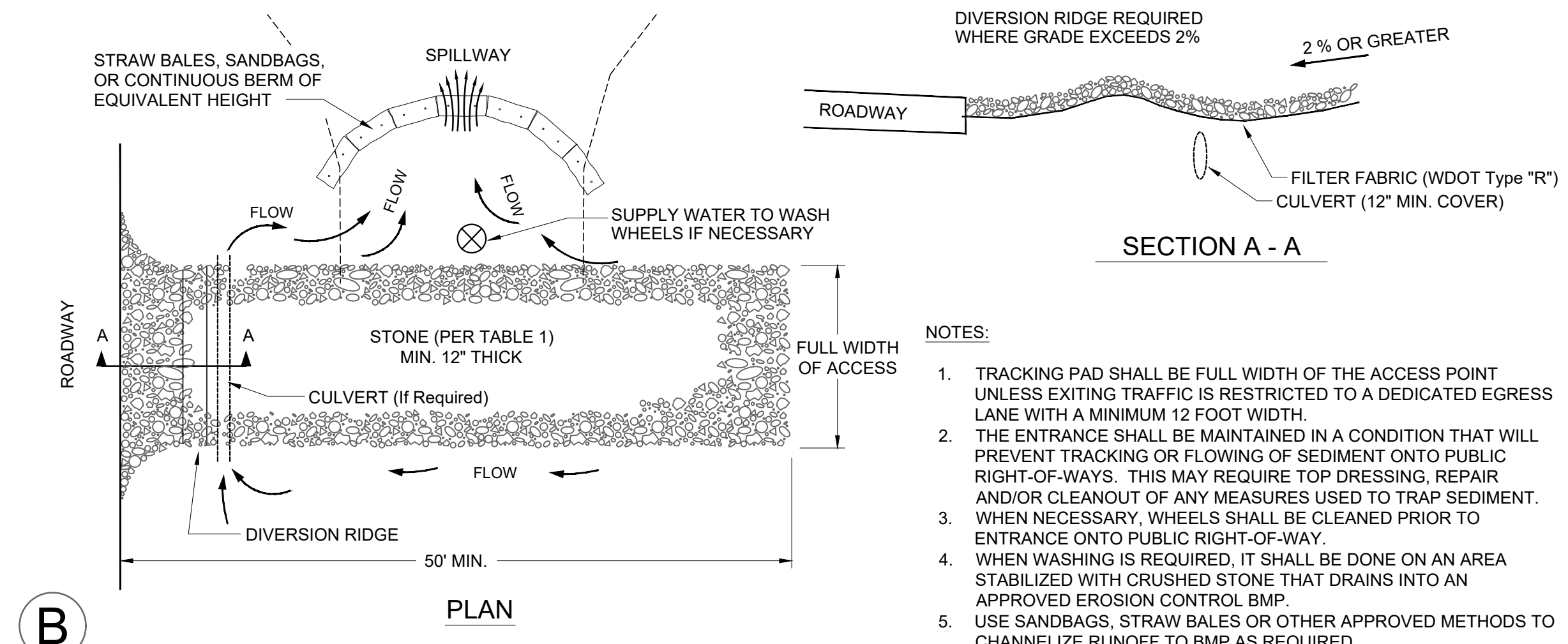


- INLET PROTECTION TYPES:**
1. ALL INLETS IN PUBLIC RIGHTS OF WAY SHALL RECEIVE INLET PROTECTION TYPE D-HR AS DETAILED ON SHEET C5.1.
 2. INLETS ON PRIVATE PROPERTY SHALL RECEIVE INLET PROTECTION TYPE B OR C (DEPENDANT ON CASTING TYPE), FOR INLETS IN PAVED AREAS, AND INLET PROTECTION TYPE A IN UN-PAVED AREAS.

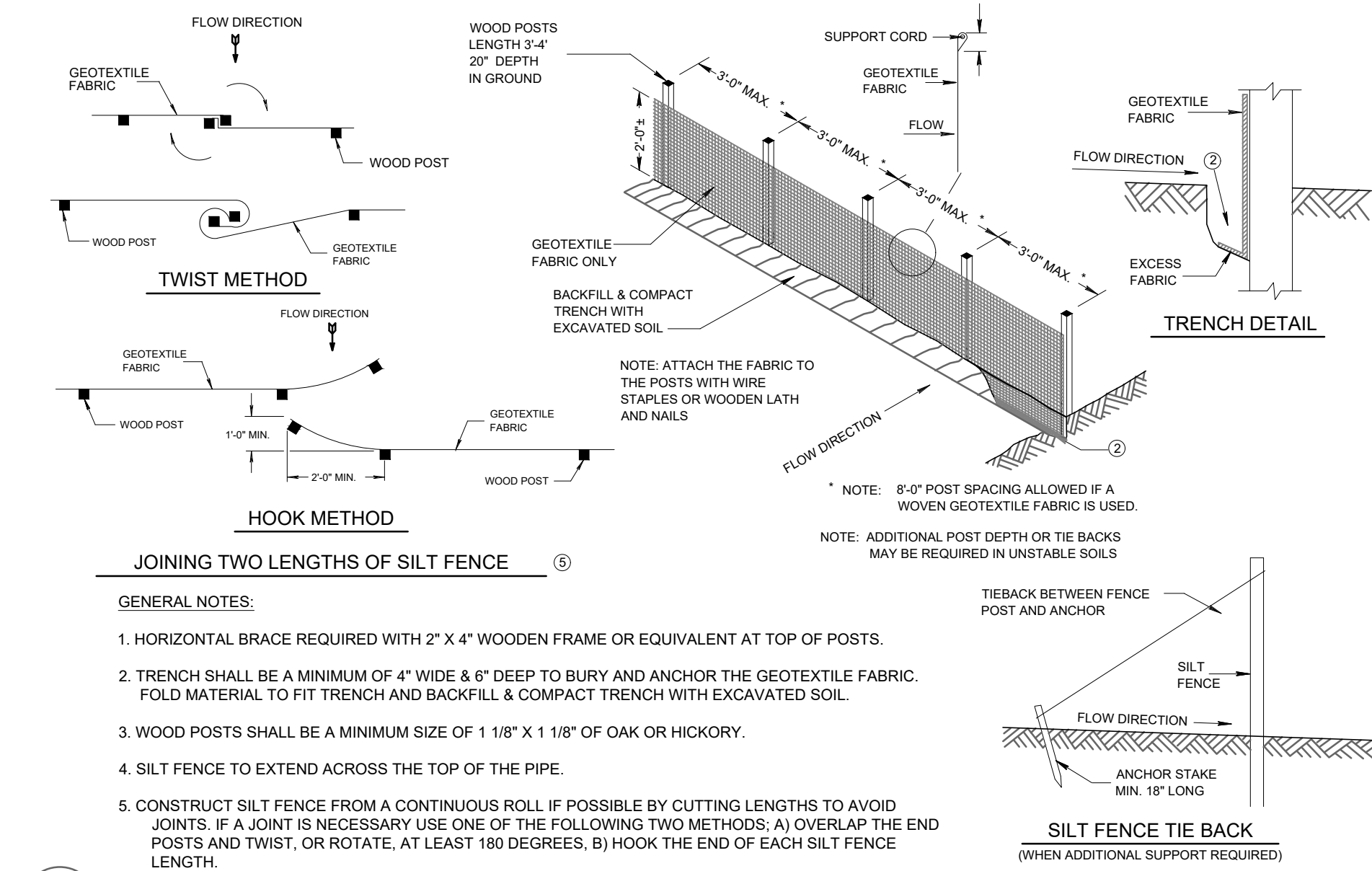
A INLET PROTECTION

TABLE 1: GRADATION FOR STONE TRACKING PADS

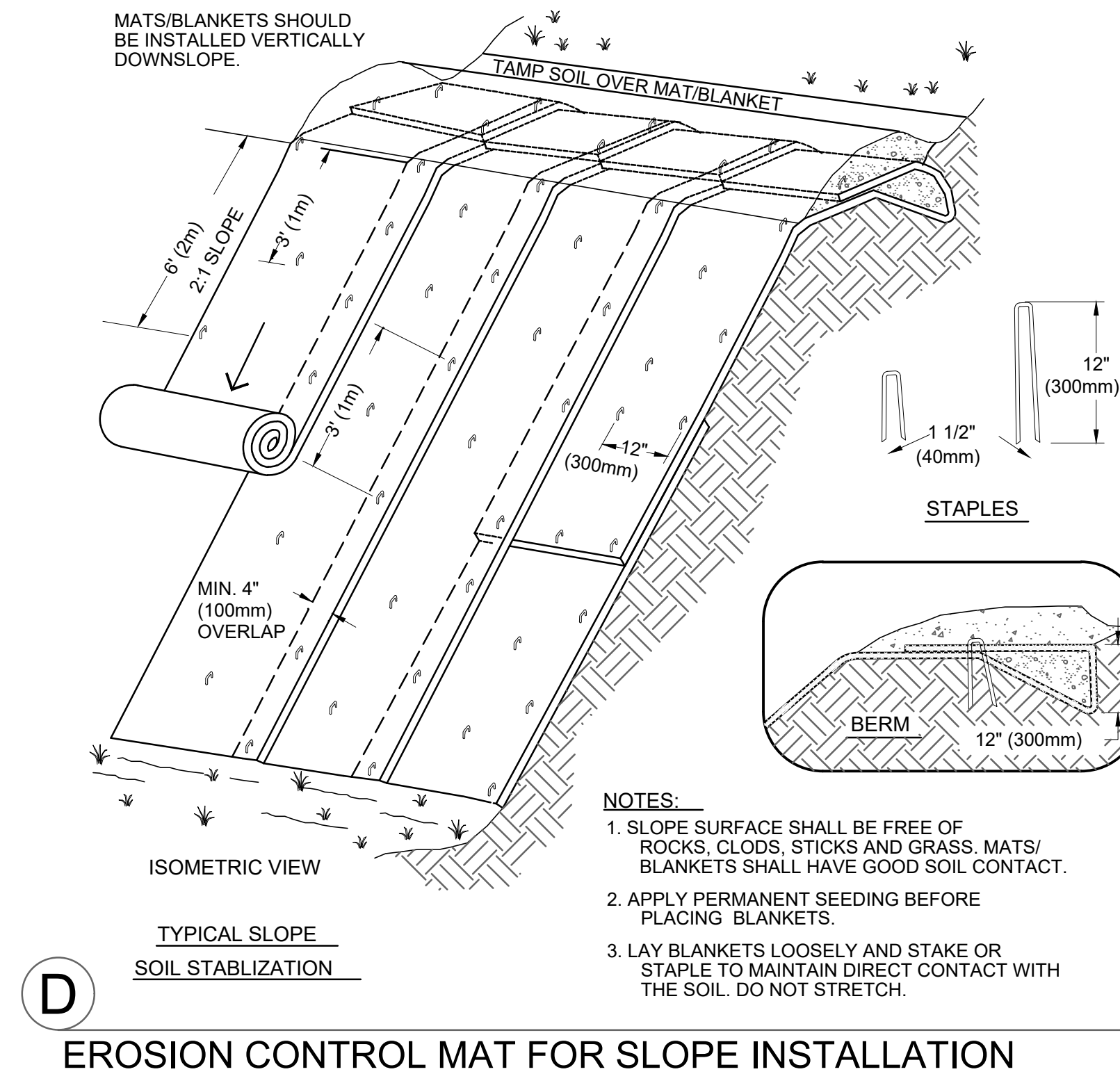
SIEVE SIZE	% PASSING BY WEIGHT
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5



B STONE TRACKING PAD



C SILT FENCE



D EROSION CONTROL MAT FOR SLOPE INSTALLATION

R:\Jobs\2258-01-24 White Pillars\DRAWINGS\2258-01-24 Eng.dwg 1/3/2025 3:27:57 PM

MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2258-01-24
Date: NOVEMBER 22, 2024

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
METAL BUILDINGS

Schuh
CONSTRUCTION, INC.
Established 1976

State ID# 680499

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc. and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
**DE PERE HISTORICAL SOCIETY
WHITE PILLARS**
403 NORTH BROADWAY STREET
DE PERE, WI 54115

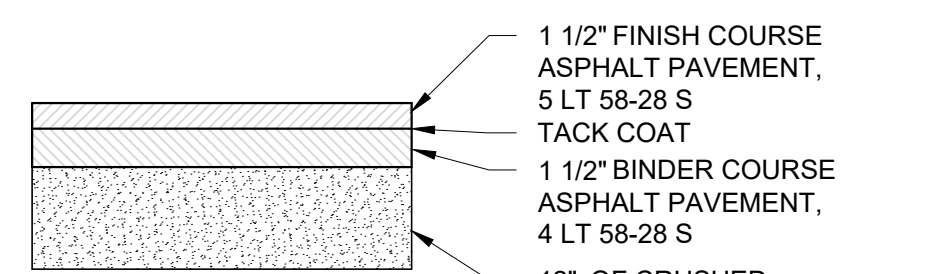
PROJECT NO.:

24-277

SHEET NO.:

C5.1

EROSION CONTROL DETAILS

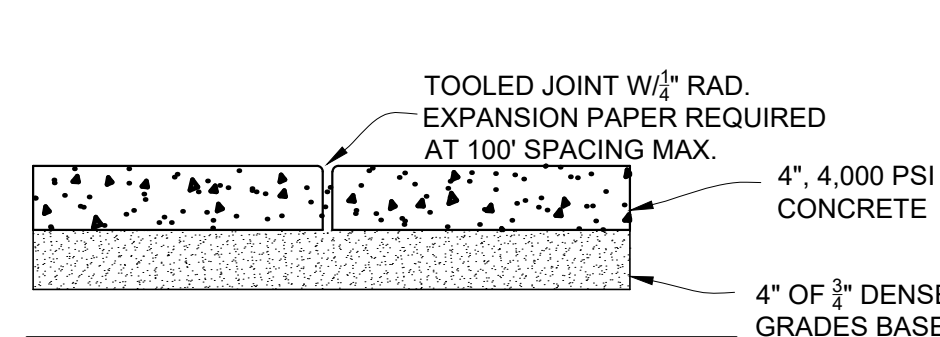


NOTES

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

A

STANDARD DUTY ASPHALT PAVEMENT

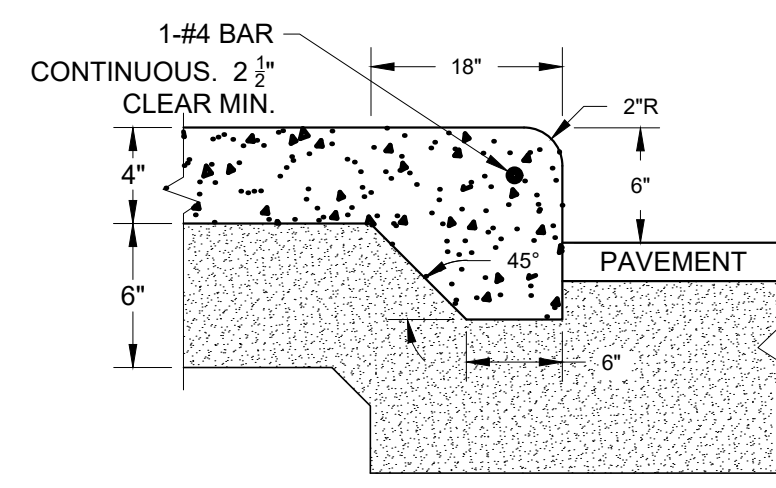


NOTES:

- CONCRETE SHALL RECEIVE A BROOMED FINISH.
- JOINT SPACING SHALL BE 5' OR WIDTH OF SIDEWALK, WHICHEVER IS GREATER. (10' MAX).
- SIDEWALK WIDTH VARIES.

B

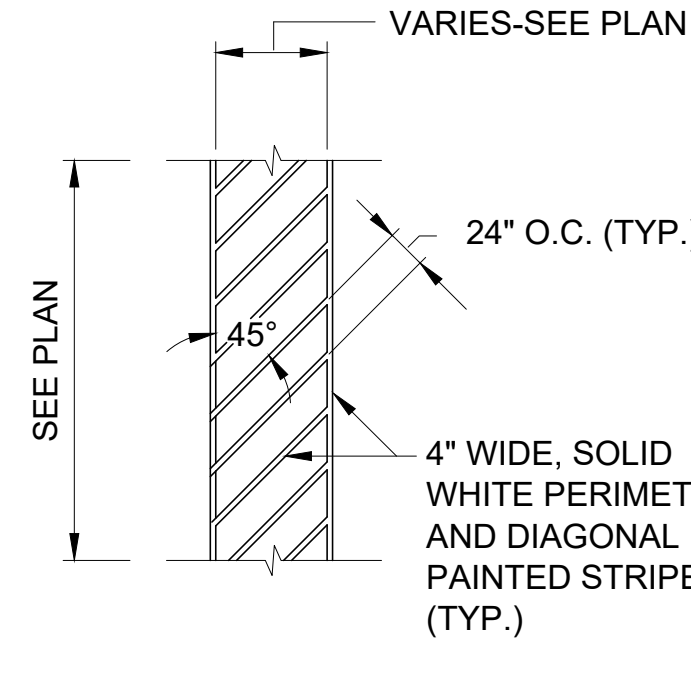
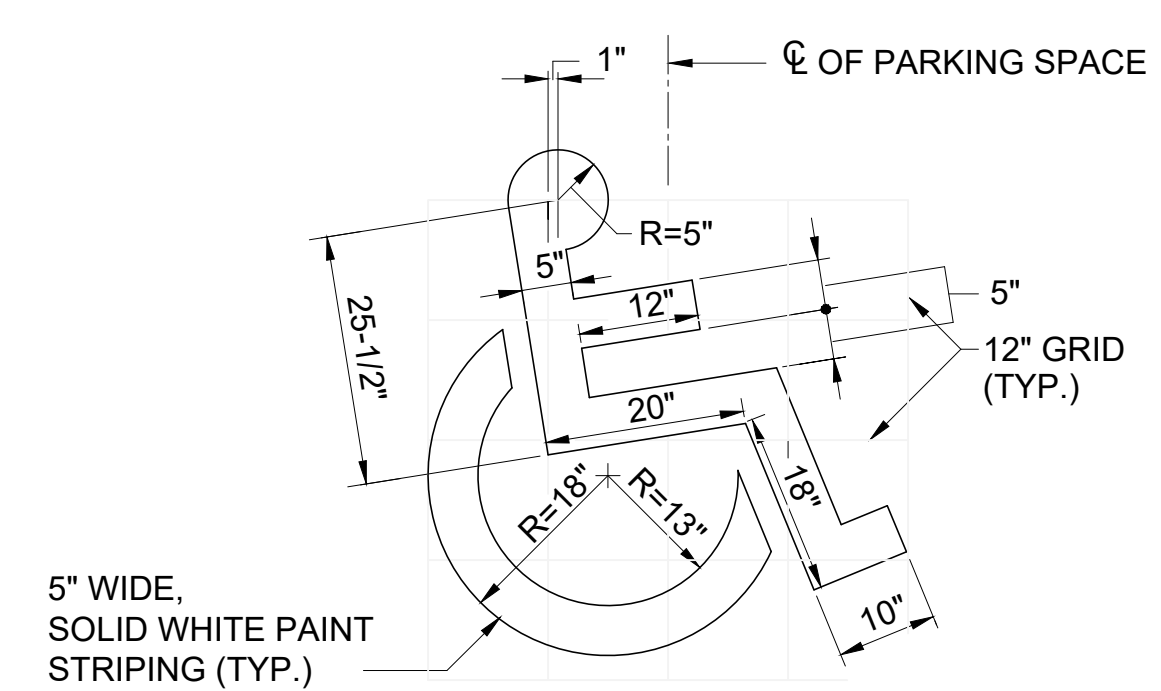
CONCRETE SIDEWALK



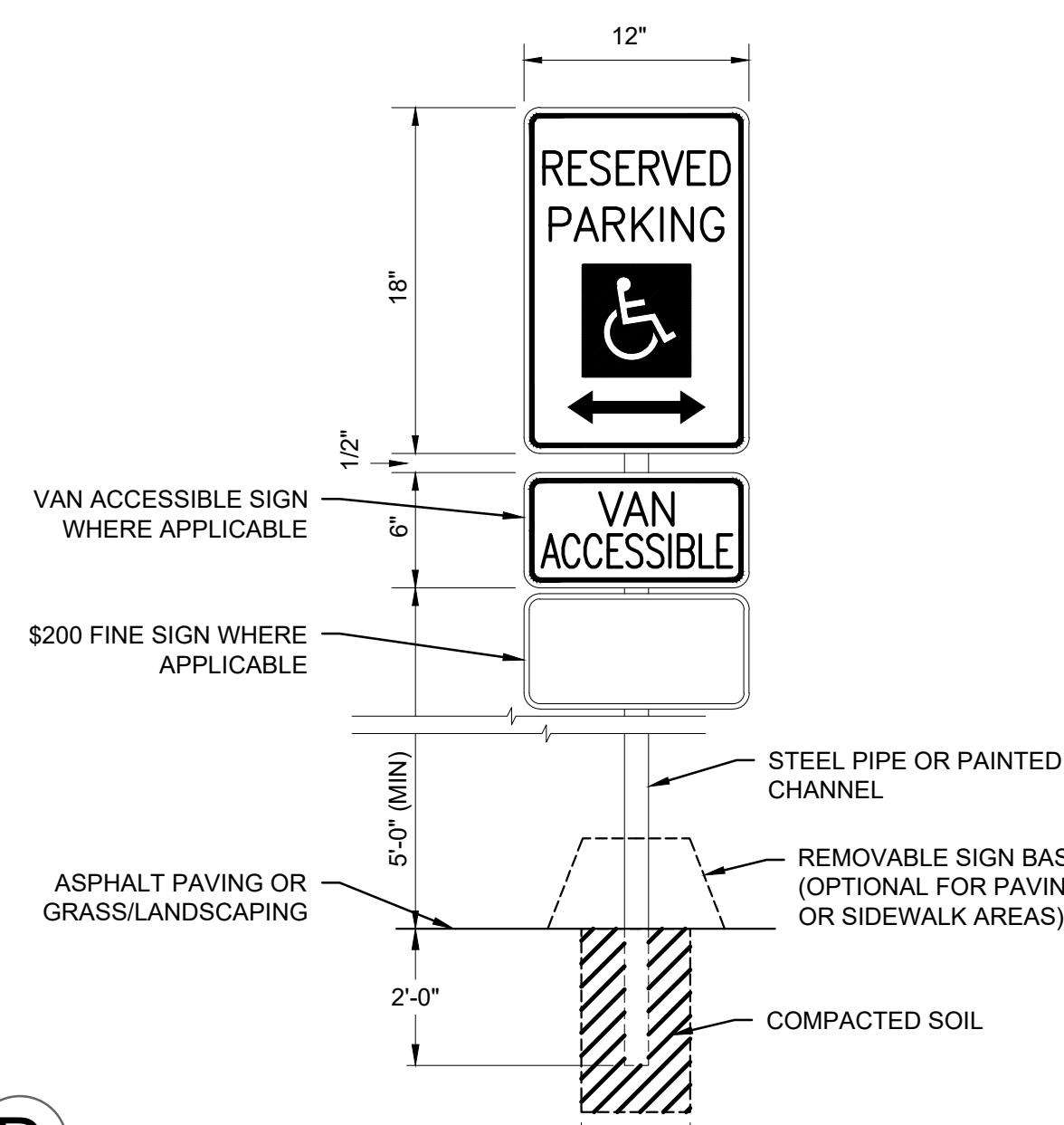
THICKENED EDGE FOR MONOLITHIC SIDEWALK

C

HANDICAP PAVEMENT MARKING DETAILS

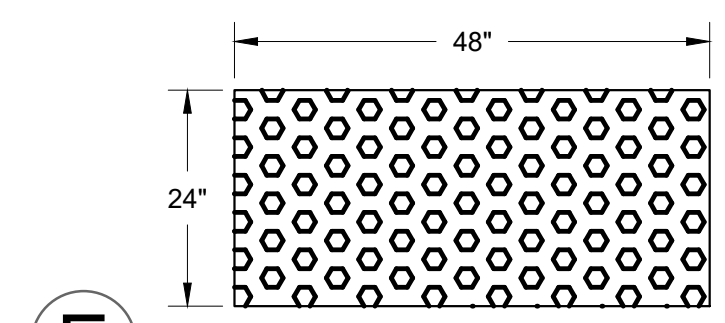


PAINTED ISLAND/ ACCESS AISLE



D

ADA HANDICAP SIGN

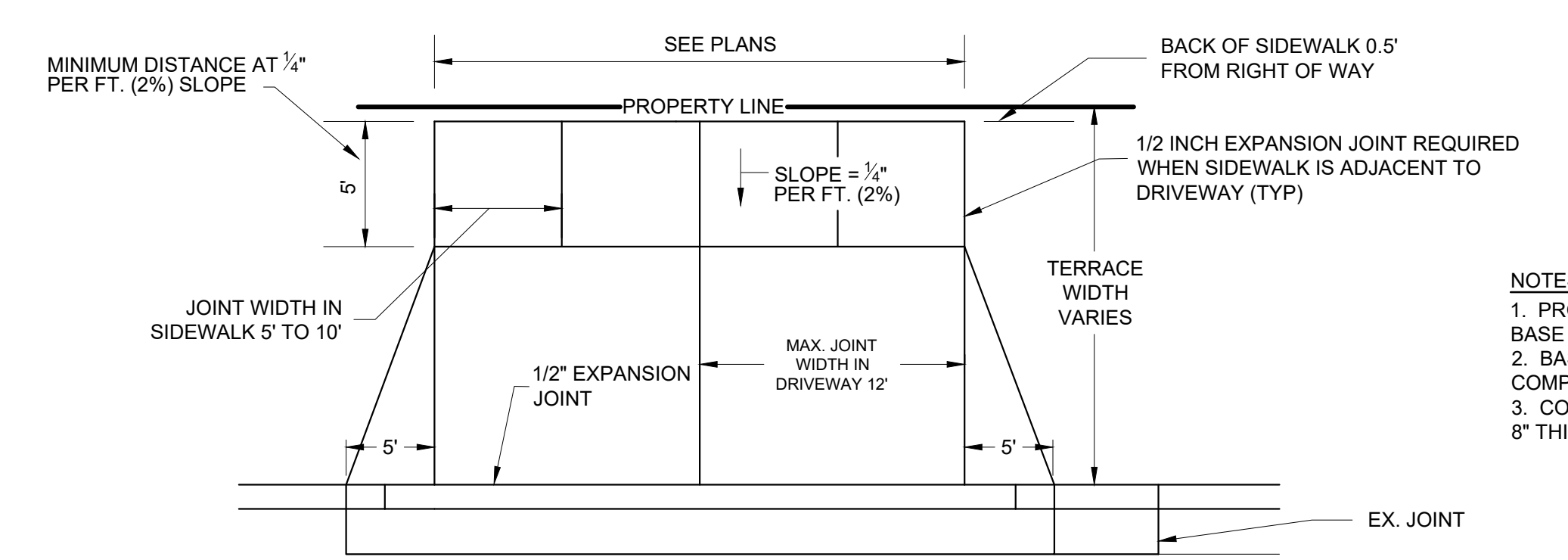


NOTES:

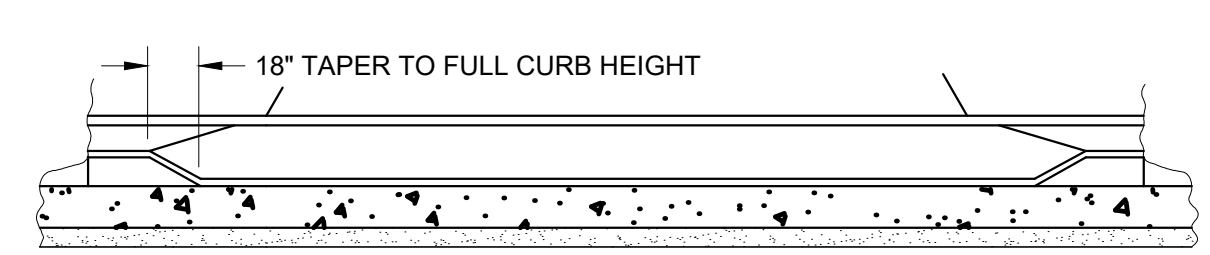
- TRUNCATED DOME DETECTABLE WARNING PLATE. PLATE SHALL BE UNFINISHED NEENAH FOUNDRY R-4984 OR EQUIVALENT. (TYP)
- DETECTABLE WARNING SHALL BE PLACED WHERE PEDESTRIAN TRAFFIC IS AT GRADE WITH VEHICULAR TRAFFIC.

E

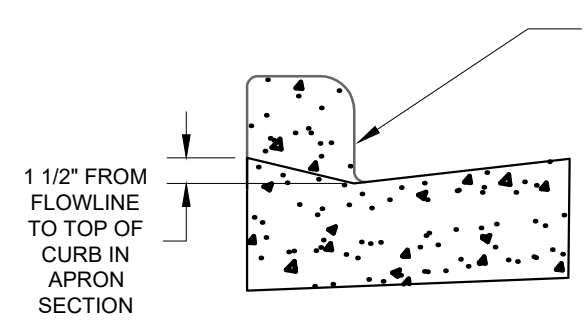
DETECTABLE WARNING PLATE



PLAN VIEW OF DRIVEWAY APRON



SECTION VIEW OF CURB CUT



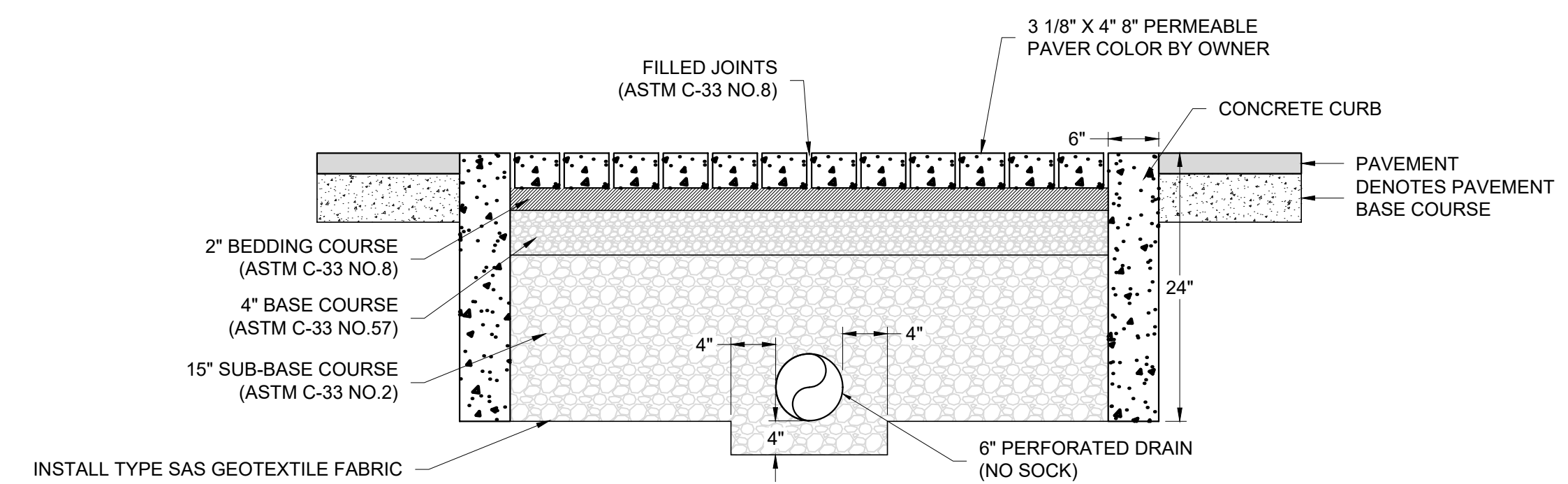
SECTION VIEW OF CURB

NOTES

- PROVIDE MIN. 4 INCHES OF 3/4\"/>

F

CONCRETE DRIVEWAY APRON

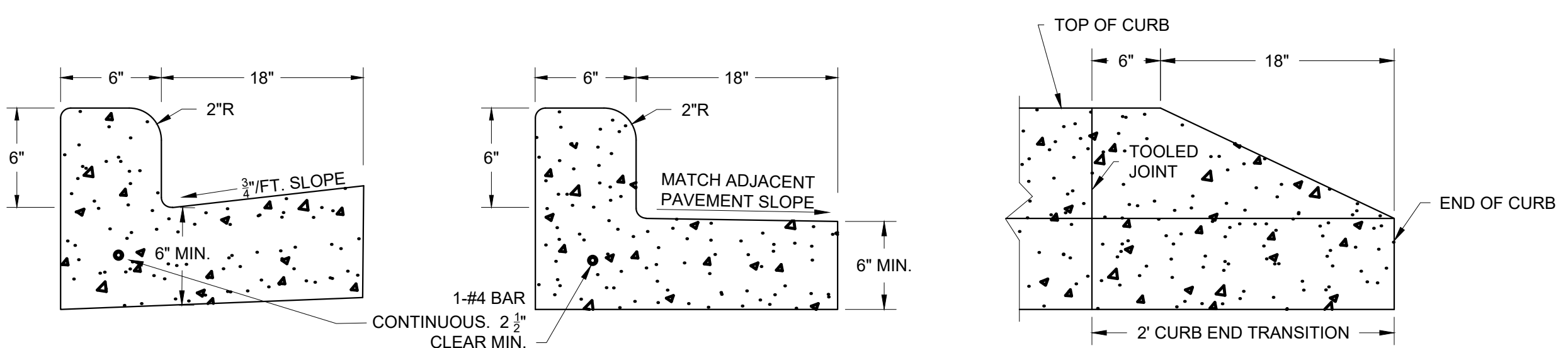


NOTES:

- PAVEMENT SURFACE PERCENT VOIDS SHALL BE LESS THAN 25%.
- THE PAVEMENT SURFACE INFILTRATION RATE SHALL BE 100 IN/HR AT THE TIME OF INSTALLATION.
- SEE UTILITY PLAN SHEET FOR CONNECTION TO STORM SEWER.
- PERFORATED UNDER DRAIN SHALL HAVE AN AGGREGATE BEDDING LAYER OF AT LEAST 4\"/>

G

PERMEABLE PAVERS



STANDARD 24\"/>

REVERSE PAN 24\"/>

CURB END TRANSITION FRONT VIEW

NOTES:

- THE BOTTOM OF THE CURB AND GUTTER MAY EITHER BE LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE.
- LOCATION OF STANDARD AND REVERSE PAN CURB AND GUTTER IS INDICATED ON THE DRAWINGS.
- CURB SHALL BE PLACED ON A MINIMUM OF 6\"/>

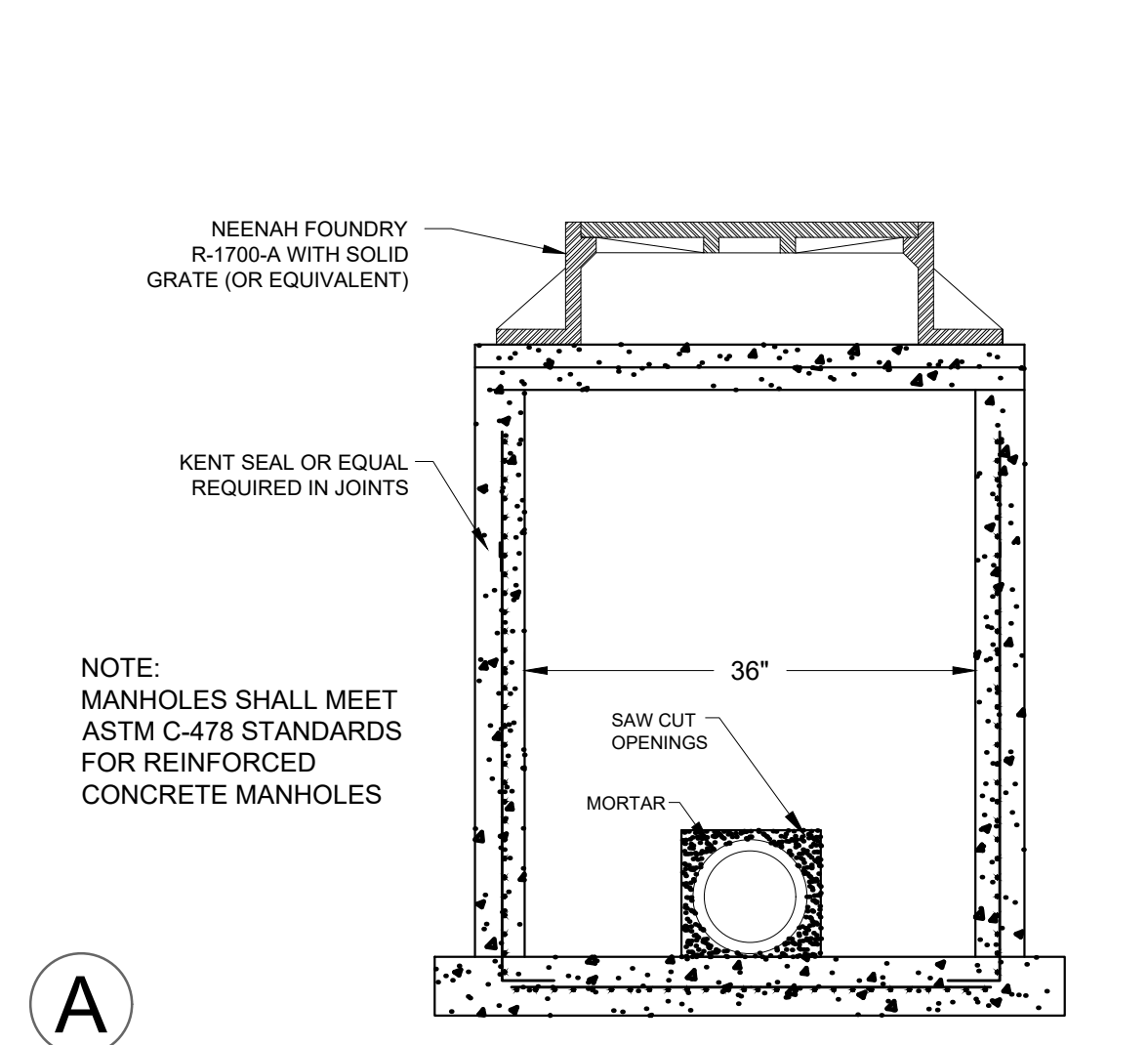
H

24\"/>

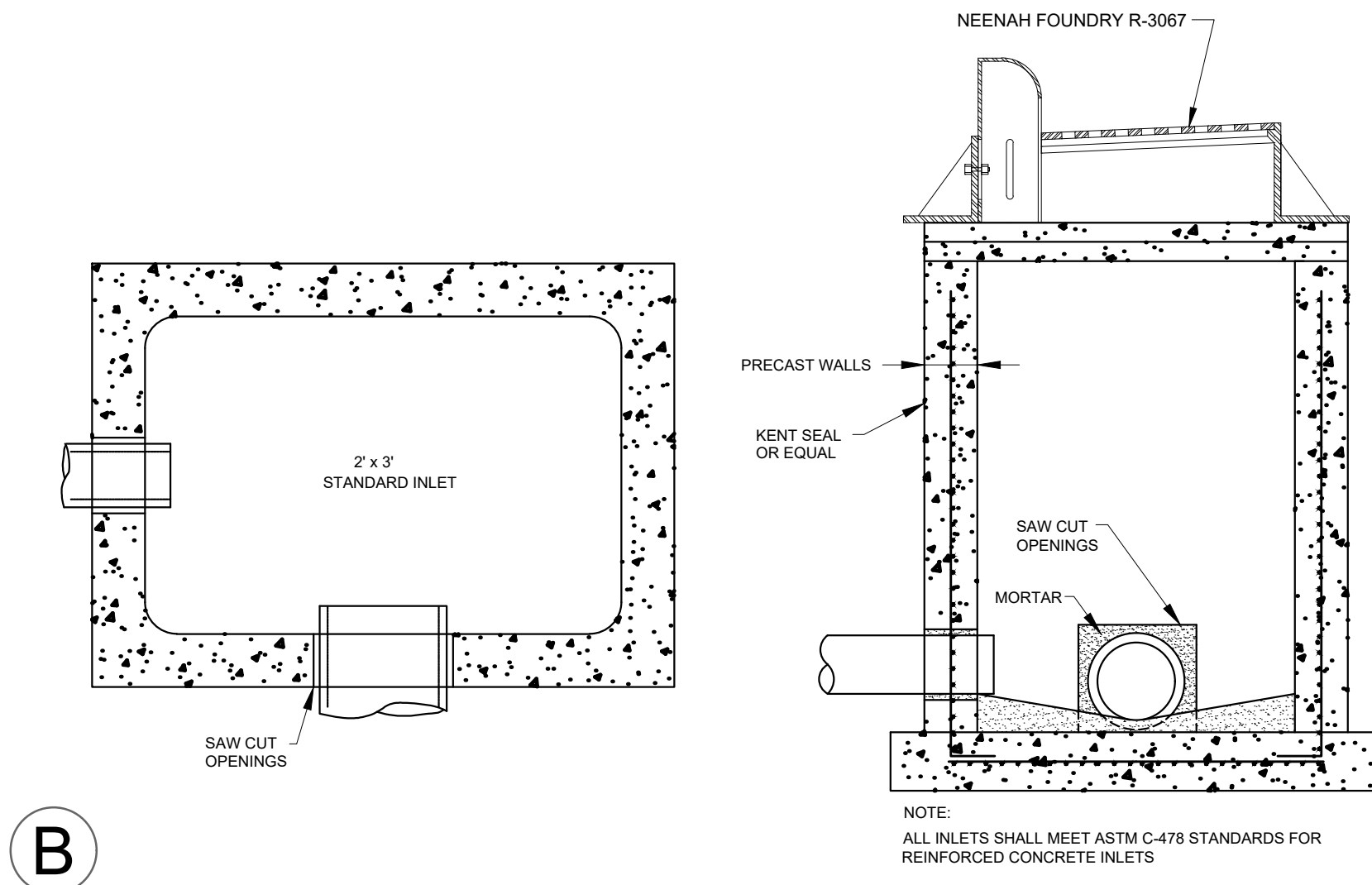


2260 Salscheider Court Green Bay, WI 54313
 PH:920-569-5765; Fax: 920-569-5767
 www.mach-iv.com
 Project Number: 2258-01-24
 Date: NOVEMBER 22, 2024

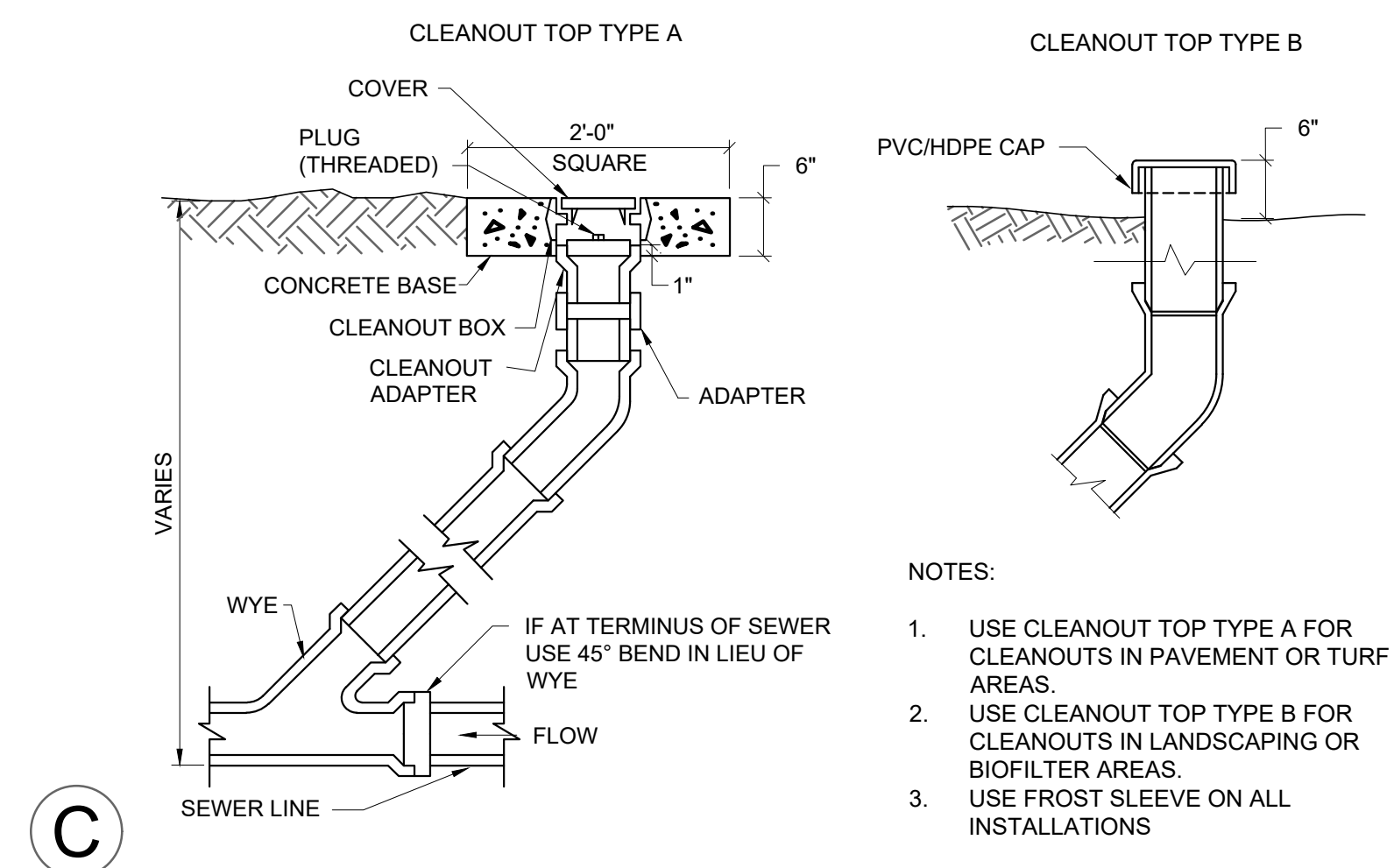
R:\Jobs\2258-01-24 White Pillars\DRAWINGS\2258-01-24 Eng.dwg 1/3/2025 3:27:56 PM



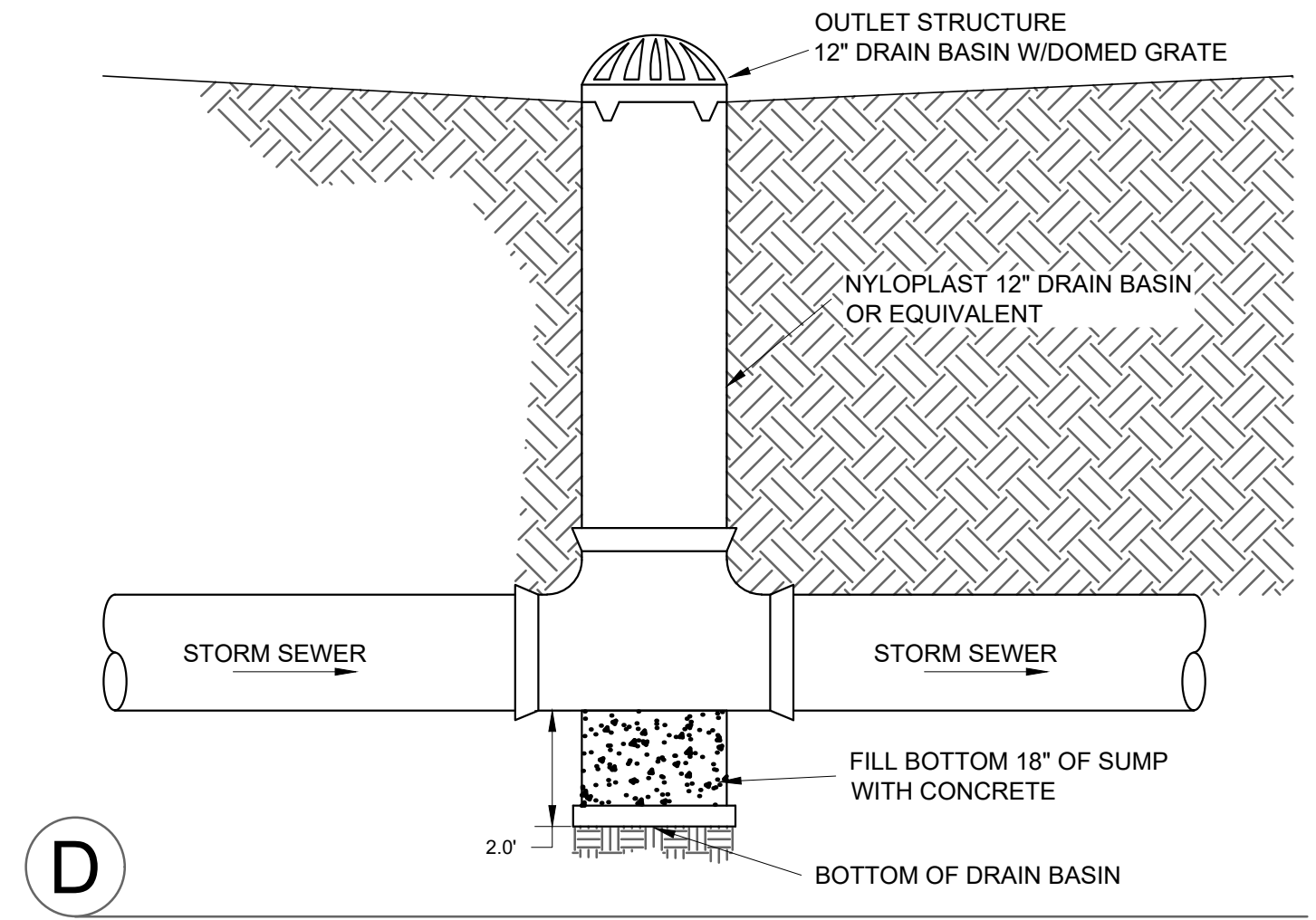
A STORM SEWER MANHOLE (36" DIA.)



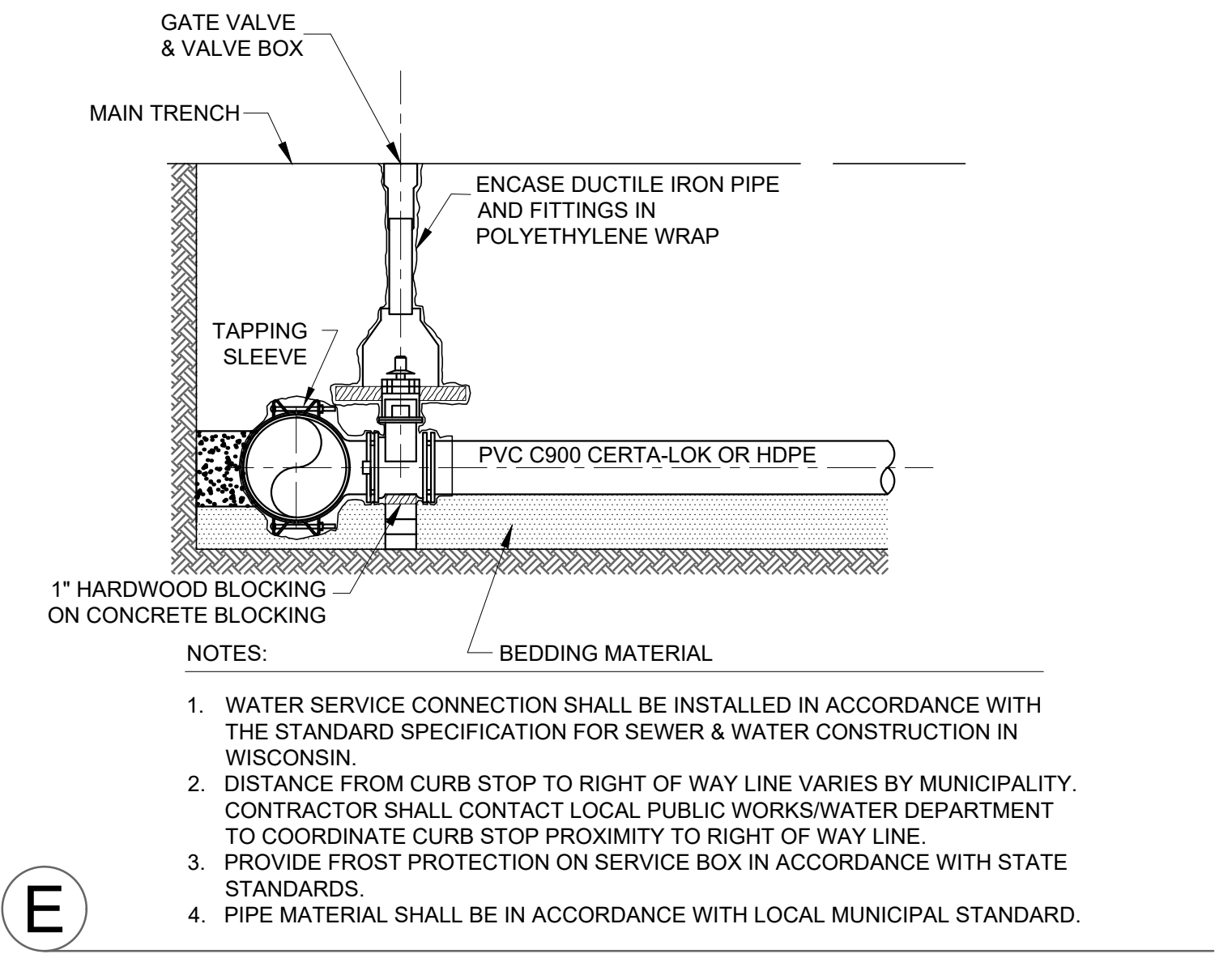
B STORM SEWER INLET (24"x36")



C CLEANOUT



D YARD DRAIN



E LARGE SERVICE CONNECTION WITH TAPPING SLEEVE

R:\Jobs\2258-01-24 White Pillars\DRAWINGS\2258-01-24 Eng.dwg 1/3/2025 3:27:59 PM



ENGINEERING • SURVEYING • ENVIRONMENTAL
 2260 Salscheider Court Green Bay, WI 54313
 PH: 920-569-5765; Fax: 920-569-5767
 www.mach-iv.com
 Project Number: 2258-01-24
 Date: NOVEMBER 22, 2024

DESIGN / BUILD
 GENERAL CONTRACTING
 STEEL FABRICATION
SCHUH
 CONSTRUCTION, INC.
 Established 1976
 9351 Isaar Road, Seymour, WI 54185 / T: 920.833.6465 / F: 920.833.2158 / www.schuhconstruction.com

State ID# 680499
 Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc. and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
**DE PERE HISTORICAL SOCIETY
 WHITE PILLARS**
 403 NORTH BROADWAY STREET
 DE PERE, WI 54115

PROJECT NO.:
24-277

SHEET NO.:
C6.1

UTILITY & GRADING DETAILS

DEPERE HISTORICAL SOCIETY
N. BROADWAY ST./STH 57
RIGHT LANE CLOSURE
DEPERE, WI
BROWN COUNTY.

Legend	
	Arrowboard (Single)
	Barrel
	LCD
	North Arrow
	Safety Zone
	Work Area



Date: 10/15/2024 **Author:** CHRIS DUPREY TCS ADVANCED LIC#56028 **Project:** DEPERE HISTORICAL SOCIETY N. BROADWAY ST. LANE CLOSURE

Comments:

NOT TO SCALE. NOT ALL ROADS & SIGNS SHOWN. ALL SIGNS TO BE SPACED AT 200 FT UNLESS NOTED OTHERWISE IN THE PLANS. TAPER LENGTH TO BE 125 FT WITH A 55 FT BUFFER (SAFETY) ZONE. ALL DRUMS IN TAPER TO BE EQUIPPED WITH TYPE C STEADY BURN LIGHTS. DRUMS TO BE SPACED NO MORE THAN 25 FT APART. EXISTING SPEED LIMIT IN WORK ZONE IS 25 MOH. REFERENCE WISDOT WORK ZONE FIELD MANUAL LAYOUT 38.



GENERAL NOTES:

- IMPACTS TO TRAVEL LANES ON N. BROADWAY STREET / STH 57 SHALL BE COORDINATED WITH BOTH THE CITY OF DE PERE DEPARTMENT OF PUBLIC WORKS & ENGINEERING AND WisDOT.

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
METAL BUILDINGS



State ID# 680499

Notice: These plans/electronic files are the exclusive property of Schuh Construction, Inc. and are loaned with that understanding. Plans/electronic files may not be copied, reproduced, or other use may not be made without the consent of Schuh Construction, Inc. Return upon request.

PROJECT:
DE PERE HISTORICAL SOCIETY
WHITE PILLARS
403 NORTH BROADWAY STREET
DE PERE, WI 54115

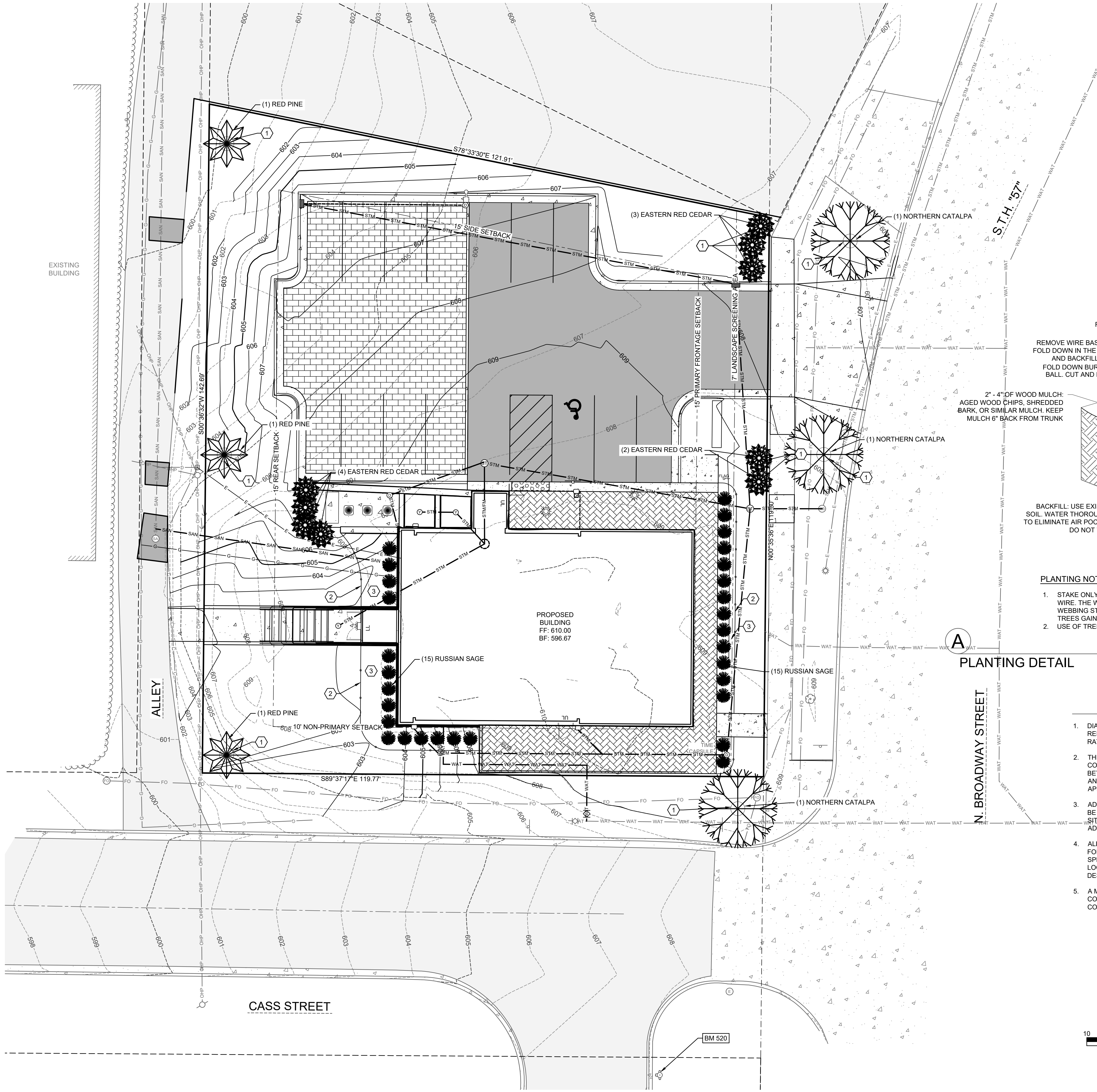
PROJECT NO.:
24-277

SHEET NO.:
C6.2

TRAFFIC CONTROL PLAN



2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2258-01-24
Date: NOVEMBER 22, 2024

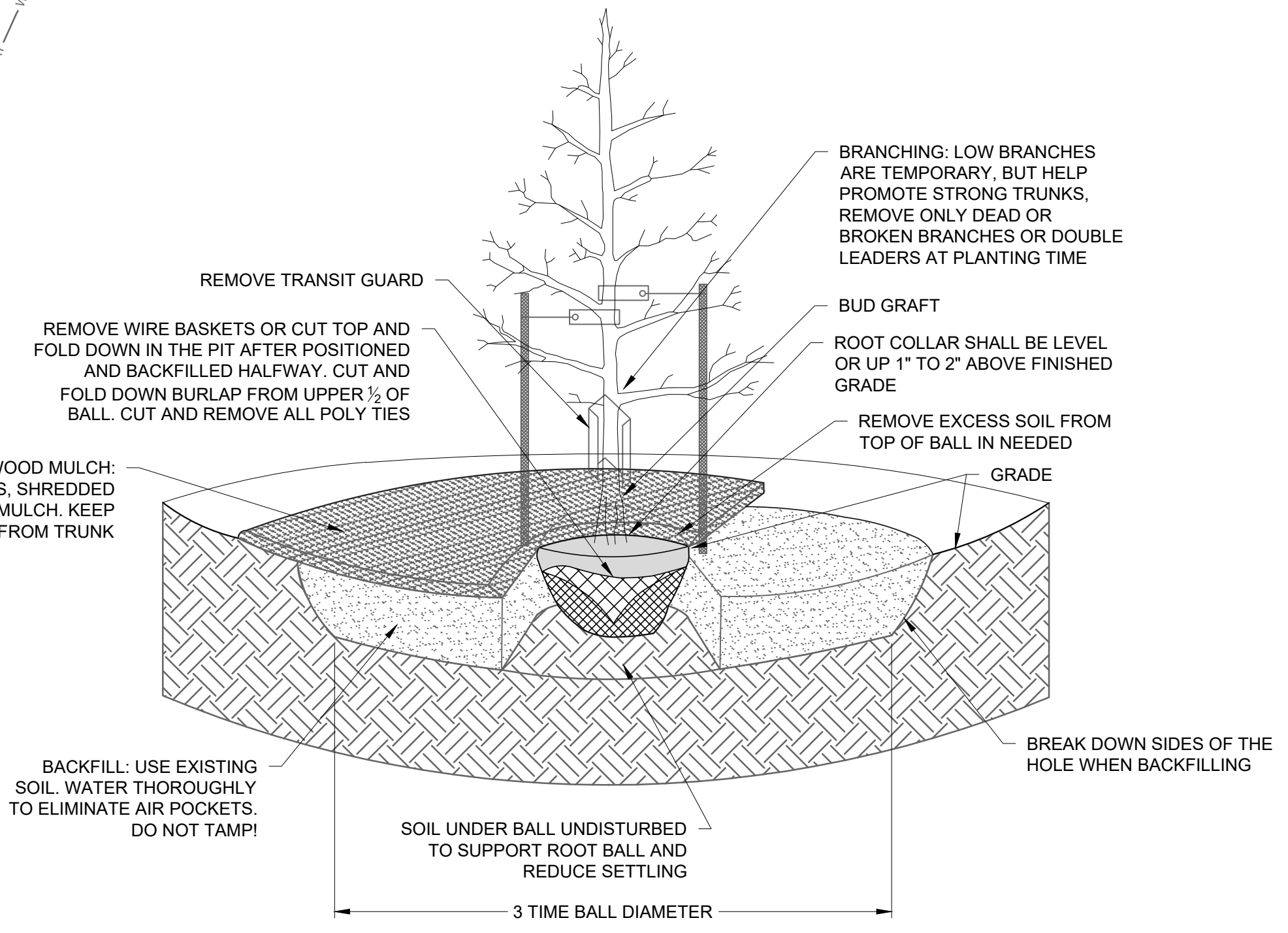


SHEET KEY NOTES:

- ① 6" DIAMETER SPADE EDGE & 3" HARDWOOD MULCH; SEE DETAIL A THIS SHEET
- ② PROFESSIONAL GRADE EDGING
- ③ 3" HARDWOOD MULCH OVER WEED BARRIER FABRIC

PLANT TABLE

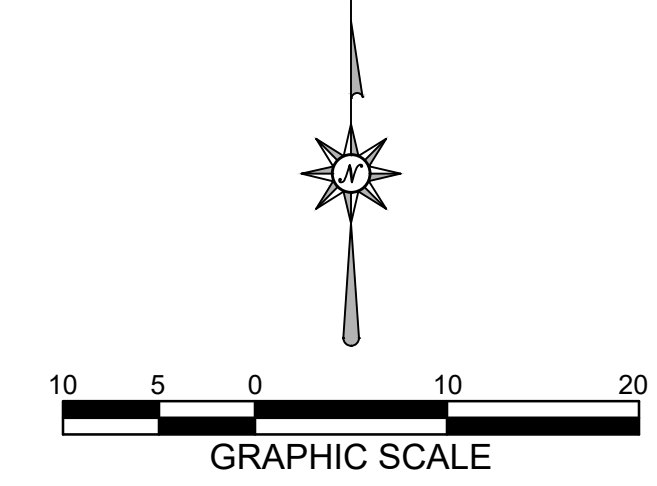
SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
⊙	NORTHERN CATALPA	CATALPA SPECIOSA	3	2"Ø
⊙	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	9	6"
⊙	RED PINE	PINUS RESINOSA	3	6"
⊙	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA 'RUSSIAN SAGE'	30	36"Ø



- PLANTING NOTES:**
1. STAKE ONLY IF HAVE TO. USE 2" - 3" WEBBING STRAPS AND SECURE TO STAKES WITH HEAVY GAUGE WIRE. THE WIRE SHOULD BE ABLE TO STICK STRAIGHT OUT FROM THE STAKE AND HOLD THE WEBBING STRAP UP, PREVENTING IT FROM SLIDING DOWN THE TREE. DO NOT STAKE TIGHTLY. TREES GAIN STRENGTH FROM MOVEMENT. REMOVE ALL STAKES AFTER ONE YEAR.
 2. USE OF TREE WRAP IS NOT RECOMMENDED, AS IT CAUSES A NUMBER OF PROBLEMS FOR THE TREE

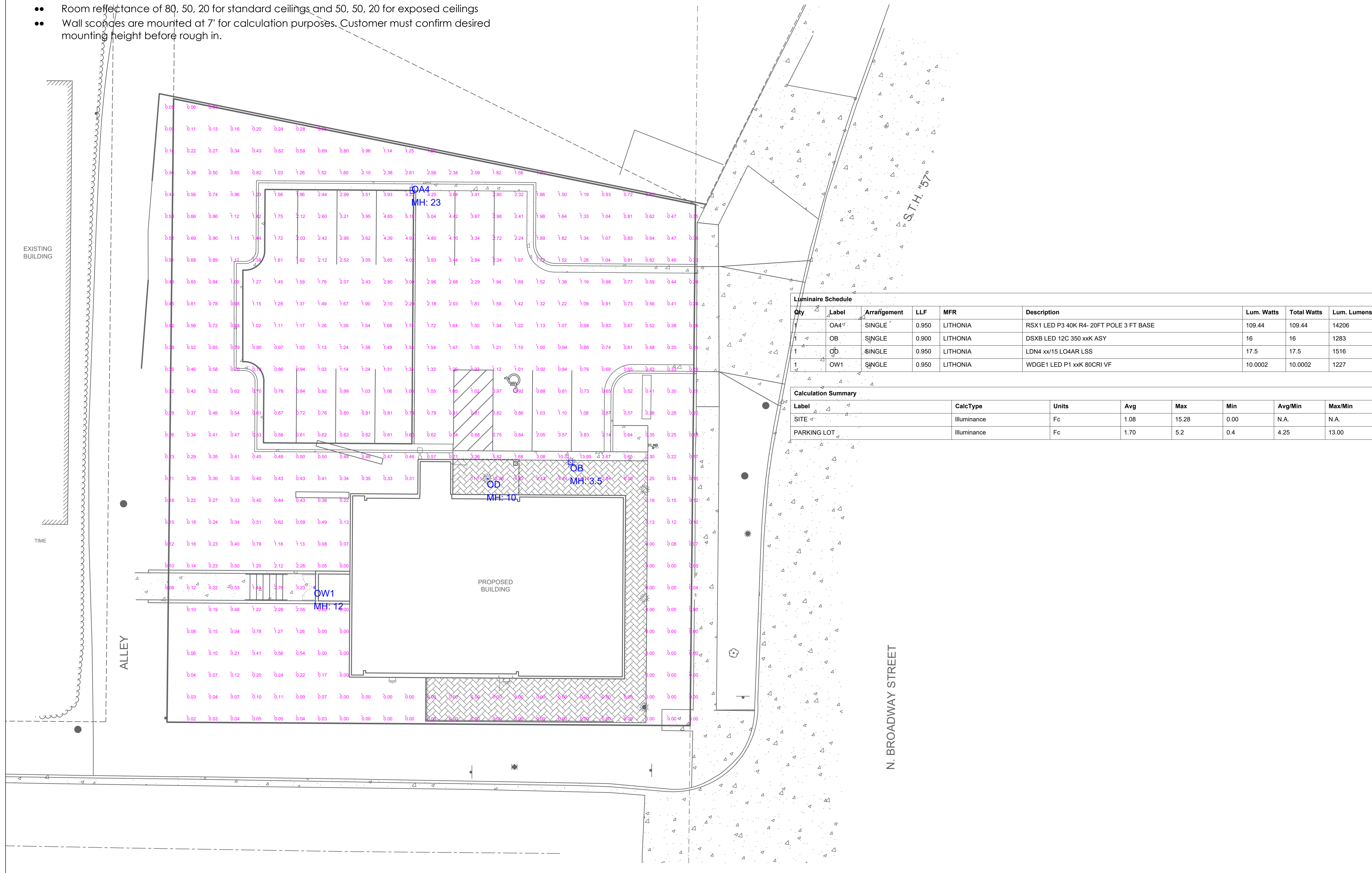
LANDSCAPE NOTES

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED, EVENLY SPACED.
5. A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
6. MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
7. PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
8. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 60 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOVING.
9. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
10. SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.



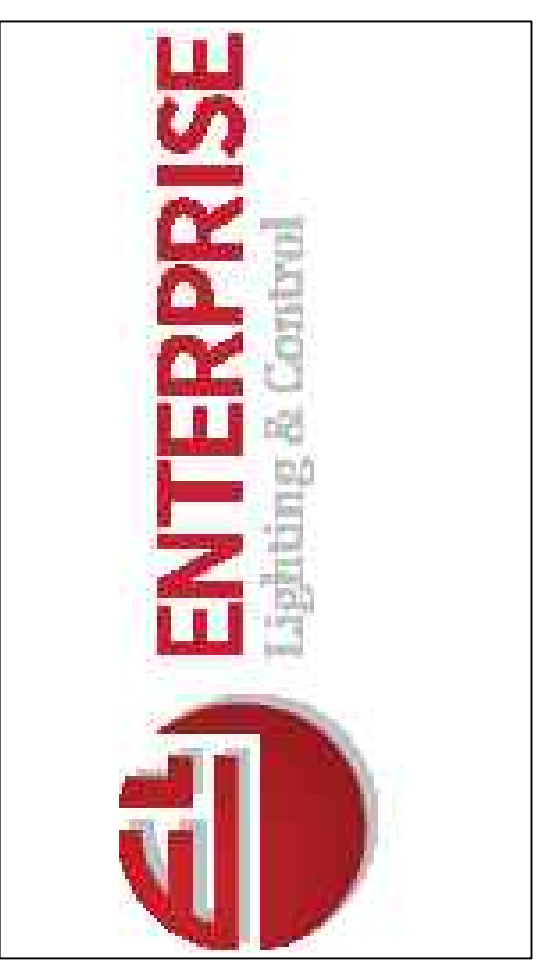
NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens
1	OA4	SINGLE	0.950	LITHONIA	RSX1 LED P3 40K R4- 20FT POLE 3 FT BASE	109.44	109.44	14206
1	OB	SINGLE	0.900	LITHONIA	DSXB LED 12C 350 xxK ASY	16	16	1283
1	OD	SINGLE	0.950	LITHONIA	LDN4 xx/15 LO4AR LSS	17.5	17.5	1516
1	OW1	SINGLE	0.950	LITHONIA	WDGE1 LED P1 xxK 80CRI VF	10.0002	10.0002	1227

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	1.08	15.28	0.00	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.70	5.2	0.4	4.25	13.00



DATE	COMMENTS
#	

REVISIONS

DRAWN BY : AD	DATE : JAN 2, 2025	SCALE : 3/32" = 1'- 0"
DE PERE HISTORICAL SOCIETY	DE PERE, WISCONSIN	LIGHTING LAYOUT